

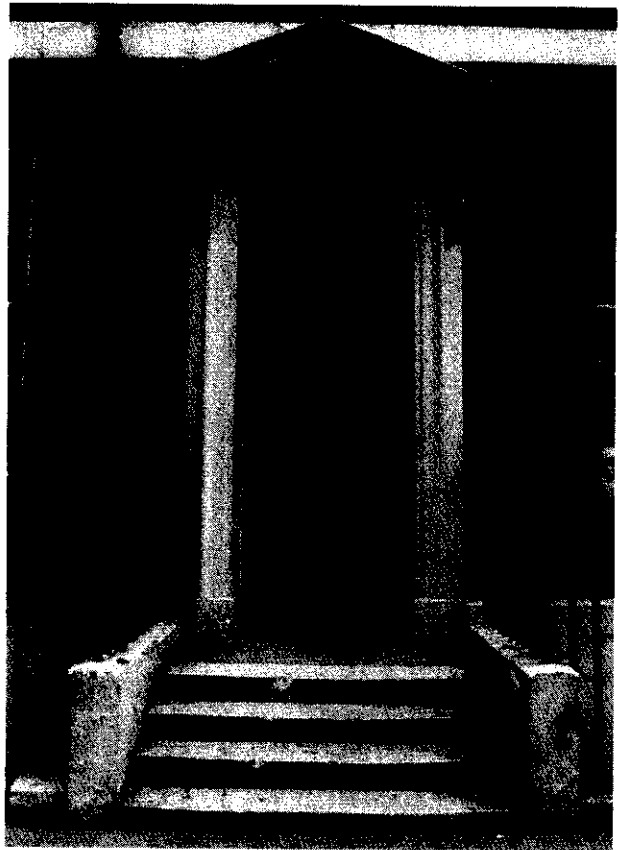
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CANAWAY FLEMING ARCHITECTS

**Design and Access Statement**  
**Scope of Works and Justification**

**Proposed Refurbishment and Link Works to**  
**8 Southampton Place, London WC1A 2EA**

Holborn Links Limited  
September 2009



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## Appendix A - Structural Engineers Letter

## 1. Introduction

8 Southampton Place is a grade II\* listed terraced building abutting the recently completed commercial development at 1 Southampton Row in Holborn. The property is presumed to have been constructed between 1785-63 probably by Henry Flintcroft.

The property is a five storey building (including basement and attics) with a rear extension comprising of ground level and basement storey added some time after the original construction. The external façade is comprised darkened multi-coloured stock brick with a stone band at first floor level and bracketed cornices below the parapet on the front elevation. There are three windows across the front elevation. The building has a tiled mansard roof with three lead clad dormers. The entrance has a stone doorcase with carved consoles, cornice and pediment. The building was listed in 1951 (ref: 789-1-1471100) as part on an ensemble including nos. 1-8 Southampton Place.

The interior does not form part of the specific listing description but is protected under the same listing. There is a cantilevered stone internal stair and some ornate plaster moulding in some of the rooms. Painted window elbow and back panels are largely intact throughout. Internal doors are a mixed variety of good quality 6-panelled doors and some lower quality, more recent, additions. Ornate timber architraves are still largely intact in the principal rooms, as are the skirting boards and dados.

The property has been in commercial use for many years and decorations and fabric have become very tired and in need of redecoration and some basic repairs. These repairs include some structural remediation where building movement has occurred. Additionally, some extensive water damage has occurred to internal finishes. Some rationalisation of the services is required as, in many properties of this nature, adhoc additions of electrical fittings and cables continue to compromise the appearance and use of the building.

Holborn Links Ltd has appointed Canaway Fleming Architects to make a Listed Building application for renovation works on their behalf. The relevant information has been prepared to make a valid application and this information is listed below. The drawings and photographs of the existing building and the drawings illustrating the proposals have been submitted electronically.

This document is the scope and design statement itemising the works and should be read in conjunction with the drawings and other records. It is likely that the scope will vary to some small degree following the necessary consultation with the Local Authority Conservation Team and English Heritage if required.

It is the intention that the property be left in an improved condition so that an incoming tenant can occupy the building and agree further works with the Local Authority under a separate application if necessary.

### Information

The following information to support for the listed building application has been prepared:

1. A set of record drawings that indicate the existing building including:
  - a. General arrangement plans sections and elevations at 1:50
  - b. Detailed plans at 1:20
  - c. Selected internal elevations at 1:20
  - d. Detailed window drawings at 1:10 and 1:2
  - e. Details of selected cornices, moulding, timber skirtings and stairs at 1:5 and 1:2.

2. A detailed photographic record to accompany the existing drawing Ref: 058/A/0900
3. A set of drawings annotated to show proposed works:
  - a. Plans and internal elevations that indicate locations of specific items of work
  - b. Details of the replacement pyramidal rooflight.
  - c. Location of decorative and remedial structural works to the external fabric.
4. A scope of works consisting of a general description of decorations and generally applied works and also room by room itemisation of specific works or sport items to accompany those proposed drawings describe in item 3 above.
5. Letter from a structural engineer experienced in historic structures referring to the structural movement and possible remedies.

This document contains information for items 4 and 5.

## 2. Outline of Proposed Work

We have attached a detailed scope of works below but, in outline, the owner of the property, Holborn Links Ltd, is looking to undertake the following works (supported and described in the accompanying documentation):

1. **Soft strip-out works including:**
  - a. Removal of carpets, curtains and loose furniture including mdf displays and units
  - b. Removal of services/ data cabling and containment
  - c. Removal of sanitary ware from WCs.
2. **Undertake decorative works internally and externally**
  - a. Repainting of walls, ceilings, plasterwork and existing painted joinery (doors, windows, skirtings, timber panelling) throughout.
  - b. Repainting of existing painted metal railings to internal and external stairs
  - c. Re-varnish existing varnished handrail to the main stair.
  - d. Clean retained fire surrounds and other surfaces.
  - e. Repaint the existing painted stone external wall features (render, stone cills and string course).
  - f. Refit the existing WCs with new sanitary ware.
3. **Carry out necessary repairs where damp penetration has occurred** following confirmation and eradication of source of water ingress.(see detailed scope later).
4. **Carry out selective repairs to the fabric**
  - a. Repair 2no. timber stair treads
  - b. Repair crack in the cantilevered stone stair tread.
  - c. Replace damp and spalling plaster.
  - d. Repair damaged/ rotten windows and cills
  - e. Install remedial structural ties on the rear elevation where delamination has occurred.
5. **Replace existing power fittings** and re-site in each room.
6. **Replace the existing pyramidal glazed rooflight** on the rear felt roof, which has failed, with another to match the existing.
7. **Remove a timber studwork partition at first floor** (not original) to reinstate the front room as originally configured.
8. **Reinstate a link a ground level** between no.8 Southampton place and the adjoining property no 7. Southampton Place. This link existed at some time in the lifetime of the building and it is the client's intention to re-instate this to enable the building to continue to be utilised commercially.

