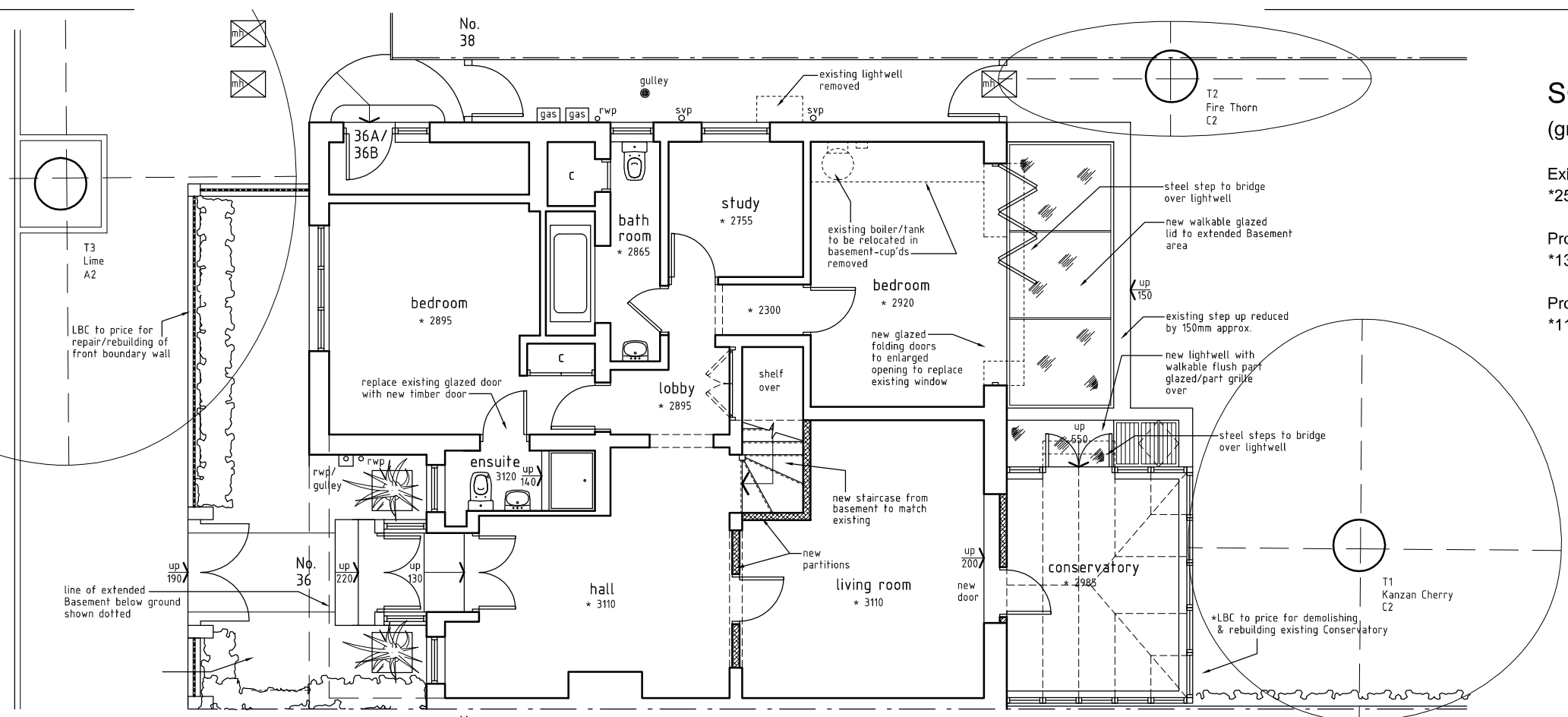
