DESIGN & ACCESS STATEMENT



PROJECT BACKGROUND

EXISTING SITE

The existing building consists of a two storey detached brick single family dwelling situated in Hampstead and constructed in the 1980's. Parfitt Close is a secluded development of 2 family houses. 1 Parfitt Close is only visible from the public realm at it's long end. The long elevation of the house faces onto a private courtyard type garden through which it is entered. The changes to the house that are visible from the public realm are limited.

PROPOSED SCHEME

ARCHITECTURE

The proposed scheme comprises:

- 1. Various new windows and alterations to existing detailed to match existing
- 2. New dormer windows at roof level
- 3. Replacement of ground floor conservatory with new extension including new porch
- 4. Small infill ground level extension adjacent to garage

Materials and detailing

All materials for the proposed extensions are to be of high quality. Walls are to be of brick while windows are a combination of lacquered hardwood and powder coated metal. Dormer windows will be finished using traditional pre patinated zinc cladding.

Landscaping and trees

The proposals will have no effect on trees

Parking

The proposed parking provision is the same as existing.

Access

The proposed access is not altered from the existing situation. Access to the house continues to be the front door on the side façade which is concealed within the garden.



SUSTAINABILITY & ENVIRONMENTAL PERFORMANCE

The extensions have been designed to accord with current best practice and our experience in low energy and low environmental impact house design. Particular care has been taken to ensure the following standards.

Limiting heat loss

Walls roofs and glazing will all be designed to exceed the new Building Regulation standards.

Natural Ventilation

The extension is designed with a limited depth plan, which will allow cross ventilation of the new room via openable windows and roof lights during summer and temperate times of the year. Trickle vents will provide background ventilation for the rest of the year.

Natural Lighting

The internal spaces have been designed for excellent natural day lighting, minimising the need for artificial lighting. Energy efficient light sources will be used where possible.

Materials

Materials will be specified with consideration of the following criteria (in accordance with the BRE Green Guide to Specification)

Toxic Pollutants arising from manufacturing and combustion

Primary Energy used in extraction, production and transport

Emissions of Carbon dioxide, volatile organic compounds, nitrous oxides, and sulphur dioxide associated with manufacture

Use of mineral reserves, water or fossil fuels

Depletion of reserves of raw materials

Issues associated with recycling –it is intended to use a number of recycled materials in the finished product, and aim to allow some of the building products used in the construction of the building to be capable of being recycled

Timber products used will have FSC certification

Heating & Hot Water Systems

The new boilers will be condensing and will have an energy efficiency exceeding the Domestic Heating Compliance Guide.