### Justification for the Works

The justification for the general redecorations work is a straightforward one, that is, to ensure that the existing historic fabric is stabilised and prevented from further deterioration.

The link work is required to ensure that the building continues to be commercially viable and the works for the project funded in this way. The proposed opening, which already has existed and been blocked up, can be reinstated at any time and the works reversible. We are not therefore proposing works that removed historic fabric as this has already occurred when the link opening was originally made.

In addition, the linking of buildings of this nature, of similar use, is very common around all areas of London.

### **3. Investigative Work**

There are areas of work where some local removal of finishes is required to establish the nature and extent of remedial works and as such we would expect to agree these with the local authority as part of the applications process.

Areas of specific investigation include:

1. Removal of some plaster finishes where the front elevation wall meets the internal party walls at second floor to examine the extent of structural cracking.
2. Removal of some plaster finishes to the basement kitchen area B06 to establish the cause of the water ingress into this room.
3. Removal of some floor boards to ground floor room G08 above the basement kitchen to explore how the water is entering the room below.
4. Confirmation of the source of major water ingress into the building from high level causing damage to finishes in the principal rooms. Likely causes are either:
  - a. Major leakage from Plant Room or bathroom at Fourth floor: the pipework is to be checked for leaks.
  - b. Major leakage through the roof or wall during the construction of adjoining commercial development.
5. The condition of the external walls, windows and roof coverings can be examined more thoroughly once scaffolding has been placed up the building although the information accompanying this application does note the primary elements of replacement where rot is in evidence.
6. Checking of the lead flat roof for any areas where the lead or other flashings might have failed (no specific internal evidence).
7. Checking of the main tiled roofs for loose tiles or faulty leadwork to the existing dormers.

*Causes of damp are to be identified and treated where necessary by an appropriate specialist subject to Local Authority Approval. Insurance backed guarantees required for the works.*

#### **4. Construction and Monitoring of Works**

It is intended that the works will be carried out by an experienced contractor with appropriately skilled conservation specialists to repair or replace elements in the property. It is intended that where required, following consultation with the local authority, that sample works will be prepared for approval where appropriate.

Works will be carried out with reference to the technical guidance for such works produced by SPAB and English Heritage and in acknowledgement of national and local authority policies.

##### **1. Samples**

Likely sample work areas are to be agreed with the Local Authority prior to undertaking full works are, but not limited to:

- a. Stair S1
  - 1 no stone tread with metal balusters
  - 1 no. timber tread with timber balusters
  - short section of varnished handrail
- b. Paint finish to external rendered wall
- c. Paint finish to external stone cill
- d. Paint finish to external railing
- e. Sash window repairs: typical damage repairs including rotten cill and minor resin repair. Window location is to be confirmed with Local Authority.
- f. Plaster cornice replacement and repair work.

##### **2. Method Statements**

Method statements will be required from the contractor for all intended works for approval. A Structural engineer's method statement and specifications to be confirmed following limited investigation works identified above.

## 5. Scope of Work : 5A General Scope and Specification

This scope comprises:

- A. General Scope and Specification of decorative works to all rooms
- B. Supplementary works/ spot items on a room by room basis.

The scope is cross referenced to the architect's drawings where appropriate. Not all works described below require statutory approvals but are included here for completeness and to avoid misunderstanding and the possible omission of discussion and approval. The scope will alter as works are uncovered and following discussions with the Local Authority Conservation Team and the specialist contractors appointed to carry out such works.

### A. General Scope of Work and Specification

*Check also the detailed scope as the detailed scope may, in some limited instances, modify the general specification.*

#### 1. Strip Out Items

- a. Remove carpets and other floor finishes, damaged gripper rods, damaged hardboard underlay and metal carpet trims from all rooms including existing doormat **EXCEPT:**
  - i. Chequered linoleum flooring from either the Entrance Hall G02
  - ii. Any hearth materials that might be exposed following carpet removal.
  - iii. Carpet from Room B05
  - iv. No works to existing floorboards.
- b. Remove loose items, fire extinguishers, stand alone mdf cupboards, signage not associated with fire escape provisions, coat hooks, curtains and curtain poles, existing blinds and fixings, steel security shutters to upper windows.
- c. Remove all power, data, intercom fittings and containment and wiring (including fixing clips nails etc) except for Room B01. Light fittings and switches and fire alarms and detection items to be left as existing following inspection and approval by Building Control/ Fire Officer.
- d. TV cable in room F11: installation to be retained, terminate cable at window.
- e. Existing intercom and security lock to main entrance door to be removed.
- f. Remove all rubbish and debris throughout, including that from Vaults B11 and B12, the external Courtyards, parapet gutters, plastic gutters and roofs.
- g. Remove external signage to the front door, window planter boxes, plywood board to basement window.



**2. External Decorations** (*see below for doors and windows*)

**a. Painted Stone and Rendered items** including window cills, string course cornice on the elevations are to be checked for damage following scaffold erection.

- i. Loose and flaking paintwork (due to used of inappropriate paint covering or excessive water ingress) is to be removed to enable inspection for cracks or other damage.
- ii. Method of paint removal to be agreed with local authority. (*sanding by hand, light grit blast or weak chemical*). Render to be retained and locally repainted if required. Areas to be agreed with Local Authority.
- iii. Following any scheduled repairs the stonework to be repainted using suitable smooth masonry paint in white to match the existing.

**b. Brickwork and Mortar.**

- i. Cracking in exterior brickwork is to be monitored.
- ii. Rear elevation required remedial ss. ties at third floor where the wall has delaminated (see detailed section below)
- iii. There is no intention to replace any cracked brickwork.
- iv. The external façades at high levels are to be generally checked for loose mortar and local re-pointing carried out to match the existing where identified.
- v. Mortar repair and redecoration required to the basement rear elevation (see detailed section below).

**c. Painted Metal Railings**

- i. All existing external black painted iron railings, handrails and gate to be examined for repairs and repainted with exterior metal gloss paint, in black, to match existing.
- ii. The existing white painted plinth to the foot of the metal railings is to be rubbed down and repainted with a suitable white masonry painted.
- iii. The large crack to the plinth at the entrance step is to be repaired by resin injection by a suitable qualified specialist, and prepared for decoration.

**d. Stairs**

- i. Stair 4. The external metal escape stair is to be repainted in black exterior grade gloss paint to match existing.
- ii. Stair 5. The stone entrance steps are to be cleaned

**e. Parapets**

- i. Check parapet for loose stones and damage upon erection of scaffold.
- ii. Replace damaged parapet stone (see detailed section below).

