

DESIGN & ACCESS STATEMENT



PROJECT BACKGROUND

EXISTING SITE

The existing building consists of a two storey detached brick single family dwelling situated in Hampstead and constructed in the 1980's. Parfitt Close is a secluded development of 2 family houses. 1 Parfitt Close is only visible from the public realm at it's long end. The long elevation of the house faces onto a private courtyard type garden through which it is entered. The changes to the house that are visible from the public realm are limited.

PROPOSED SCHEME

ARCHITECTURE

The proposed scheme comprises:

1. Various new windows and alterations to existing detailed to match existing
2. New dormer windows at roof level
3. Replacement of ground floor conservatory with new extension including new porch
4. Small infill ground level extension adjacent to garage

Materials and detailing

All materials for the proposed extensions are to be of high quality. Walls are to be of brick while windows are a combination of lacquered hardwood and powder coated metal. Dormer windows will be finished using traditional pre patinated zinc cladding.

Landscaping and trees

The proposals will have no effect on trees

Parking

The proposed parking provision is the same as existing.

Access

The proposed access is not altered from the existing situation. Access to the house continues to be the front door on the side façade which is concealed within the garden.

SUSTAINABILITY & ENVIRONMENTAL PERFORMANCE

The extensions have been designed to accord with current best practice and our experience in low energy and low environmental impact house design. Particular care has been taken to ensure the following standards.

- **Limiting heat loss**

Walls roofs and glazing will all be designed to exceed the new Building Regulation standards.

- **Natural Ventilation**

The extension is designed with a limited depth plan, which will allow cross ventilation of the new room via openable windows and roof lights during summer and temperate times of the year. Trickle vents will provide background ventilation for the rest of the year.

- **Natural Lighting**

The internal spaces have been designed for excellent natural day lighting, minimising the need for artificial lighting. Energy efficient light sources will be used where possible.

- **Materials**

Materials will be specified with consideration of the following criteria (in accordance with the BRE Green Guide to Specification)

Toxic Pollutants arising from manufacturing and combustion

Primary Energy used in extraction, production and transport

Emissions of Carbon dioxide, volatile organic compounds, nitrous oxides, and sulphur dioxide associated with manufacture

Use of mineral reserves, water or fossil fuels

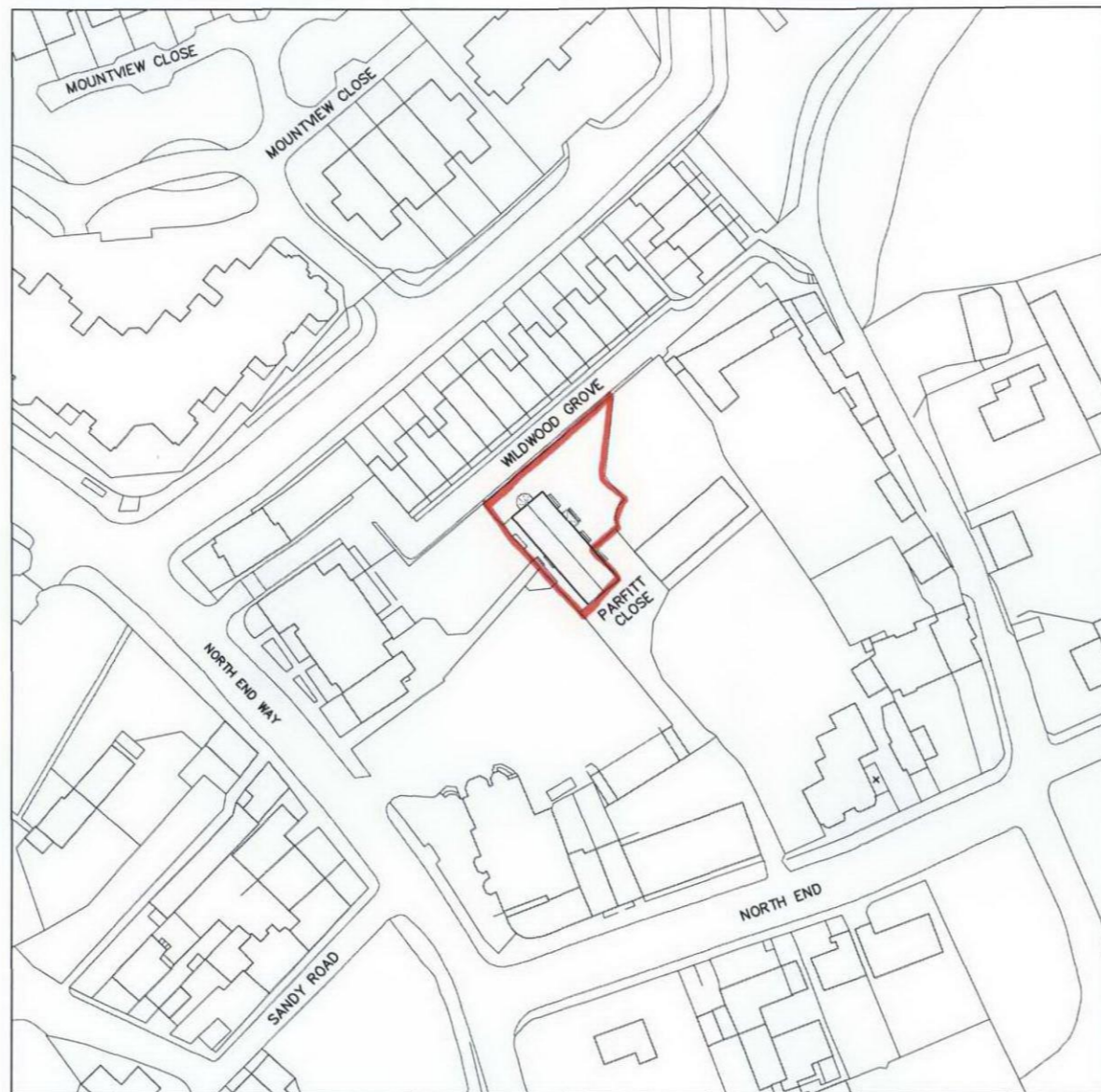
Depletion of reserves of raw materials

Issues associated with recycling –it is intended to use a number of recycled materials in the finished product, and aim to allow some of the building products used in the construction of the building to be capable of being recycled

Timber products used will have FSC certification

Heating & Hot Water Systems

The new boilers will be condensing and will have an energy efficiency exceeding the Domestic Heating Compliance Guide.