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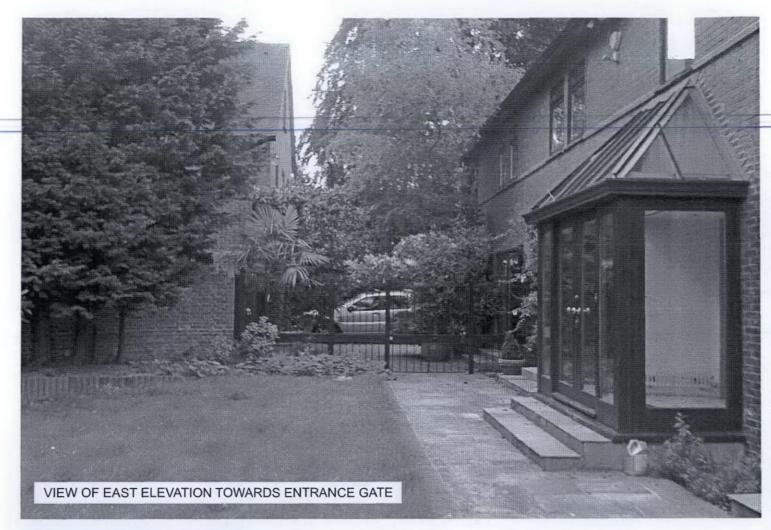
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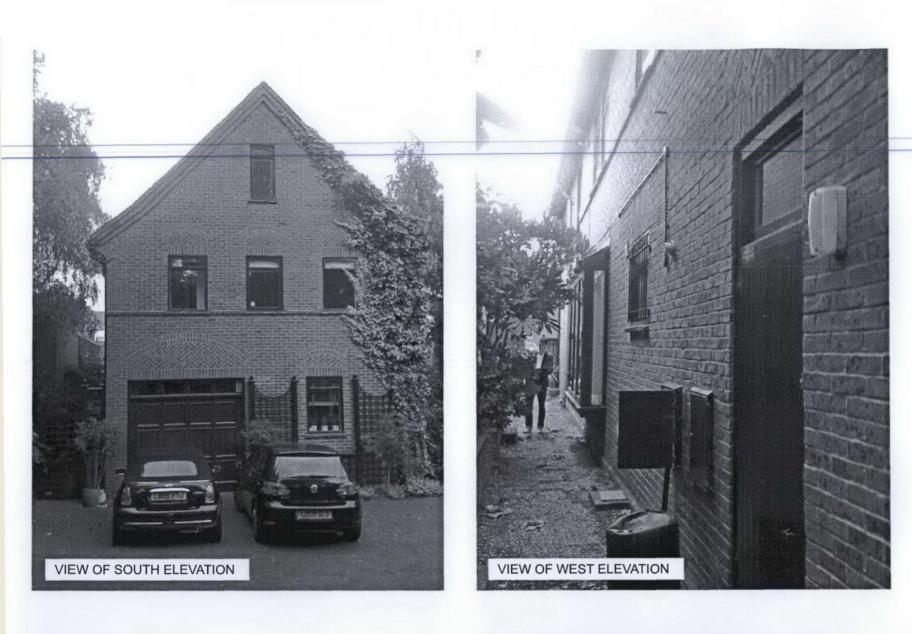
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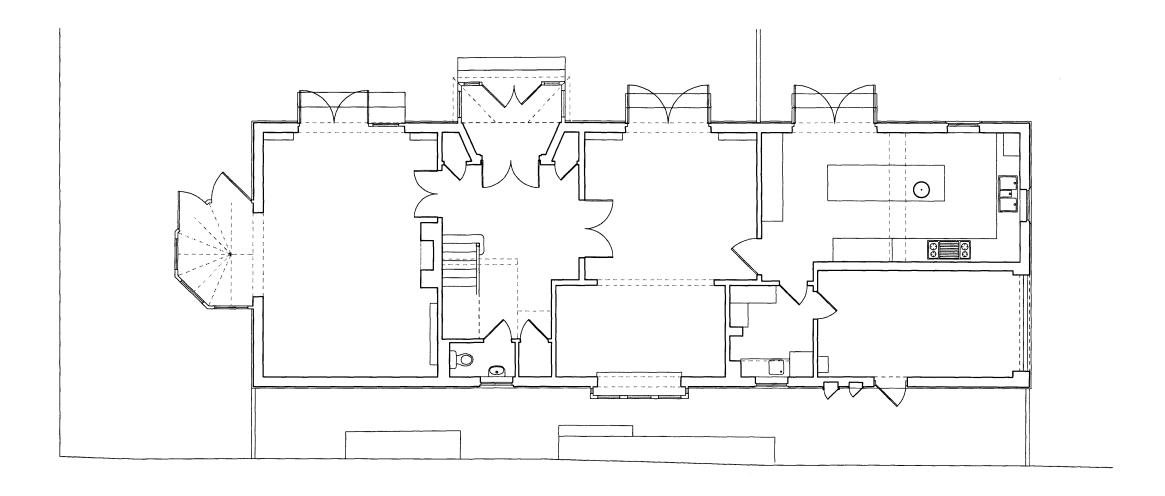












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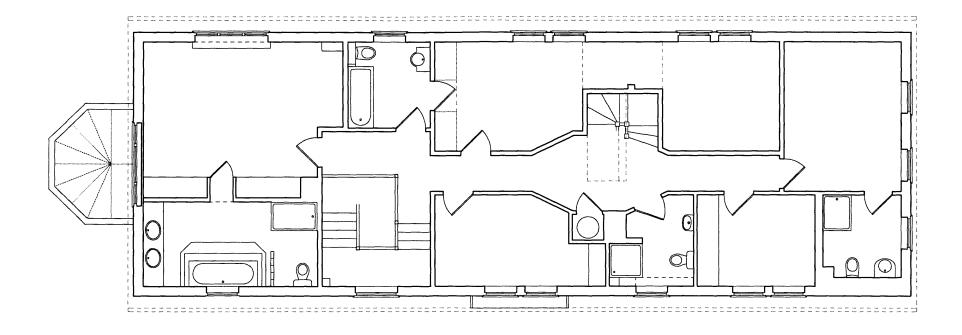
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DE METZ FORBES KNIGHT ARCHITECTS add: the old library 119 cholmley gardens london nw6 1sa t 020 7435 1144 f 020 7435 0884 mail info@dmfk.co.uk

drawing title EXISTING GROUND FLOOR PLAN PARFITT CLOSE

scale at A3 drawn date MR & MRS OTUBU 1:100 CC drawing no. revision AUG 09 1654 A10