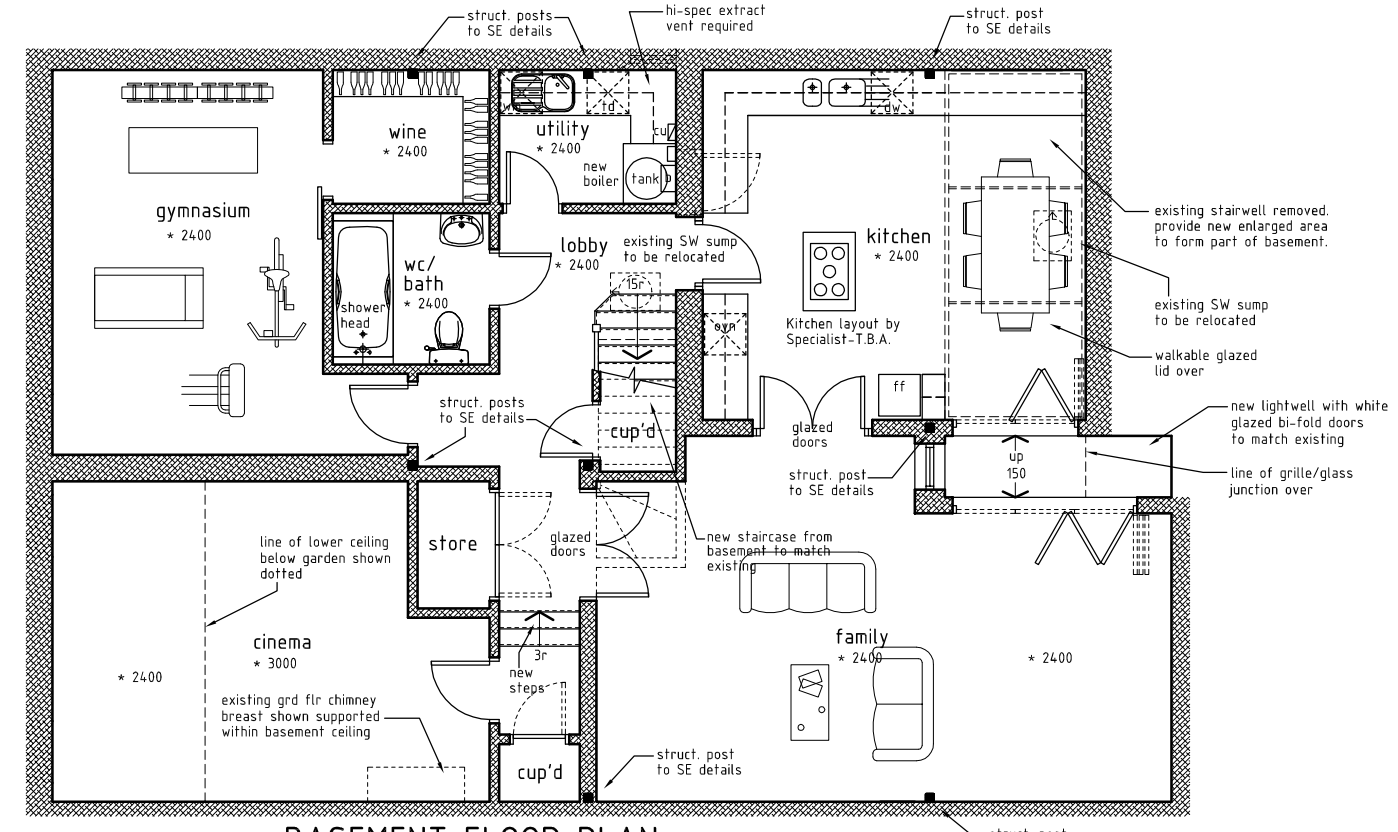