RECEIVED 27 NOV 2009

date	rev	revisions
24.11.09	A	Scale revision

key plan

notes

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project	drawing title			
PARFITT CLOSE	EXISTING SITE PLAN			
client	scale at A1	scale at A3	drawn	date
-	-	1:1250	CC	NOV 09
project no.	drawing no.	revision		
1654	S05	A		



VIEW OF EAST ELEVATION TOWARDS ENTRANCE GATE



VIEW OF EAST ELEVATION



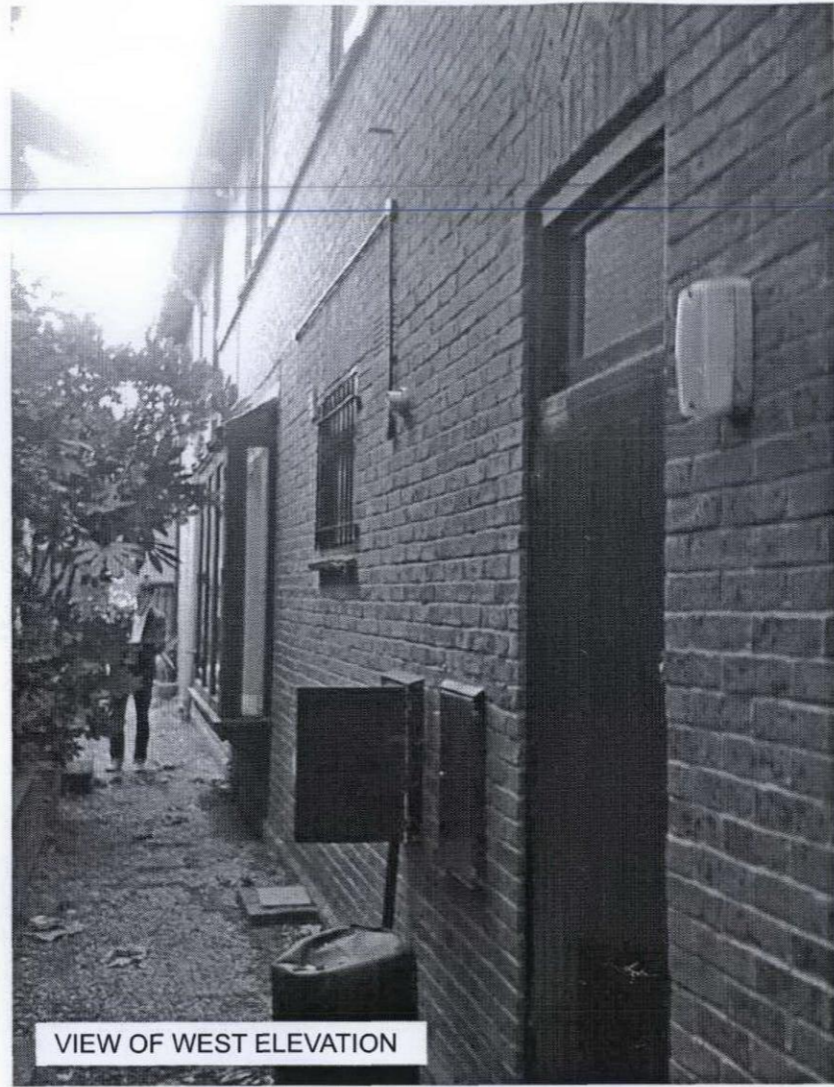
VIEW OF SOUTH ELEVATION AND NO. 2 PARFITT CLOSE