**f. Roofs**

- i. Lead Flat roof
  - a) The existing single glazed pyramidal rooflight on the lead roofed extension has failed and is to be replaced with a conservation type rooflight to match the existing. Refer to drawing 058-A-0262
  - b) New Code 4 lead flashing dress over existing upstand. No works envisaged to the existing upstand which is to be retained.
  - c) Leadwork and flashing into masonry generally is to be checked for leaks or faulty components.
- ii. Tiled mansard roof
  - a) Roof to be checked for loose tiles and faulty flashing into masonry. Loose masonry fillets are to be replaced. Faulty flashing is to be re-fixed or replaced to match existing.
  - b) Parapet gutters at third floor are to be checked for leaks.

iii. **Felt Flat roof**

- a) Glazed small pyramidal rooflights on the main roof are to be left in-situ.
- b) Damaged glass to pyramidal rooflight above kitchen to be replaced.
- c) Glass to roof access hatch to be replaced. Safety glass required.
- d) Loose mortar fillets at upstands are to be checked and replaced if required.
- e) No other decorative works required.

**g. Rainwater and External drainage pipework**

i. **Black Plastic**

- a) All plastic gutters, gulleys and downpipes to be cleaned of debris and checked to ensure all joints are sealed.
- b) Any failed plastic goods are to be identified and replaced.

ii. **Cast iron**

- a) Cast iron rainwater pipework and Soil vent pipes are to be checked for loose fixings into masonry or leaking joints.
- b) Where identified these are to be made good.
- c) Cast iron pipework and fixings are to be prepared and repainted with black, exterior grade gloss paint to match existing.

**h. Below ground drainage**

i. **Floor gulleys**

- a) Gulleys are to be cleared of all debris and organic matter.

ii. **Manholes**

- a) Manhole covers and frames must be adequately pointed and located within the external paved areas once they have been re-laid to adequate falls.

iii. **Below ground drainage runs.**

- a) The below ground drainage is to be surveyed to ensure that existing pipework is still serviceable and has been unaffected by the neighbouring commercial development.
- b) New cast iron surface drainage gulleys from paved areas are to be connected to manholes.

**i. External Light fittings**

- i. External light fittings are to be replaced with IP rated external fittings to approval.

### **3. External Joinery**

#### **a. External doors**

- i. External doors to be checked for rot and if identified to be locally repaired using proprietary resinous filler to local authority approval then prepared prior to repainting.
- ii. All external doors and frames are to be redecorated using gloss, exterior grade, timber paint. This includes the basement vault B10 and 11 doors. Colours to match existing.
- iii. The existing door ironmongery is to be retained.
- iv. If weather/draft seals are in position but have failed then these are to be replaced to match the existing.

#### **b. External Windows**

- i. The external windows are mostly painted timber sash windows set into either masonry or lead dormer construction. They are single glazed with sash weights, pulley and cord. Sash locks vary. They have been drawn in detail and the information included within the application.
- ii. Most appear to be in operation.
- iii. The sash windows in the dormers have generally rotten timber cills where painting has not been carried out effectively.
- iv. The windows are to be checked for defective operation, sticking, loss of paintwork, damage to beading and putty and areas of rot identified for treatment or replacement.
- v. Where replacement timber, or timber repair, is required to the glazing beads, repairs are to be made using *Windowcare* system and prepared for redecoration.
- vi. All sashes, cords, pulleys are to be left in working order.
- vii. All timber windows and frames are to be painted using exterior grade timber gloss paint.
- viii. The existing ironmongery is to be refitted and glazing cleaned.

#### **4. Internal Decorations**

##### **a. Walls.**

- i. Where plaster and finishes have perished beyond repair (see detailed scope later) the plaster and finishes are to be removed to enable the masonry substrate to adequately dry out.
- ii. Services holes in walls are to be filled to match the existing substrate.
- iii. Areas of exposed walls are to be re-plastered to match existing. Lime plaster finish or to match existing if different plaster discovered.
- iv. Redundant services are to be removed, including containment, clips and other fixings and any holes made good.
- v. If the walls have lining paper then any bubbles or lifted edges should be re-adhered to the walls.
- vi. The walls are to be painted to match existing. Vinyl silk emulsion.

##### **b. Floors**

- i. The floorboards are to be left in situ. New contract carpets to be laid on hardboard underlay where the floorboards are uneven.
- ii. New entrance mat is to be placed in the existing matwell.
- iii. The linoleum tiled surface in the entrance hall is to be retained and cleaned.
- iv. New linoleum is to be laid upon the basement kitchen floor.

##### **c. Ceilings**

- i. The existing ceilings have no ceiling roses or other decorations on them and are painted white. Some ceilings appear to have modern lining paper. Suspended plasterboard ceilings exist in the basement and at ground floor and have recessed modern light fittings.
- ii. Where discrete parts of ceilings have been damaged by water ingress in selected rooms (refer to detailed schedule below and drawings) then these are to be locally repaired/replaced to match existing.
- iii. Discrete cracking should be raked out and filled prior to decoration. Any small holes left by the removal of services should be filled/made good.
- iv. Any lined ceilings should be checked and any raised edges or bubbles should be re-adhered.
- v. The ceilings are to be painted to match existing. Vinyl silk emulsion.

##### **d. Cornices**

- i. There are a number of decorative cornices in the property. Some have some cracks that are to be made good using a lime plaster to match the existing.
- ii. In areas where water penetration has been identified (see drawings and detailed schedule below) cornices should be checked to see if they are 'live' or water damaged beyond repair/retention. Where this might be the case then they should be replaced locally, the existing profile and material replicated using a rubber mould or other approved method.
- iii. Plaster Cornices are to be painted using two coats of a water-based emulsion to retain profile, unless otherwise agreed with the Local Authority Conservation Team.
- iv. Polystyrene cornices at third floor are to be painted with vinyl silk emulsion.

##### **e. Panel moulds.**

- i. Panel moulds only exist in one ground floor room (see detailed schedule below).

- ii. In small areas where water penetration has been identified (see drawings and detailed schedule below) moulds should be checked to see if they are 'live' or water damaged beyond repair/ retention. Where this might be the case then they should be replaced locally, the existing profile and material replicated using a rubber mould or other approved method.
- iii. Panel moulds have been painted with vinyl silk emulsion and are to received another coat

**f. Skirtings & dado rails**

- i. There is no intention to replace or modify any skirtings or dado rails.
- ii. Where services have been removed any holes are to be made good and items prepared prior to decoration.
- iii. Skirtings and dados are to be painted with gloss paint to match existing.

**g. Radiators**

- i. The steel radiators are to be retained and repainted with suitable white gloss radiator paint.

**5. Internal Joinery**

**a. Internal Doors**

- i. All doors are to be checked to ensure that they open and close without bindings and can be locked.
- ii. Doors are to be prepared prior to painting.
- iii. All doors and frames are to be painted using gloss interior timber paint.
- iv. All ironmongery is to be checked and loose or missing items are to be repaired or replaced. No new cutting or chiselling of door is required.
- v. 2no. Keys are required for selected doors.

**b. Door reveal panels and Architraves**

- i. Doors in deep reveals have painted timber panelling with decorative painted timber architrave. These have been recorded in the drawings.
- ii. Minor damage is to be made good and prepared prior to decoration.
- iii. Panelling and architrave is to be repainted using a white gloss finish.