LBC TEAR-OFF SCALE RULE (FOR 1:100 SCALE PLANS)



No. 34 GROUND FLOOR PLAN (AS PROPOSED)



BASEMENT FLOOR PLAN (AS PROPOSED)

SCHEDULE OF AREAS:

- (gross internal)
- Existing Basement (as drawn): *25m² (269 sq. ft.)
- Proposed Basement (as drawn): *134m² (1442 sq. ft.)
- Proposed Area (as used for preliminary costings): *115m² (1241 sq. ft.)

NOTES:

This drawing is intended as a scheme proposal and serves as a guide to clients to indicate possible room configurations.

Clients should be aware that these scheme proposals may indicate works that may not have been allowed for in our initial estimate such as additional excavation, enlarged or additional lightwells and/or the removal of chimneys.

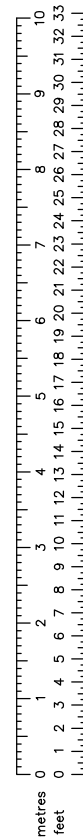
This drawing has been based on a dimensional survey without the benefit of trial holes or other exploratory works.

As a consequence this drawing does not necessarily take account of perimeter wall thicknesses and/or foundation projections. Room sizes are therefore approximate and scaled dimensions should not be relied upon.

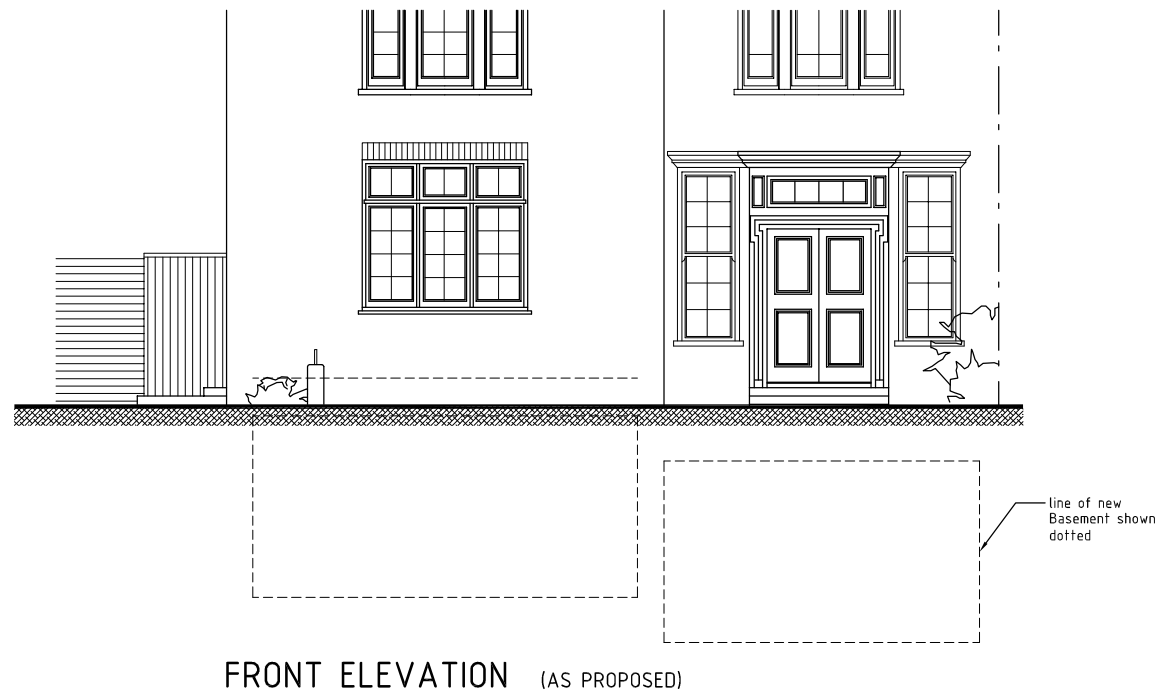
LBC cannot guarantee that all additional space indicated can be created in areas where access was not available.

Clients are advised that additional supports, piers, posts or buttresses may be required in the final structural design.