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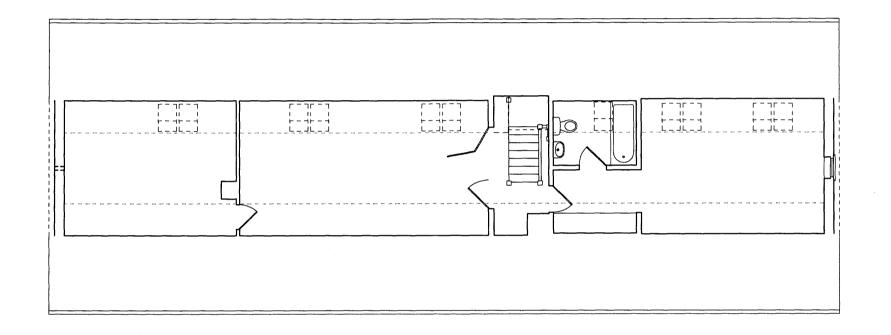
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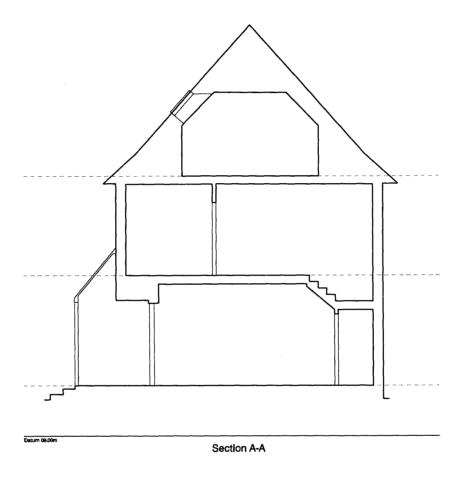
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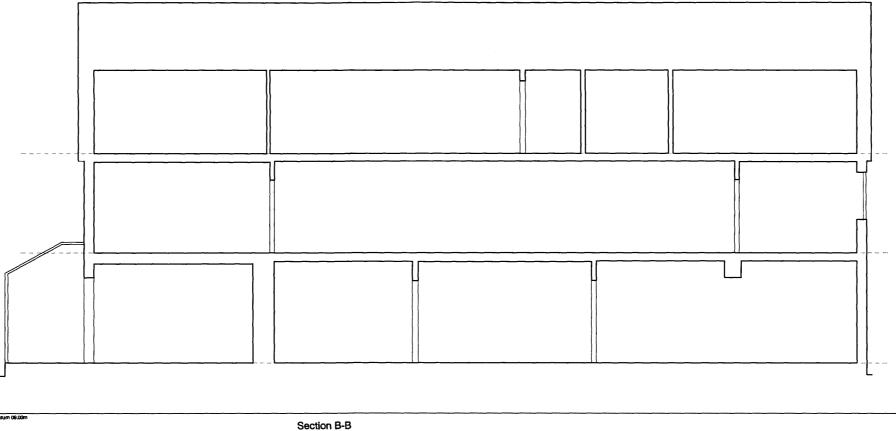