**c. Other Timber Panelling and boxing**

- i. All painted timber panelling and boxing is to be prepared for redecoration (cleaned and light sanding of existing paint runs, minor pits and holes filled) and repainted using gloss white paint.

**6. Stairs- Internal**

**a. Stair 1:** *Sample required for approval by Local Authority prior to carrying out full re-decorative works to stair 1*

- i. Comprises a stone cantilevered stair and a timber stair to basement and at upper levels. Stone treads have black painted, wrought/cast-iron balusters inserted in the tread.
- ii. Crack in one stone tread has been identified below. Structural engineer is to specify a stainless steel stitch repair and a method statement supplied to the local authority.
- iii. Damaged treads to the timber flight has been identified and is to be repaired (see below).
- iv. Stone steps are to be cleaned and repainted. *Paint specification to approval by Local Authority.*
- v. Metal balusters are to be lightly sanded to remove heavy pain runs and repainted with a black gloss metal paint.
- vi. Local damage to timber stair elements are to be filled and sanded prior to decoration.
- vii. Timber balusters, string and soffits, treads and risers are to be lightly sanded to remove paint runs and top be redecorated with white gloss paint.
- viii. The existing timber handrail is to be lightly sanded, prepared and re-varnished to match existing clear finish.
- ix. Stair carpet to be removed and replaced with new. **No drilling or mechanical fixing into the stone is to be permitted.**
- x. **Important: No scaffolding or other point loads are to be placed upon the staircases.**

**a. Stair 2**

- i. Stair 2 is a painted timber stair with single wall mounted timber handrail.
- ii. The timber treads, risers, string/skirting, handrail and wall capping are to be painted with gloss emulsion to match the existing.
- iii. New full width stair carpet to be fitted.

**c. Roof access stair**

- iv. Roof access stair to be repainted with gloss black metal paint.
- v. Metal stair is to be temporarily moved to enable sanding and re-painting of timber boarding to the rear of the stair. Stair to be re-fixed following decoration.
- vi. Timber lining to access hatch to be repainted with white gloss paint.

## **7. Fireplaces**

- i. Fireplaces with surrounds are located in the following rooms: G01 (no grate), G04 (hearth not visible), Fi01 (hearth not visible), Fi03 (hearth partially visible), S01 (fire surround only).
- ii. At present it is intended only to clean the marble fire-surrounds and mantle with a suitable marble cleaner to approval.
- iii. Fireplaces with a grate are painted black. These are to be cleaned and if any scratches are visible these are to be locally touched up with black gloss paint to match the existing.
- iv. Chimney debris is to be removed.
- v. The fireplace to room S01 has a bowing plywood sheet covering the flue. This is to be replaced.
- vi. Carpets are to be laid so as not to damage the hearths if uncovered during strip out.



8. **Services** (detailed provisions are to be supplied on appointment of a services consultant during the work)
- a. **Lifts**
    - i. There are no works required to the lift. Openings at each level are to remain closed and decorated with gloss paint to match the timber finish elsewhere.
  - b. **General Power**
    - i. Existing electrical switchgear, rising distribution, mains and sub-mains cabling, external lighting circuits and plant room circuits are to be electrically tested to determine safety and utility. Remedial works will be carried out where required.
    - ii. New tenant and landlord distribution boards with miniature circuit breakers will be provided to replace the existing. All tenant boards will be provided with electrical meters.
    - iii. New power sockets have been indicated on the proposed drawings following removal of the existing services and containment.
    - iv. Containment is envisaged to be twin compartment trunking fixed above the skirting boards and routed to plastic, new surface mounted sockets, to avoid further damage to existing timber skirtings. All to be new power fittings and containment to be white.
  - c. **Lighting**
    - i. General lighting is to be left in place and remedial works to fittings carried out is they currently do not work. Bulbs replaced where necessary.
    - ii. New surface mounted light fittings are to be supplied to the fourth floor flat. Type to be confirmed.
  - d. **Emergency Lighting**
    - i. New emergency lighting is to be provided on all floors to meet current statutory regulations. No recessed ceiling mounted fittings are to be located in the ceiling structure on ground floor and above to avoid damaging the existing ceiling substrate
  - e. **Fire Detection & Alarms**
    - i. The fire alarm devices (detectors, sounders and break-glass points) and containment is to be left in place and checked and refurbished to comply with current statutory regulations.
    - ii. The ceiling mounted smoke detectors to room Fi01 can be removed following permission to remove the partition in that room. The beam detector can be mounted at the location of the existing backbox, its original location.
  - f. **Security**
    - i. The security system is to be removed including all wall mounted PIRs and containment/ wiring. Any future security provision will be provided by the future tenant and subject to further Local Authority Consents if applicable.
  - g. **Air conditioning**
    - i. No new air-conditioning is to be locating at the property.
    - ii. The existing air-conditioning unit is to be refurbished, wall mounted and ductwork retained. See detailed provisions below.
  - h. **Ventilation**
    - i. Ventilation provision to the existing WCs will be retained, refurbished and left in full working order.
    - ii. Domestic bathroom and kitchen extractors are to be fixed in those rooms at fourth floor. Outlets to be agreed with Local Authority.

**i. Heating**

i. Plant

- a) The existing boilers located at the fourth floor will be retained, refurbished and left in full working order.
- b) The plant must specifically be checked for signs of leakage and repaired as required.

ii. Space heating

- a) The metal radiators in the rooms are to be retained and reused. Thermostatic valves are to be placed on selected radiators.

iii. Distribution pipework

- a) The existing pipework throughout the building for all cold and hot water services are to be reused. Lagging applied where possible.

## 5. Scope of Work : 5B General Scope and Specification

### Basement Rooms

Work Item	Location	Dwg. Refs	Description
01	B01	058-A-0201	Damp is evident to the reveal of window WB01. Probable cause of the water ingress due to lack of protection during construction of major development next door. Plaster to be removed to extent of damage and re-plastered with a salt resistant render following drying out of wall. Decorations to match existing.
02	B01	058-A-0201	Rising damp is evident in a horizontal band at low level across the length of the internal face of the external wall. Probably cause is lack of dpc and external render at low level becoming saturated from rainwater to external lightwell. Following assessment by damp specialist, recommended removal of affected plaster and replacement with salt-resistant plaster and redecorated to match existing.
03	B01	058-A-0201	Damp penetration evident at/from high level. Probably cause drainage pipe in No. 7 next door. Following the remedying of the cause, affected plaster to be removed, the wall to be aired and re-finished to match when wall is dry.
04	B03	058-A-0201	Vertical cracking is apparent in the wall finish. The building is subject to some further structural investigation following which the cracking is to be raked out and made good to match existing finishes.
05	B05	058-A-0202	Remove painted mdf cupboards and cabinets except those covering the air conditioning unit. Carpet, ceiling and lighting to be retained insitu.
06	B06	058-A-0202	Dampness is penetrating the external wall at high level. To determine the cause the plaster should be removed in this area and the floor boards in the ground room G08. remedial works dependant upon cause and ability to prevent further water ingress. <i>Local Authority Note: Request for removal of localised finishes in location noted.</i>
07	B06	058-A-0202	Dampness is penetrating the rendered soffit. To determine the cause the plaster/render should be removed in this area and the floor boards in the ground room G08. Remedial works dependant upon cause and ability to prevent further water ingress. <i>Local Authority Note: Request for removal of localised finishes in location noted.</i>
08	Elevation	058-A-0202	The basement rear elevation has been painted and repainted. This finish has completely failed and the brickwork and pointing beneath deteriorated. The paint finish to be carefully removed to avoid further damage to the substrate, loose mortar removed by hand and re-pointed with a lime:sand mix and a new breathable finish applied to the basement level elevation and window reveals: ideally a painted lime render finish. <i>Specification</i>