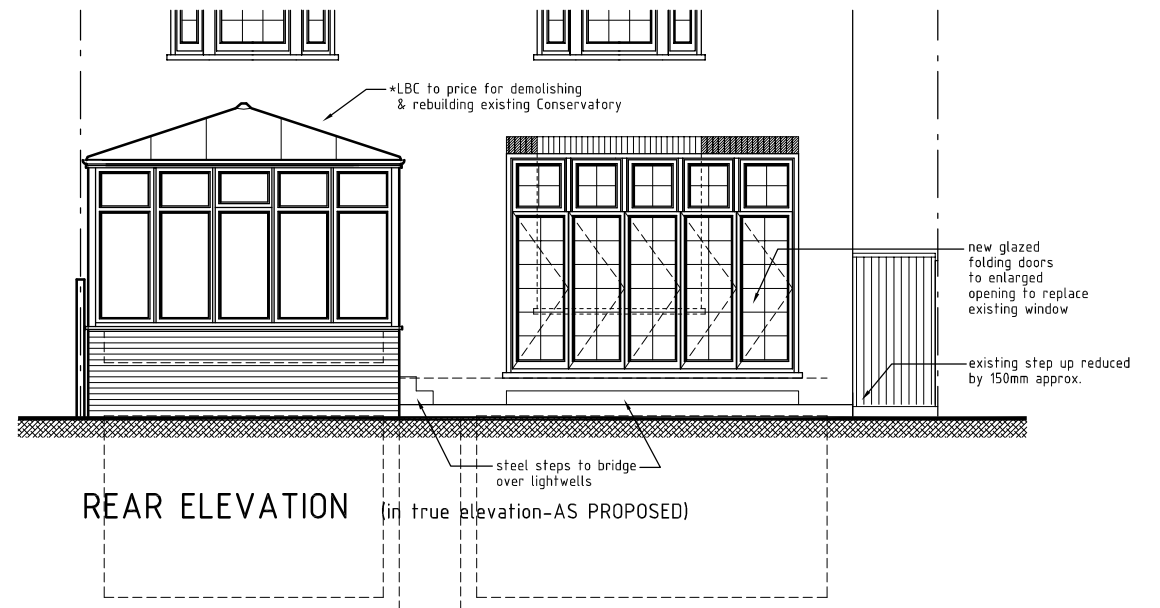
 <p>The London Basement Company Innovation House 292 Worton Road, Isleworth, Middlesex. TW7 6EL Tel. 0208 847 9449 Fax. 0208 380 4999 www.lbc.co.uk</p>	Project 36 Glenilla Road London NW3 4AN	Client Mr Mike Hudson	Scale 1:100	Drawing Title SCHEME DESIGNS
	Date July 09	Drawing No. LBAD 1013-02D Sheet 1 of 2		



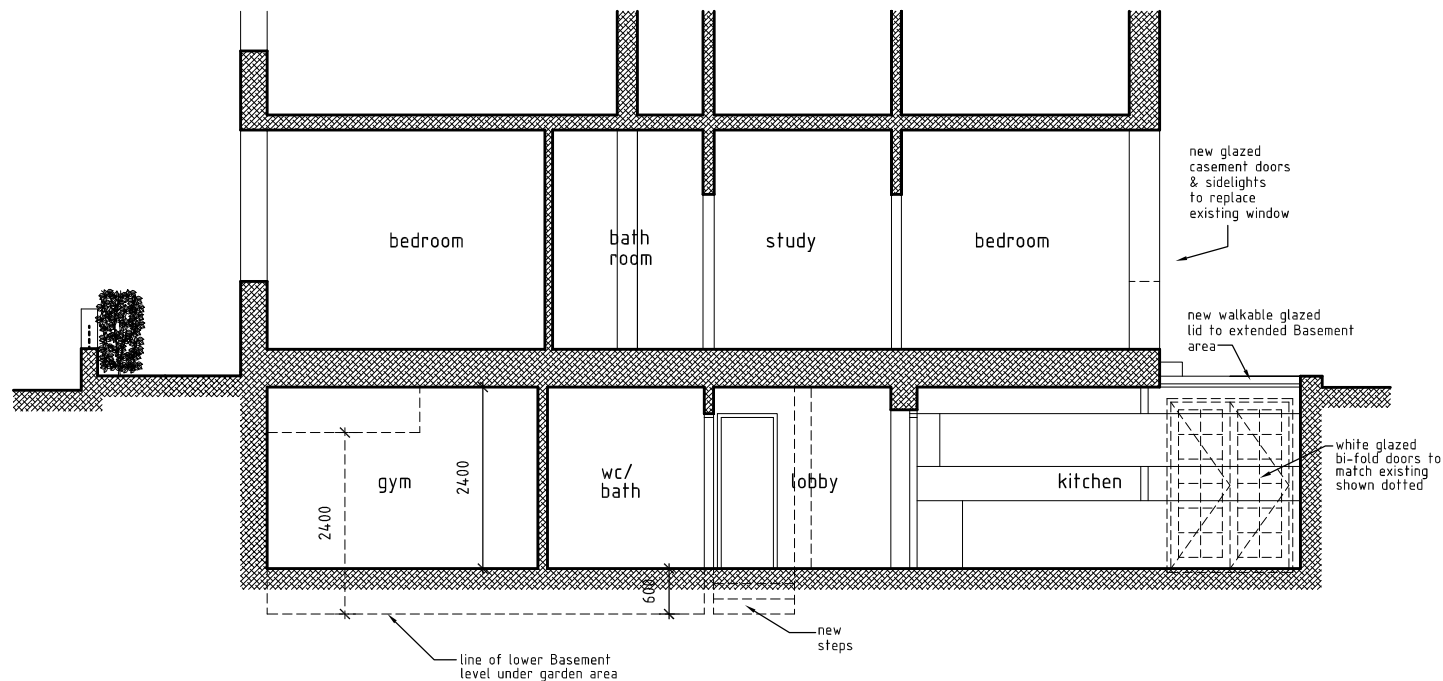
LBC TEAR-OFF SCALE RULE (FOR 1:100 SCALE PLANS)