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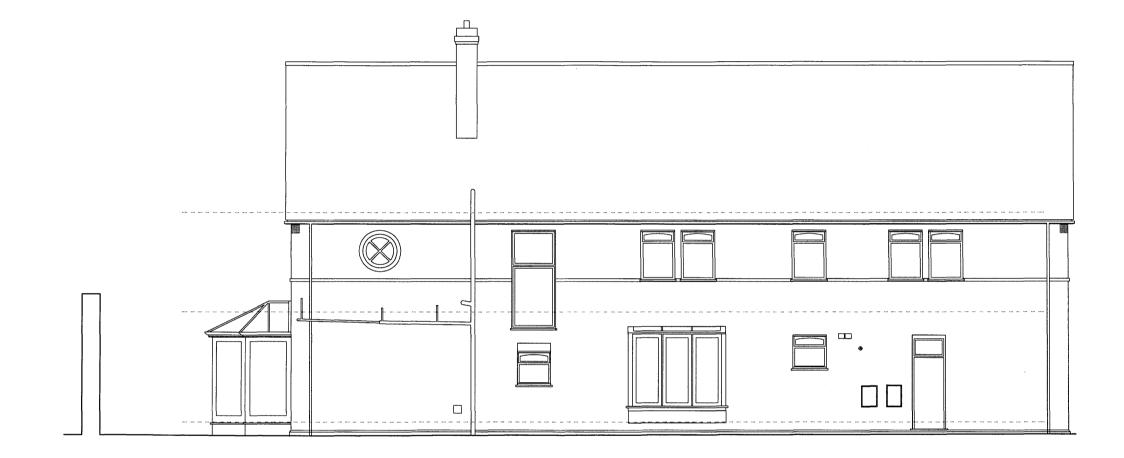
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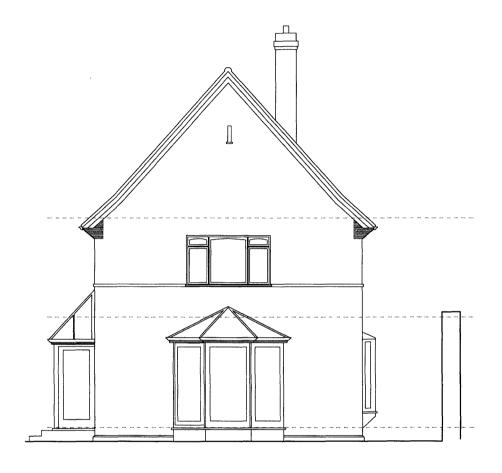
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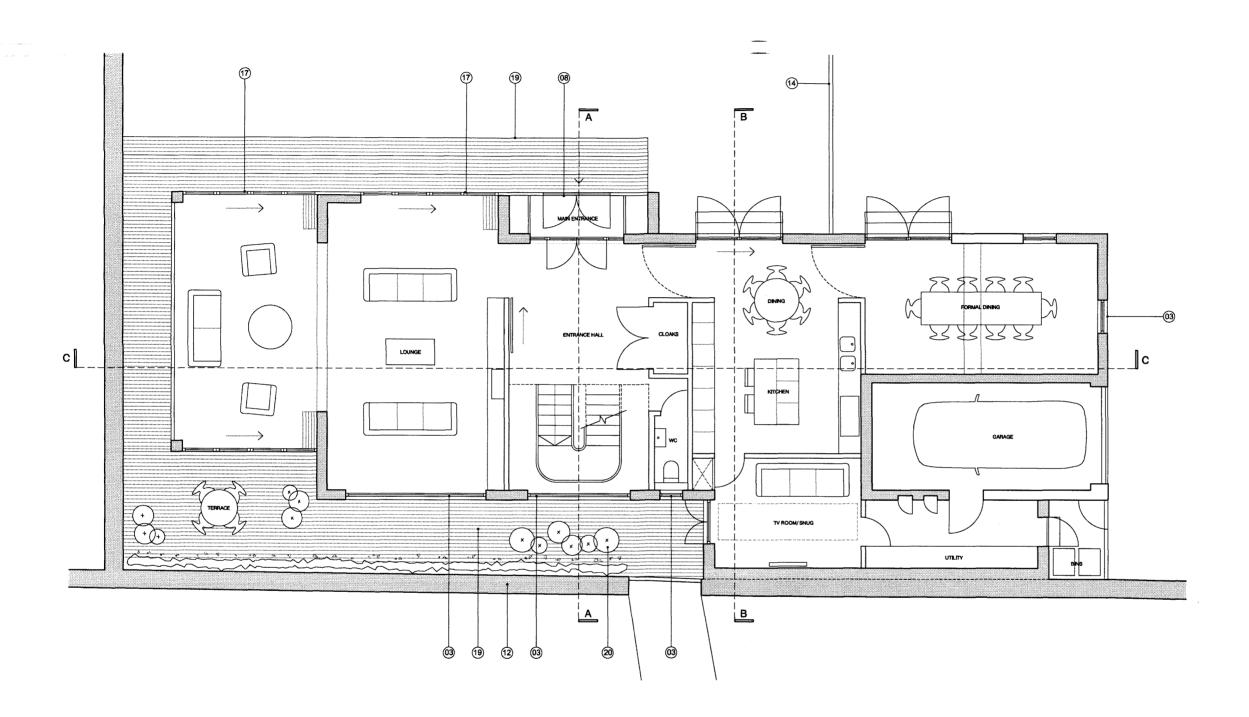