VIEW OF EXISTING SIDE EXTENSION



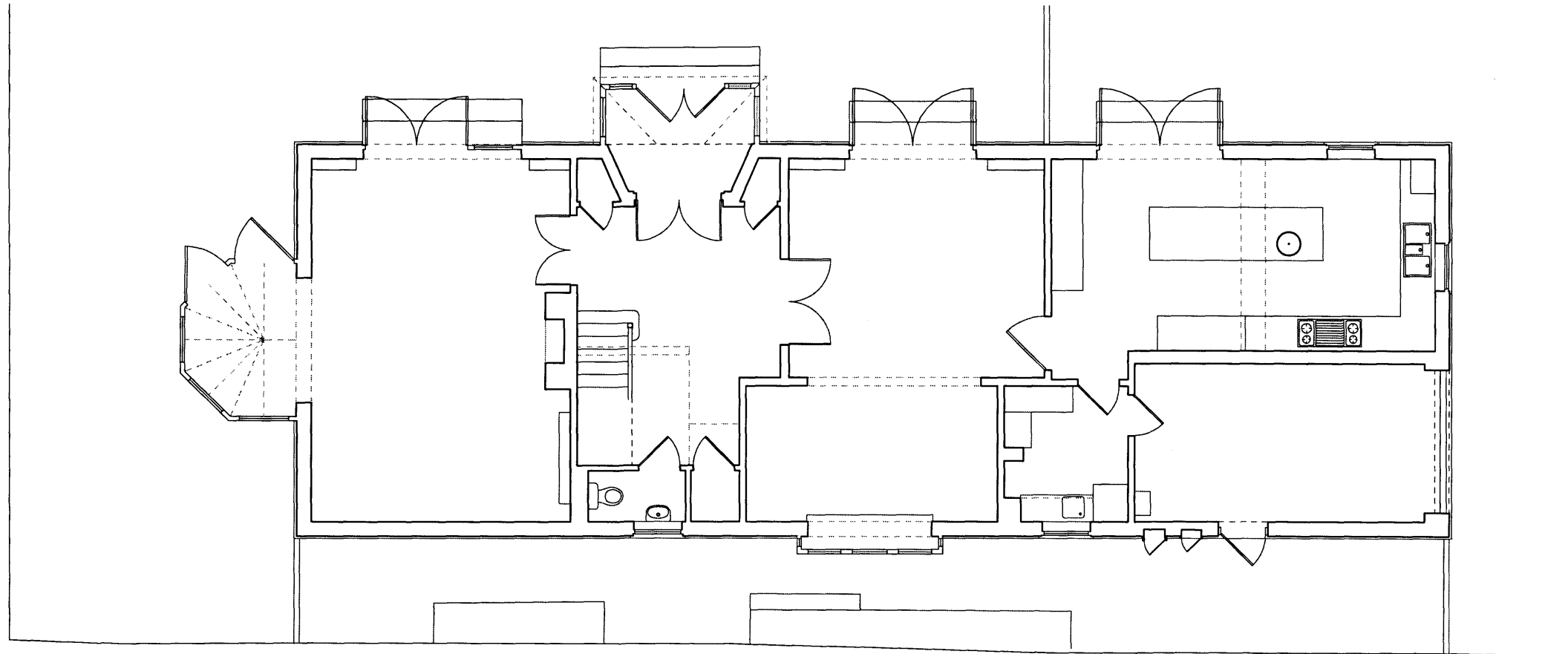
VIEW OF SOUTH ELEVATION



VIEW OF WEST ELEVATION



PANORAMA OF EAST ELEVATION



date rev revisions

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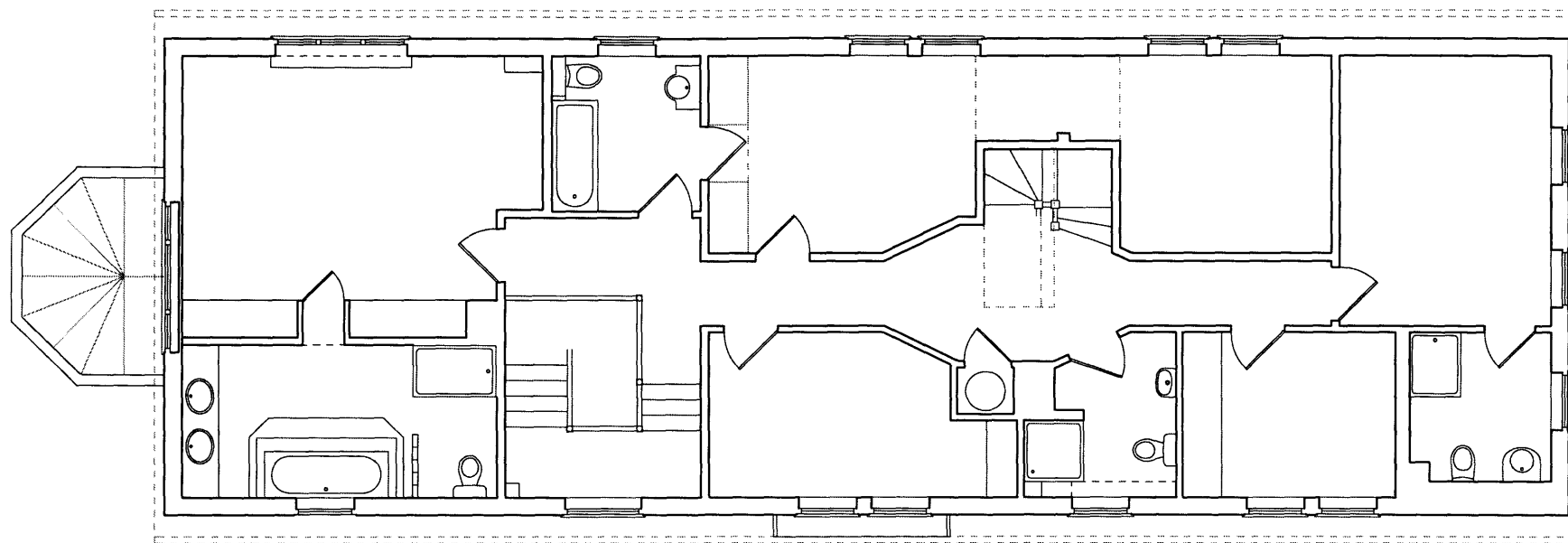
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PARFITT CLOSE EXISTING GROUND FLOOR PLAN

client	scale at A1	scale at A3	drawn	date
MR & MRS OTUBU	-	1:100	CC	AUG 09
	project no.	drawing no.	revision	
	1654	A10		