			<i>of render to approval by Local Authority.</i>
09	Courtyard 1	058-A-0202	Retain existing AC/ chiller unit and pipework. Attach to rear elevation wall at low level.
10	Elevation	058-A-0202	Provide window WB04 with obscured plastic film to inside of existing panes of glass to mask existing ductwork. <i>Local Authority Note: these films are removable and do not damage the glass. Sample to approval.</i>
11	Courtyard 1	058-A-0202	Insert new floor gulley and connect to existing drainage system. Relay paving to falls to gulley to prevent further water damage at low level elevations occasioned by the poorly laid external surface and omission of a gulley.

### Ground Floor Rooms

Work Item	Location	Dwg. Refs	Description
01	G01	058-A-0203	Damp penetration has occurred through the walls for the full height of the room. Plaster finishes have blown and plaster decorations spoiled. Efflorescence evident on cornice. Following ascertainment of cause of damp, plaster finishes affected to be removed and replaced with a lime plaster once the wall has dried out. A lime plaster specialist is to ascertain whether the cornice can be retained or requires local replacement to a profile to match the existing. Timber skirtings and dados can be retained. <i>Extent of replacement to be confirmed with local authority.</i>
02	G01	058-A-0203	Plaster soffit is damaged and local replacement is required with a lime plaster. Removal of plaster to be carried out to avoid damage to laths or substrate beneath. Decorations to match existing. <i>Extent of replacement to be confirmed with local authority.</i>
03	G01/02	058-A-0203	Vertical cracks are evident at junction of external wall and internal cross wall. Some movement has been detected by the structural engineer and subject to further investigation. Remedial ss. ties may be required to be inserted. Refer to structural engineer's letter included as part of the application. Plaster to be raked out and made good to match existing.
04	G01	058-A-0203	Horizontal cracking in cornice to be made good then redecorated to match existing.
05	G02	058-A-0203	Cracking in cornice to be made good then redecorated to match existing.
06	G02	058-A-0203	Cracking in cornice to be made good then redecorated to match existing.
07	G02	058-A-0203	Vertical cracks are evident at junction of external wall and internal cross wall. Plaster to be raked out and made good to match existing.
08	Stair 1	058-A-0203	Handrail to be lightly sanded by hand and re-varnished to match existing. <i>Sample to approval.</i>
09	<i>Not used/omitted</i>		
10	G03	058-A-0204	Damp penetration has occurred through the walls. Plaster finishes have blown and plaster decorations spoiled. Cornice appears largely undamaged with some minor cracking. Following ascertainment of cause of damp, plaster finishes affected to be removed and replaced with a lime plaster once the wall has dried out. Where panel beading is live, a replacement panel bead is to be re-fixed to match the existing applied by a specialist lime plasterer. Timber skirtings and dados can be retained. <i>Extent of replacement and sample to be confirmed with local authority</i>
11	G03	058-A-0204	Cracking to plaster cornice to be made good and redecorated.
12	G10	058-A-0204	New painted timber architrave is to be fixed around the

		058-A-0236	proposed opening in No.7 Southampton Place. Architrave type AR:005 indicated to match those predominant within no.8.
13	G09/10	058-A-0204 058-A-0236	Opening in shared wall between nos. 7 and 8 Southampton Place to be reopened.
14	G09	058-A-0204 058-A-0236	Plaster applied to areas of newly exposed masonry and painted timber panelling to match existing fixed to interior. Decorations to match existing.
15	G07	058-A-0205 058-A-0237	Damp penetration to wall below window WG07 and internal window cill. Caused primarily by failed external window cill. External window cill externally to be repaired by removing the rotten areas of cill and replaced using <i>Windowcare</i> system by <i>Coatech</i> . Internal timber cill to be repaired. Plaster to be locally removed and re-plastered to match existing following drying out of wall. Timber skirting to be retained insitu.
16	G08	058-A-0205	Local damp penetration to low level wall. Cause likely to be the inadequate falls of the external paved surface and detail at base of external render. Local areas of plaster to be removed and re-plastered with a salt-resistant plaster finish. Decorations to match existing. Timber skirtings to be left in-situ.
17	Courtyard 2	058-A-0205	Concrete slabs to be re-laid to new falls using existing slabs.
18	G10	058-A-0204 058-A-0236	Painted skirting and dado to be cut to enable new doorway to be reformed. New architrave forms stop ends (see item 12 above).
19	G04	058-A-0204	Door DG04 damaged architrave and frame. Areas of local damage to be replaced to match existing using

### First Floor Rooms

Work Item	Location	Dwg. Refs	Description
01	Fi02	058-A-0206 058-A-0239	Plaster soffit is damaged and local replacement is required with a lime plaster. Removal of plaster to be carried out to avoid damage to laths or substrate beneath. Decorations to match existing. <i>Extent of replacement to be confirmed with local authority.</i>
02	Fi02	058-A-0206 058-A-0239	Damp penetration has occurred through the walls for the full height of the room. Plaster finishes have blown and plaster decorations spoiled. Efflorescence evident on cornice. Following ascertainment of cause of damp, plaster finishes affected to be removed and replaced with a lime plaster once the wall has dried out. A lime plaster specialist is to ascertain whether the cornice can be retained or requires local replacement to a profile to match the existing. Timber skirtings and dados can be retained. <i>Extent of replacement to be confirmed with local authority</i>
03	Fi02	058-A-0206 058-A-0239	Studwork separating partition and doorway is proposed to be removed. This wall has been added to the original scheme in recent years. The removal will reinstate the grandeur of the front room. The beam fire detector must be placed in the original; location in the corner of the room.
04	Fi02	058-A-0206 058-A-0239	The existing skirting appears to continue in-situ behind the partition that is intended to be removed. If there is any damage here following the removal then this must be made good to match original.
05	Fi02	058-A-0206 058-A-0239	The existing plaster cornice appears to continue in-situ behind the partition that is intended to be removed. If there is any damage here following the removal then this must be made good to match original.
06	Stair S1	058-A-0206 058-A-0239	Minor crack in painted timber soffit below the stone stair/ landing junction. To be filled and painted.
07	Stair S1	058-A-0206 058-A-0239	Crack to stone tread. Proposed installation of stainless steel 'staples' to structural engineer's specification. <i>Method statement to be approved by Local Authority.</i>
08	Fi04	058-A-0206	Removal and replacement of sanitary fittings only. Painted finishes to be redecorated. All other finishes left as existing.
09	Fi05	058-A-0207	Vertical crack visible through finishes. Crack to be raked out and made good. Decorations to match existing.
10	Fi05	058-A-0207	Crack through cornice to be repaired by lime plaster specialist and redecorated to match existing.
11	Fi05	058-A-0207	Vertical crack visible through finishes. Crack to be raked out and made good. Decorations to match existing.
12	Fi05	058-A-0207	Crack through cornice to be repaired by lime plaster specialist and redecorated to match existing.
13	Fi02	058-A-0206 058-A-0239	Paper has been removed from gypsum plastered wall. Wall to be made good and relined prior to decoration.