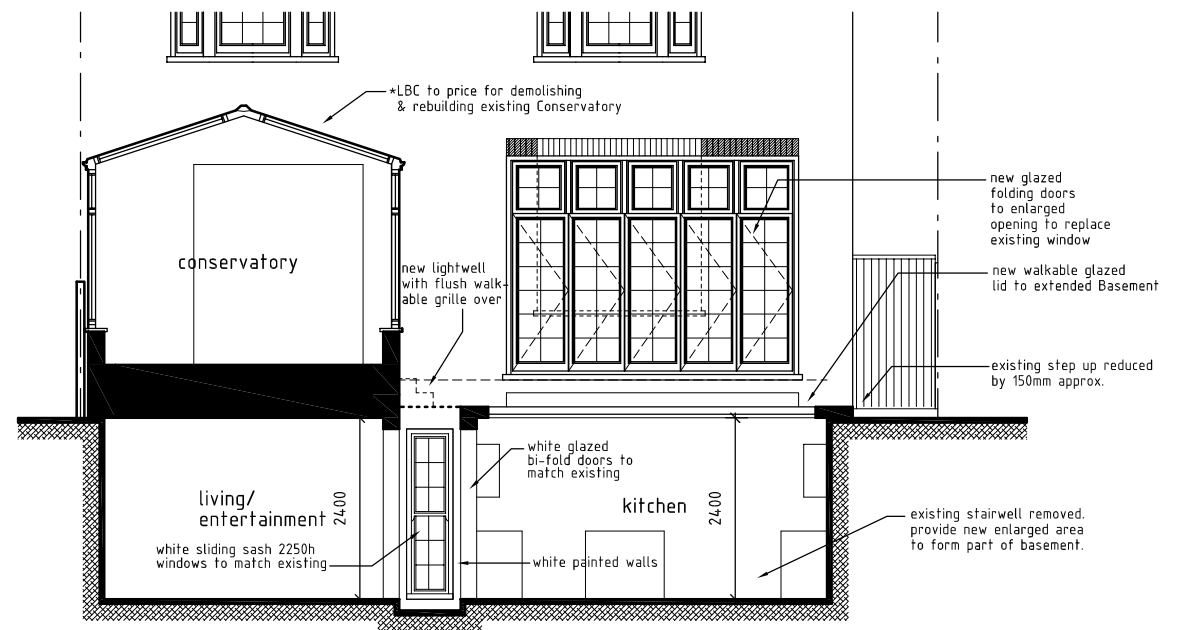
FRONT ELEVATION (AS PROPOSED)



REAR ELEVATION (in true elevation-AS PROPOSED)



LONGITUDINAL SECTION (AS PROPOSED)



REAR ELEVATION (AS PROPOSED)

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			<p>Date July 09</p>	<p>Drawing No. LBAD 1013-02D Sheet 2 of 2</p>