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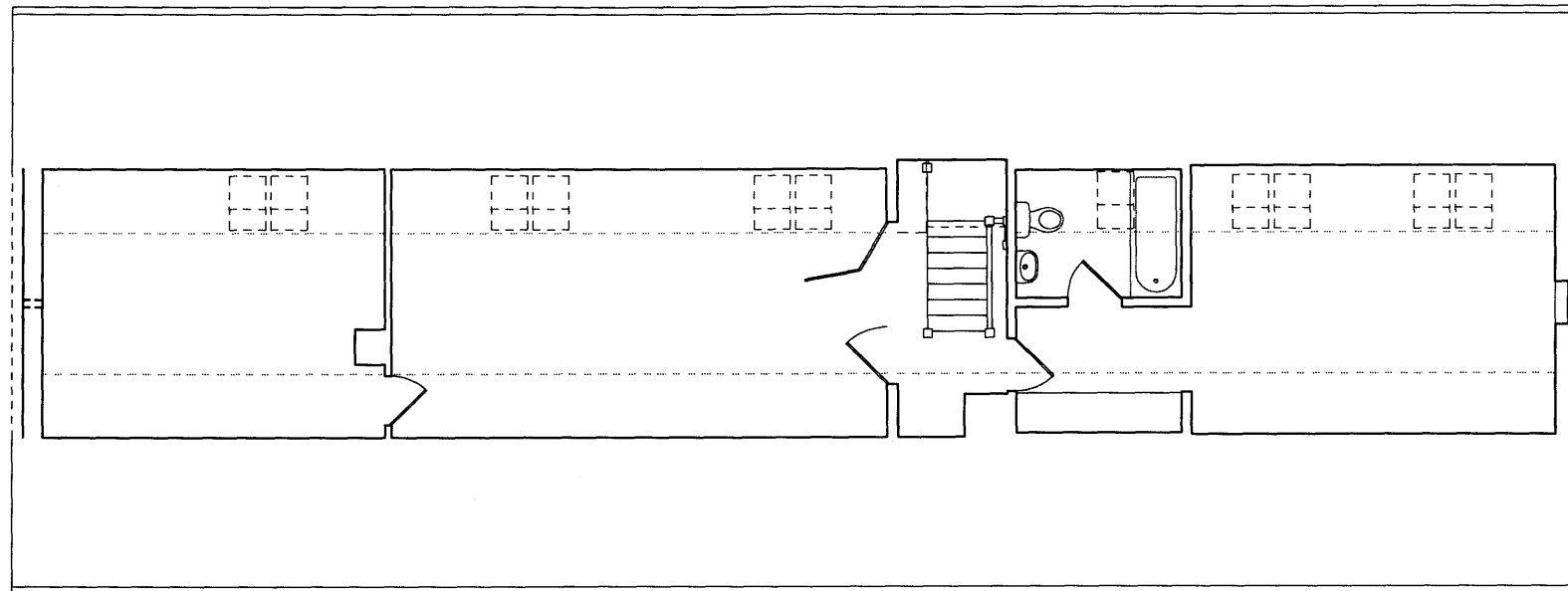
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PARFITT CLOSE

EXISTING FIRST FLOOR PLAN

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project no.	1654	drawing no.	revision	
		A11		



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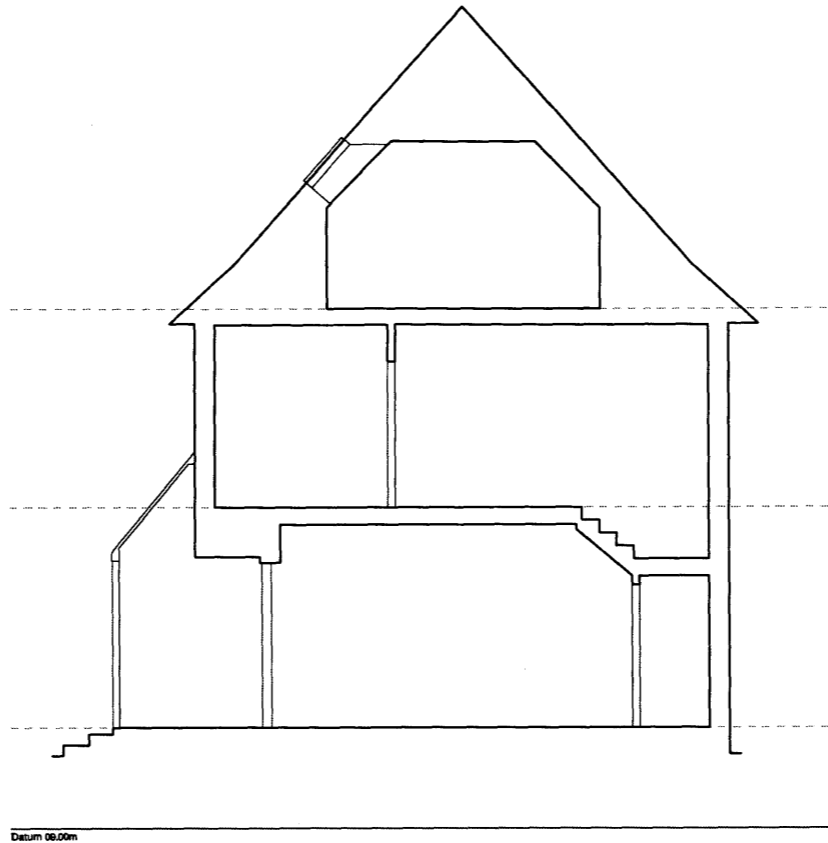
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project drawing title

PARFITT CLOSE EXISTING SECOND FLOOR PLAN

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MR & MRS OTUBU	-	1:100	CC	AUG 09
	project no.	drawing no.	revision	
	1654	A12		



Datum 00.00m

Section A-A



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project PARFITT CLOSE drawing title EXISTING SECTION A-A