### Second Floor Rooms

Work Item	Location	Dwg. Refs	Description
01	S01	058-A-0208 058-A-0241	Vertical cracks are evident at junction of external wall and internal cross wall. Some movement has been detected by the structural engineer and subject to further investigation. Remedial ss. ties may be required to be inserted. Refer to structural engineer's letter included as part of the application. Plaster to be raked out and made good to match existing.
02	S01	058-A-0208 058-A-0241	Damp penetration has occurred through the walls for the full height of the room. Plaster finishes have blown and plaster decorations spoiled. Minor efflorescence evident on cornice. Following ascertainment of cause of damp, plaster finishes affected to be removed and replaced with a lime plaster once the wall has dried out. A lime plaster specialist is to ascertain whether the cornice can be retained or requires local replacement to a profile to match the existing. Timber skirtings and dados can be retained. <i>Extent of replacement to be confirmed with local authority</i>
03	S01	058-A-0208 058-A-0241	Crack through cornice to be repaired by lime plaster specialist and redecorated to match existing.
04	S01	058-A-0208 058-A-0241	Evidence of water penetration into window reveal. Perished, warped timber window lining, blistered paintwork. Likely cause is from a leak from above in the parapet gutter at third floor level.
05	S01	058-A-0208 058-A-0241	Crack through cornice to be repaired by lime plaster specialist and redecorated to match existing.
06	S01	058-A-0208 058-A-0241	Vertical cracks are evident at junction of external wall and internal cross wall. Some movement has been detected by the structural engineer and subject to further investigation. Remedial ss. ties may be required to be inserted. Refer to structural engineer's letter included as part of the application. Plaster to be raked out and made good to match existing.
07	S01	058-A-0208 058-A-0241	Some movement has been detected by the structural engineer at the junctions of the front elevation and cross walls. This is subject to further investigation. Remedial ss. ties may be required to be inserted.
08	S01	058-A-0208 058-A-0241	Damp plaster at dado level. This is to be allowed to dry out and then redecorated.
09	S02	058-A-0208	Minor crack in painted timber soffit below the timber stair/landing junction. To be filled and painted.
10	S02	058-A-0208	Removal and replacement of sanitary fittings with white vitreous china fittings. Loose tiles to be replaced. Vinyl floor to be replaced. Plastered walls redecorated. All surfaces cleaned. Check pipework for leaks.
11	S03	058-A-0208	Linear crack across existing ceiling to be raked out and repaired then redecorated.



### Third Floor Rooms

Work Item	Location	Dwg. Refs	Description
01	T01	058-A-0210	Damp penetration has occurred into the ceiling finishes. Affected areas that cannot be retained to be replaced to match existing. No damage allowed to laths.
02	T01	058-A-0210	Damp penetration has occurred through the walls for the full height of the room. Plaster finishes have blown and plaster decorations spoiled. Following ascertainment of cause of damp, timber cupboard and plaster finishes affected to be removed and replaced with a lime plaster once the wall has dried out. Timber skirtings can be retained.
03	Stair 1	058-A-0210	Damp penetration at high level wall finishes. Plaster finishes have blown and plaster decorations spoiled. Following ascertainment of cause of damp, affected plaster to be removed and replaced with a lime plaster once the wall has dried out. Decorations to match existing.
04	T02	058-A-0210	Cracked floor screed at door threshold to be removed and replaced to enable a flat substrate for new carpet finish.
05	Stair 1	058-A-0210	Existing ceiling has been saturated. Likely cause is the bathroom/kitchen above at fourth floor level. The ceiling appears to be plasterboard but this has yet to be confirmed once scaffolding has been erected. If the cause of damp has ceased then the ceiling is to be checked for stability. If it can be retained in-situ then the ceiling is to be lined with suitable lining paper and redecorated. Alternatively replaced to match existing. (The cornice is painted polystyrene).
06	Stair 1	058-A-0210	Metal stair bracing to be removed following adequate repair of treads to stabilise wobbly baluster.
07	Stair 1	058-A-0210	Treads 79 and 80 have sheared along line where balusters enter the stair tread. Treads to be repaired to match existing detail then redecorated to match existing.
08	T05	058-A-0210	Removal and replacement of sanitary fittings only. Painted finishes to be redecorated. All other finishes left as existing.

**Fourth Floor Rooms**

<b>Work Item</b>	<b>Location</b>	<b>Dwg. Refs</b>	<b>Description</b>
01	F12	058-A-0212	Evidence of damp to ceiling. Cause of damp ingress to be confirmed. Redecorate.
02	F11	058-A-0212	Vertical crack in wall finish to be raked out and repaired then redecorated to match existing.
03	F11	058-A-0212	Lateral crack in ceiling finishes be raked out and repaired then redecorated to match existing.
04	F11	058-A-0212	Local plaster repairs to area where steel beam has been inserted. Redecorate.
05	F11	058-A-0212	Minor local area of blown plaster finishes to chimney breast. Local plaster repair and redecorate.
06	F10	058-A-0212	Kitchen fittings and finishes to be removed. Existing walls to be made good and painted awaiting tenant fit out. Capped off services connections to be provided. <i>NB: All existing waste and supply pipework to be checked for water-tightness.</i>
07	F10	058-A-0212	Minor cracks to soffit to be raked out and repaired to match existing.
08	F07	058-A-0212	Bathroom fittings and finishes to be removed. Existing walls to be made good and painted awaiting tenant fit out. Capped services to be provided. <i>NB: All existing waste and supply pipework to be checked for water-tightness.</i>

