



ARCHITECTS

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DESIGN & ACCESS STATEMENT

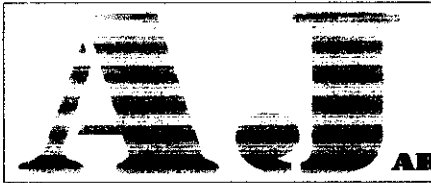
Works: alterations to form 1 flat from 2
Location: 30 South Hill Park London NW3
Job reference: 0249 / 3.4/ 02

1. **Amount**
At present the property comprises a three bedroom maisonette, part lower ground and part upper ground floor, and a bedsit on the upper ground floor. The proposal is to combine the two flats to form a four bedroom maisonette. The flats on each of the two floors above are unchanged.
2. **Layout**
See drawing no. 0249/ 04.
3. **Scale**
Elevations and scale are unchanged.
4. **Landscaping**
Unchanged external works.
5. **Appearance**
Unchanged external appearance.
6. **Use**
Residential.
7. **Access**
Pedestrian access from South Hill Park.

Distribution:

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DESIGN & ACCESS STATEMENT – **LIFETIME HOMES**

Works: alteration to form 1 flat from 2 flats within the existing block of four flats.
Location: 30 South Hill Park, London NW3
Job reference: 0249 / 3403

1. **Car Parking Width**
The existing residential block does not have car-parking space and none is proposed due to insufficient space.
2. **Access from Car Parking**
See above.
3. **Approach Gradients**
The approach is within the common parts and no changes are possible. However, level access to the accommodation is possible at both levels from the common parts.
4. **Entrances**
See above.
5. **Communal Stairs & Lifts**
No changes are proposed within the common parts.
6. **Doorways & Hallways**
The main doorways and hallways are existing and unchanged. New doorways and corridors will comply with part M requirements.
7. **Wheelchair Accessibility**
See above. Adequate space is available for turning wheelchairs.
8. **Living Room**
Level access to the accommodation is possible at both levels from the common parts.
9. **Entrance Level Bedspace**
The proposed study in the upper floor level could be adapted to form a bedroom.
10. **Entrance Level WC & Shower Drainage**
Toilet access is included at the upper floor level. Drainage will allow provision of shower facilities.
11. **Bathroom & WC Walls**
Secure fixing of handrails is possible in the proposed bathroom and toilet provision.

- 12. Stair Lift / Through Floor Lift**
The replacement of the existing spiral staircase and provision of a straight staircase will facilitate the installation of a stair lift, if required.
- 13. Tracking Hoist Route**
Hoist provision could be installed between bathrooms and bedrooms.
- 14. Bathroom Layout**
The bathroom is existing and can be used with reasonable ease.
- 15. Window Specification**
Windows are existing and no new windows are proposed.
- 16. Controls, Fixtures & Fittings**
Switches and socket outlets for lighting and power are located to allow ease of use. Part M standards are to be met for new installations.

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