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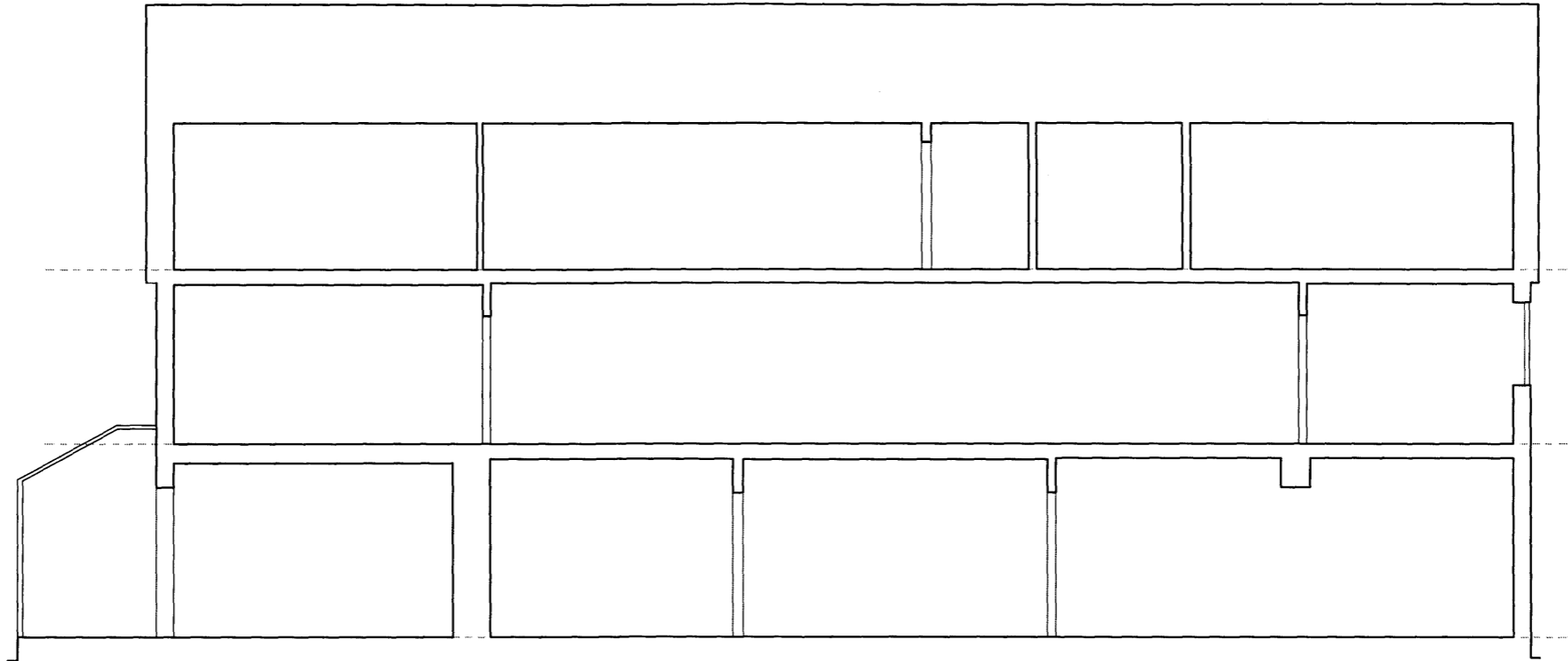
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Section B-B

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project drawing title

PARFITT CLOSE EXISTING SECTION A-A

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	1654	A21		



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PARFITT CLOSE		EXISTING EAST ELEVATION			
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project no.	drawing no.	revision			
1654	A30				



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project drawing title

PARFITT CLOSE EXISTING SOUTH ELEVATION

client scale at A1 scale at A3 drawn date

MR & MRS OTUBU - 1:100 CC AUG 09

project no. drawing no. revision

1654 A31

key plan

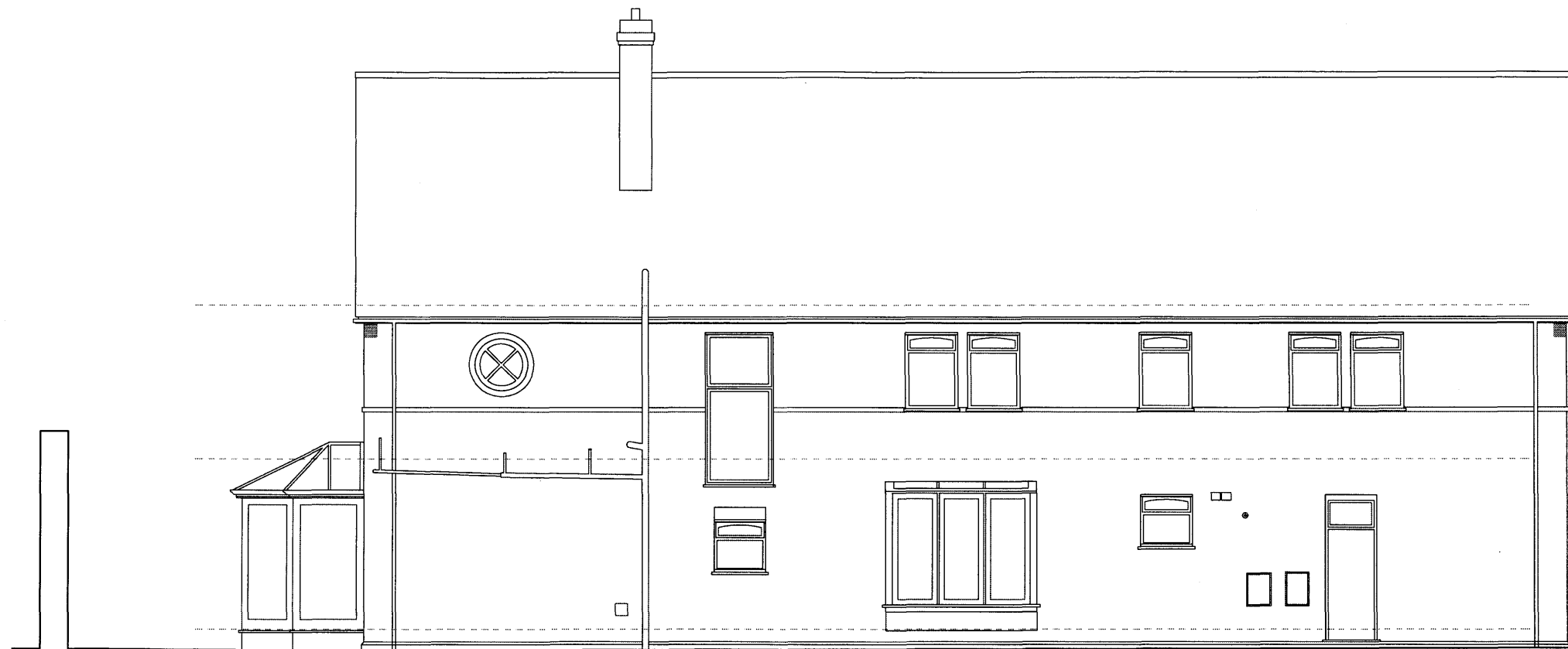
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PARFITT CLOSE EXISTING WEST ELEVATION

client	scale at A1	scale at A3	drawn	date
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	1654	A32		