**External Envelope-Main Building**

Work Item	Location	Dwg. Refs	Description
01	Front Elevation-basement Lightwell	058-A-0086	Existing painted render walls have flaking paint finish and cracking to render. Flaking paintwork to be removed ( <i>method to be approved by local authority-light sandblast or weak acid wash</i> ) prior to repainting with breathable exterior grade paint. Render to be checked for loose or blown areas. Minor cracks to be filled with lime render prior to repainting. <i>Sample finish to approval</i>
02	Front Elevation	058-A-0086	Existing external railings to be repainted with suitable external metal paint. Any loose or flaking paint to be removed prior to redecoration. Active rust to be treated with rust inhibitor prior to redecoration.
03	Rear Elevation-basement level	058-A-0086	The basement rear elevation has been painted and repainted. This finish has completely failed and the brickwork and pointing beneath deteriorated. The paint finish to be carefully removed to avoid further damage to the substrate, loose mortar removed by hand and re-pointed with a lime:sand mix and a new breathable finish applied to the basement level elevation and window reveals: ideally a painted lime render finish. <i>Specification of render to approval by Local Authority</i>
04	Front Elevation	058-A-0086	Painted stone string course has flaking paintwork. Existing paintwork to be removed ( <i>method to be approved by local authority-light sandblast or weak acid wash</i> ) to establish condition of stonework. ( <i>works to be confirmed</i> ). Redecoration with suitable exterior paint.
05	Rear Elevation	058-A-0086	Existing rear cast iron SVP and RWPs to be checked for leaks, loose fixings and made good if required. Pipework to be repainted with black gloss exterior metal paint.
06	Front Elevation: parapet	058-A-0086	Replace cracked parapet stone to match existing. Check gutter for integrity to ensure watertightness.
07	Rear Elevation	058-A-0086	Upper level external brickwork appears to have delaminated from the internal masonry. Remedial ties to be inserted as structural engineer's specification. Refer to structural engineer's letter and specification.(attached)
08	Front Elevation	058-A-0086	Local resin injection repair to low level masonry plinth at entrance. Stone repair methodology to be confirmed by suitably qualified contractor. Plinth and stairs to be repainted throughout to match existing.

**External Envelope- Rear Extension**

Work Item	Location	Dwg. Refs	Description
01	Rear extension	058-A-0087	Existing external railings to be repainted with suitable external metal paint. Any loose or flaking paint to be removed prior to redecoration. Active rust to be treated with rust inhibitor prior to redecoration.
02	Rear extension elevations	058-A-0087	Existing painted render walls have flaking paint finish and minor cracking to render. Flaking paintwork to be removed ( <i>method to be approved by local authority-light sandblast or weak acid wash</i> ) prior to repainting with breathable exterior grade paint. Render to be checked for loose or blown areas. Minor cracks to be filled with lime render prior to repainting. <i>Sample finish to approval</i>
03	Rear extension	058-A-0087	Existing plastic rainwater goods to be cleared of debris and checked for watertightness and adequacy of falls.

**External Envelope: Roofs**

Work Item	Location	Dwg. Refs	Description
01	Flat Roof	058-A-0083	Replace bituminous felt and flashing to flue cowls as these have melted. Use proprietary aluminium/ stainless steel. To be approved.

**Appendix A: Structural Engineer's Letter**

Registered in England No. 2727193

## The Morton Partnership

THE MORTON PARTNERSHIP LTD.

CONSULTING CIVIL & STRUCTURAL ENGINEERS,  
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Our ref: PC/12258-02e

21 September 2009

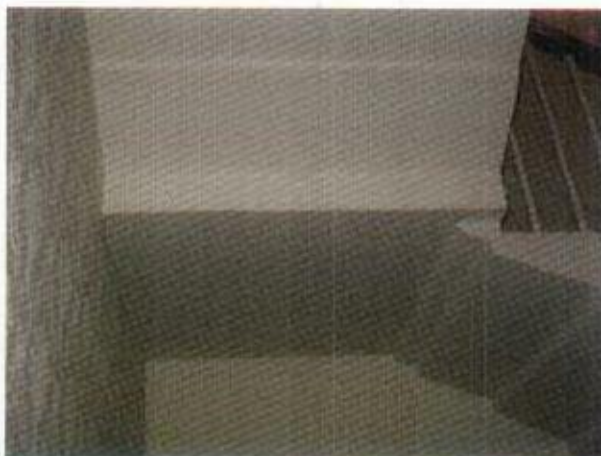
Martin Canaway  
Canaway Fleming Architects Ltd  
The Dutch House  
307-308 High Holborn  
London  
WC1V 7LL

Dear Martin

### **RE: 8 SOUTHAMPTON PLACE, LONDON WC1**

Further to our meeting last week we write to outline our findings at the above property. We do this below.

We were asked to have a look at the cantilever staircase where a crack was obvious in the location of the quarter landing between first and second floor level. From the underside there is a crack in the quarter landing stone which was considered to be very straight and perpendicular with the party wall of the property. The crack continues through the first step above where it then runs in a diagonal direction. The carpet covering to the top surface was lifted locally and it was clear that there is a straight joint in the quarter landing in this location. The diagonal crack to the next step above is likely to be caused by movement in the quarter landing in the location of the straight joint which in turn has allowed minor movement in this step.



**Photograph 1:** Cracking to underside of quarter landing

We would recommend that the crack in the first step should be repaired using a stainless steel clamp. This can be done from above where a staple shaped clamp can be resin fixed across the crack and made good after. We would also recommend that any joint between the landing and first step is pointed to limit any further future movement.

Whilst on site there were a number of other areas that required structural input. There were a number of areas of cracking throughout the building and we would recommend that these areas are opened up to expose the structure behind.



**RE: 8 SOUTHAMPTON PLACE, LONDON WC1**



**Photograph 2:** Diagonal cracking to top of cantilever stone step.

The majority of cracking internally was found to be at the junction between walls. It is common for this cracking to occur when the walls are of different constructions but we would still recommend opening up to confirm if the cracking is in the structure and not just the finish. Where there is cracking in the principal structure we would recommend that any cracks are stitched using either stainless steel helical bar or by a more heavy duty method if necessary.

Cracking was noted in the brickwork to the front and rear elevations. There was also bulging noted to a panel of brickwork between rear windows at second floor level. In these areas we would recommend that cracks are stitched using stainless steel helical bar reinforcement such as Helifix or similar. Where the bulging is occurring we anticipate that this is the result of de-bonding between the facing brickwork and backing brickwork. We would recommend that remedial ties are installed from external and made good upon completion. I have attached the relevant data sheets indicating preliminary proposed repair techniques.

We understand that the right hand side party wall has been exposed for a reasonable period of time during the demolition and construction works to the adjacent development and this has allowed a significant amount of water ingress. We would recommend that some opening up is carried out to assess the condition of floor that are embedded in this wall as there is a risk that these have suffered wet rot and decayed.

We trust the above is satisfactory for this preliminary stage but if you have any comments or queries then please do not hesitate to contact the undersigned.