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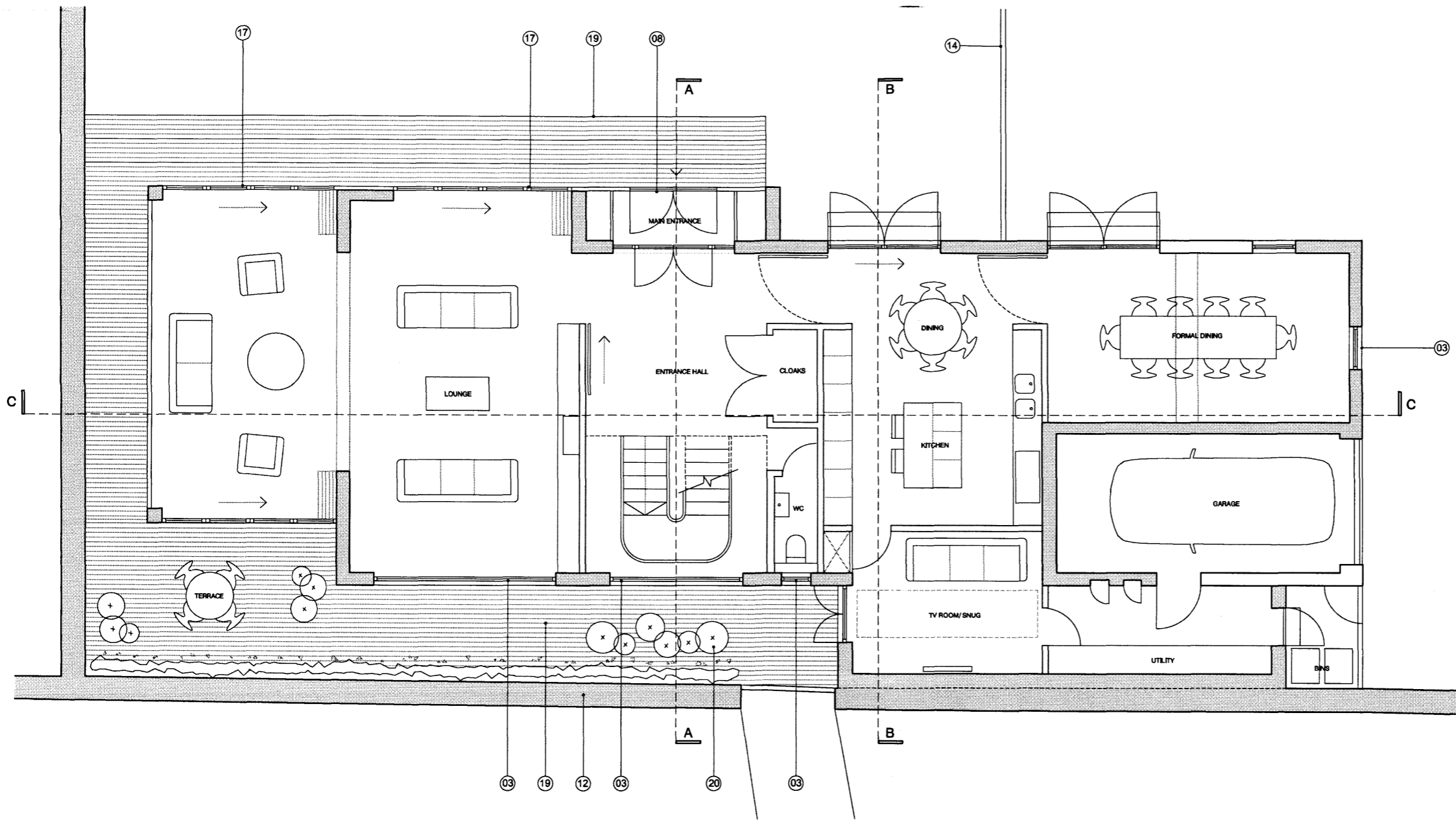


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	1654	A33		

project
PARFITT CLOSE

drawing title
EXISTING NORTH ELEVATION

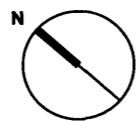


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18_	METAL INFILL PANEL
19_	HARDWOOD DECKING
20_	LANDSCAPE/ WATER FEATURE
21_	TIMBER GARAGE DOOR

date rev revisions

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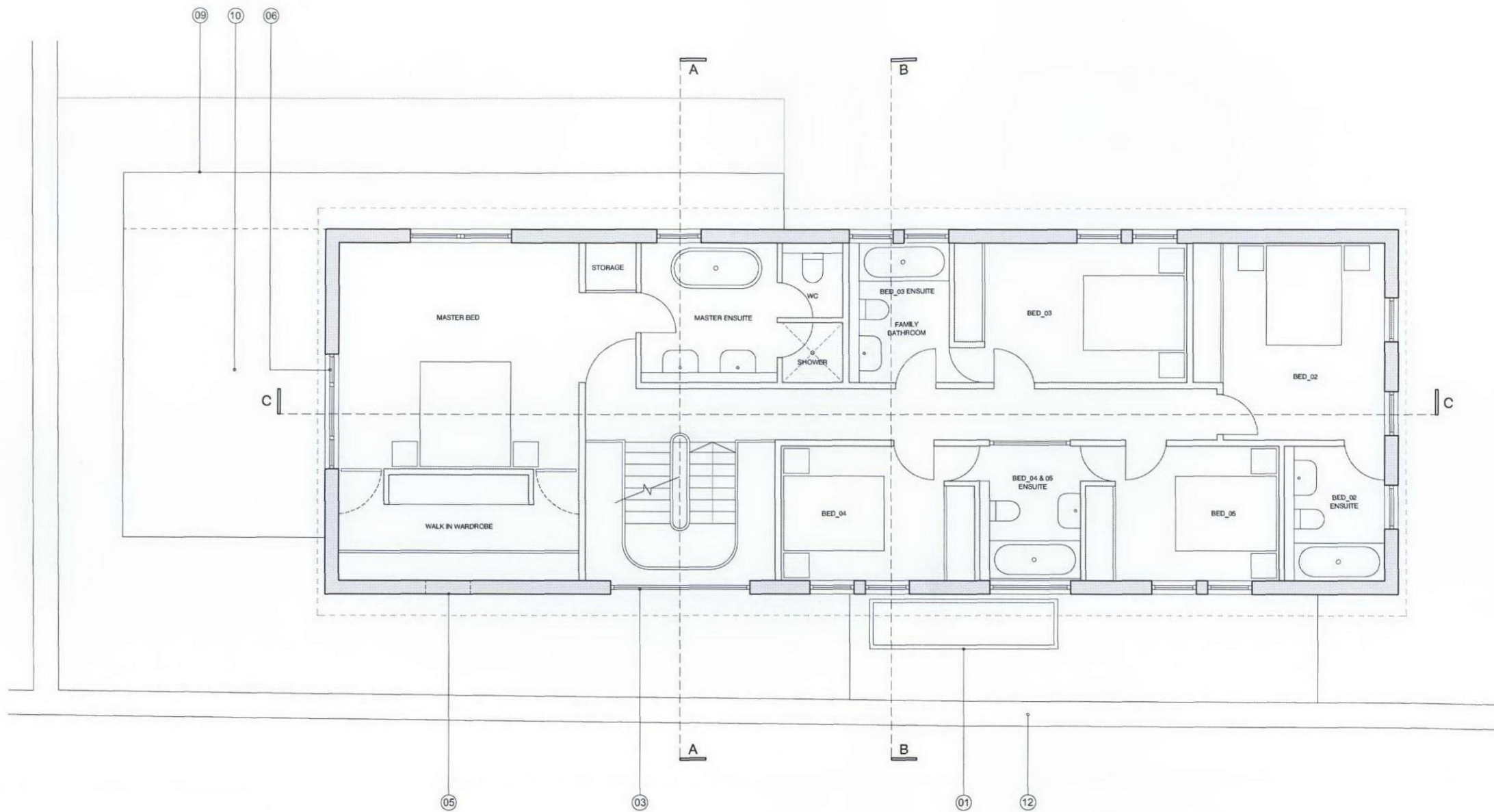
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project **PARFITT CLOSE** drawing title **PROPOSED GROUND FLOOR PLAN**

client	scale at A1	scale at A3	drawn	date
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	project no.	drawing no.	revision	
	1654	A100		

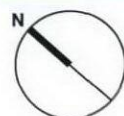


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21_	TIMBER GARAGE DOOR

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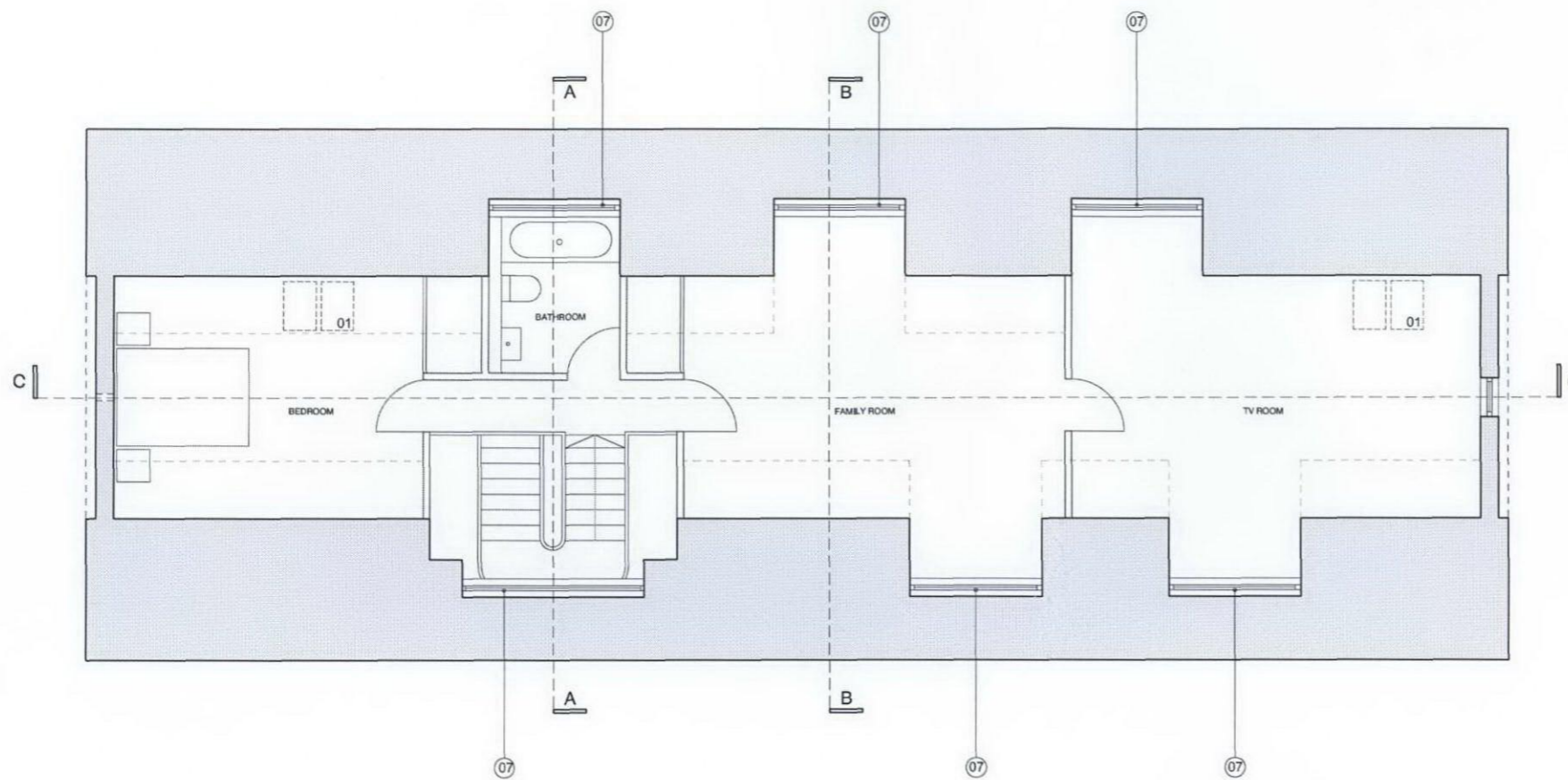
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project	drawing title			
PARFITT CLOSE	PROPOSED FIRST FLOOR PLAN			
client	scale at A1	scale at A3	drawn	date
MR & MRS OTUBU	-	1:100	CC	OCT 09
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	1654	A110		