**Yours sincerely**  
**FOR THE MORTON PARTNERSHIP LIMITED,**

**PETER CORCORAN**

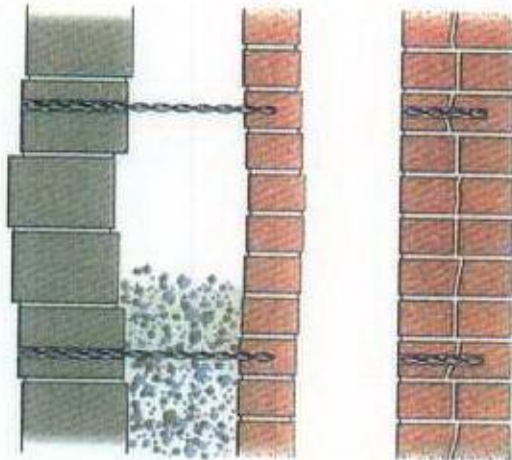
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# Repair of Delaminated or Separating Masonry in a Rubble Filled or Solid Wall using Thor Grout Ties

TRF  
01

## Method Statement

1. Mark fixing positions on the outer face of the wall.
2. Drill 14mm clearance holes (16mm if the Grout Tie is longer than 450mm) to the required depth.
3. Clean out all dust from the holes and thoroughly flush with water. Use Thor Primer to seal the faces of the hole where substrate is very porous or water can't be used.
4. Attach the appropriate length of Grout Tie pinning nozzle to the grout gun.
5. Mix the Thor WHO Grout constituents together, as directed, in the bucket provided using a powered mixing paddle. Additional liquid should not be added.
6. Load the grout into the grout gun and pump grout to fill the nozzle.
7. Screw the Grout Tie into the pinning nozzle and ensure it is fully encapsulated in grout.
8. Insert the nozzle to the full depth of the hole and pump the grout gun to expel the grout and Grout Tie. Finish the grout back from face of brickwork to allow application of a colour matched mortar.



## SPECIFICATION NOTES

The following criteria are to be used unless specified otherwise:

- A. Grout Ties to be installed at a density of 2.5 ties/m<sup>2</sup> (i.e. 900mm horizontal and 450mm vertical spacings with alternate rows staggered)
- B. Additional ties to be installed around openings at 300mm vertical centres and 225mm back from opening
- C. Depth of the clearance hole to be Grout Tie length +25mm.
- D. **Climatic Conditions.** In hot conditions Thor WHO 60 grout should be stored and mixed in the shade to maximize the working life of the mixed product. As Thor WHO 60 grout is a cementitious product it should not be used when the temperature is +4°C and falling.

## RECOMMENDED TOOLING

- A. 14mm dia. drill bit of appropriate length.
- B. Power mixing paddle.
- C. Thor Grout gun and injection nozzle.
- D. 2.5kg SDS hammer drill
- E. Grout Tie pinning nozzle of appropriate length.

## General Notes

These notes are for general use only. Should these notes not apply to your specific project, please consult the Thor Helical Remedial Technical Support Team on 0870 6006164. Thor Helical Remedial are able to offer a full project design service by either our in house design team or our National network of Approved installers. In most instances this service is provided free of charge. Projects completed by our network of approved installers offer the benefit of a fully underwritten insurance backed guarantee.

**Thor Helical**  
Remedial

A DIVISION OF  
THE WYKAMOL GROUP



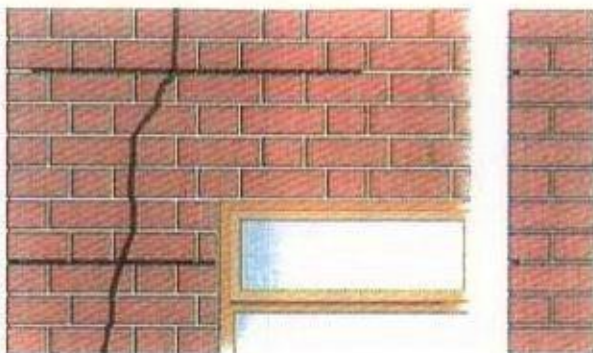


# Crack Stitching a Solid Wall using Thor Heliforce Bars

TCS  
04

## Method Statement

1. Use a twin bladed, diamond tipped wall chasing unit to cut out horizontal slots in a mortar bed as required by the specification. For clean, dust free cutting use a vacuum attachment on the chasing unit.  
**Note.** When installing bar in a mortar bed joint ensure all the mortar is removed from the joint. Failure to do so will result in reduced effectiveness of the repair.
2. Remove all dust and debris from the slot and thoroughly soak with clean water. Use Thor Primer to seal faces of slot where substrate is very porous or water can't be used.
3. Cut the required number of Thor Heliforce bars to the appropriate lengths, ensuring they fit into the prepared slots.
4. Mix the Thor WHO Grout constituents together, as directed, in the bucket provided using a powered mixing paddle. Additional liquid should not be added.
5. Load the Thor WHO Grout into the Thor Crack Stitch Gun.
6. Inject a 10-15mm thick bead of grout into the back of the prepared slot. Insert the Thor Heliforce bar pushing the bar to the back of the slot to ensure full embedment in the grout.
7. Inject a further 10-15mm bead of grout and compress the grout and bar composite into the slot using a suitable finger trowel.
8. The grout should be finished approx. 10mm below the surface of the brickwork to allow the application of a colour matched mortar pointing to finish the repair.
9. **Note.** Re-pointing can be commenced when grout has begun to set.  
**Note.** Thor WHO Grout has an accelerated gelling time. Should the grout become too stiff to inject, empty the contents of the grout gun back into the mixing bucket and re-mix using the powered mixing paddle without adding additional liquid. Reload the injection gun and proceed as before.



## SPECIFICATION NOTES

The following criteria are to be used unless specified otherwise:

- A. Finished depth of slot: 35-40mm.
- B. Thor Heliforce bars to extend a minimum of 500mm into sound masonry either side of the crack. (Bars may have to be extended further into weak masonry substrates)
- C. Maximum vertical spacing between bars should be 450mm.
- D. Where a crack is less than 500mm from a corner or opening the Thor Heliforce bar should be continued for a minimum of 100mm around the corner or reveal avoiding any DPC membrane.
- E. **Climatic Conditions.** In hot conditions Thor WHO 60 grout should be stored and mixed in the shade to maximize the working life of the mixed product. As Thor WHO 60 grout is a cementitious product it should not be used when the temperature is +4°C and falling

## RECOMMENDED TOOLING

- A. Twin bladed diamond tipped wall chasing unit with vacuum attachment.
- B. Power mixing paddle.
- C. Thor Grout gun and injection nozzle.
- D. Suitable finger trowel for mortar finishing.

## General Notes

These notes are for general use only. Should these notes not apply to your specific project, please consult the Thor Helical Remedial Technical Support Team on 0870 6006164. Thor Helical Remedial are able to offer a full project design service by either our in house design team or our National network of Approved Installers. In most instances this service is provided free of charge. Projects completed by our network of approved installers offer the benefit of a fully underwritten insurance backed guarantee.

National Support  
or National  
Approved Installers



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