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project	drawing title		
PARFITT CLOSE	PROPOSED SECOND FLOOR PLAN		

client	scale at A1	scale at A3	drawn	date
MR & MRS OTUBU	-	1:100	CC	OCT 09
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	1654	A120		



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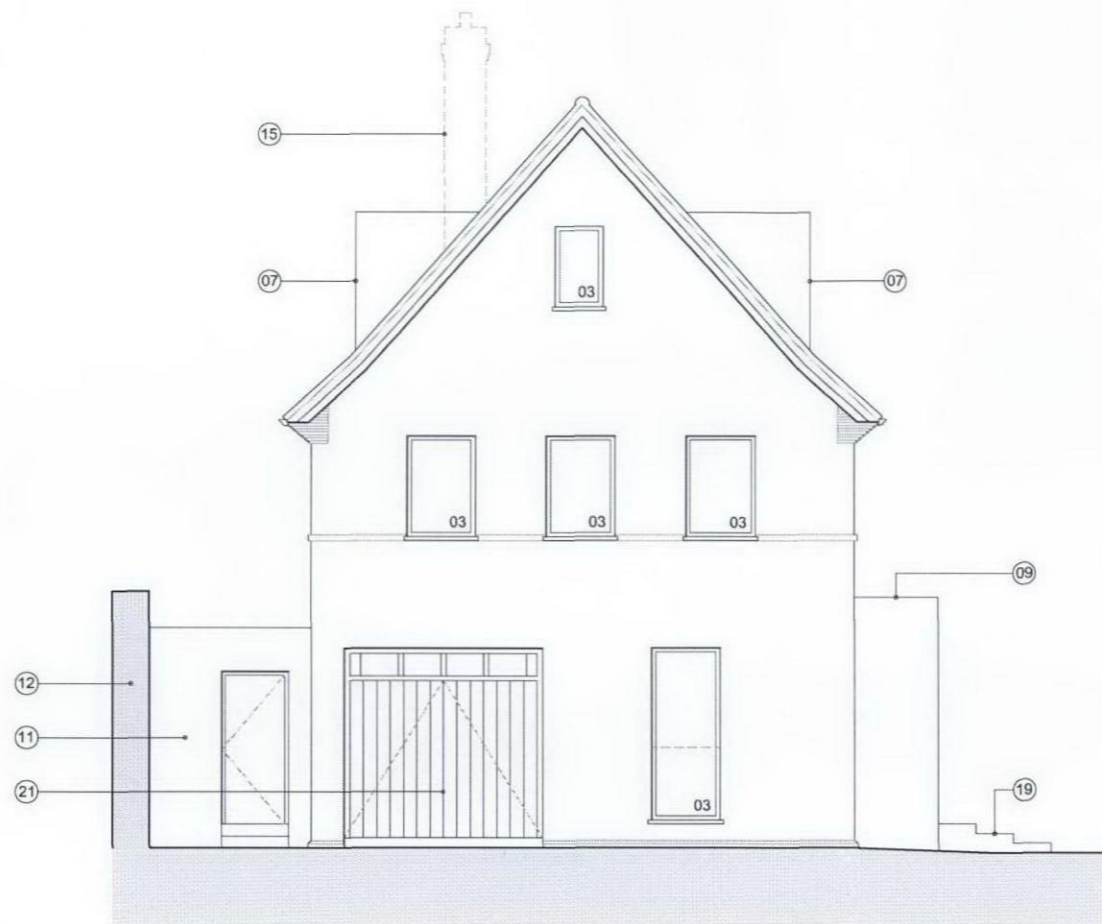
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project	drawing title			
PARFITT CLOSE	PROPOSED EAST ELEVATION			
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project no.	drawing no.	revision		
1654	A300			



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project drawing title

PARFITT CLOSE **PROPOSED SOUTH ELEVATION**

client scale at A1 scale at A3 drawn date

- - 1:100 CC OCT 09

project no. drawing no. revision

1654 A310



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project drawing title

PARFITT CLOSE **PROPOSED WEST ELEVATION**

client scale at A1 scale at A3 drawn date

- - 1:100 CC AUG 09

project no. drawing no. revision

1654 A320



KEY_

01_	ROOF LIGHT
02_	ROOF LIGHTS REMOVED
03_	WOOD FRAMED WINDOW
04_	METAL FRAMED WINDOW
05_	WINDOW REMOVED
06_	EXISTING WINDOW REINSTATED
07_	METAL CLAD DORMER WINDOW
08_	METAL FRAMED DOORS
09_	METAL CANOPY
10_	METAL FRAMED GLAZED EXTENSION
11_	WHITE RENDER
12_	BRICK WALL
13_	BRICK WORK
14_	GATE
15_	CHIMNEY REMOVED
16_	EXISTING GROUND LEVEL
17_	METAL SLIDING FOLDING DOORS
18_	METAL INFILL PANEL
19_	HARDWOOD DECKING
20_	LANDSCAPE/ WATER FEATURE
21_	TIMBER GARAGE DOOR

date rev revisions

key plan

notes

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project drawing title

PARFITT CLOSE **PROPOSED NORTH ELEVATION**

client scale at A1 scale at A3 drawn date

- - 1:100 CC OCT 09

project no. drawing no. revision

1654 **A330**