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16 EXISTING GROUND LEVEL
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20 LANDSCAPE/ WATER FEATURE
21 TIMBER GARAGE DOOR

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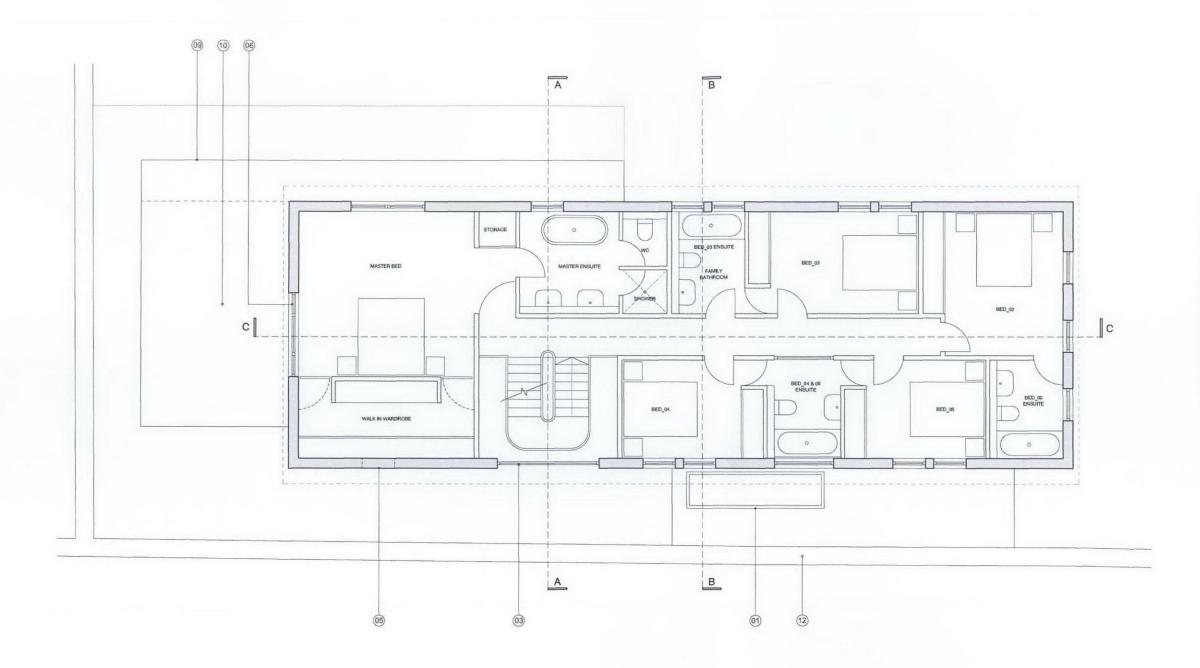
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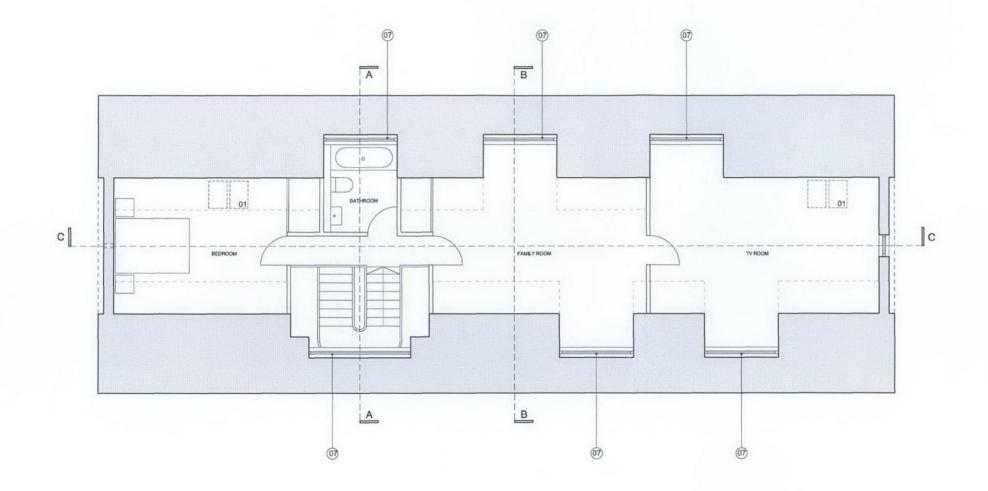
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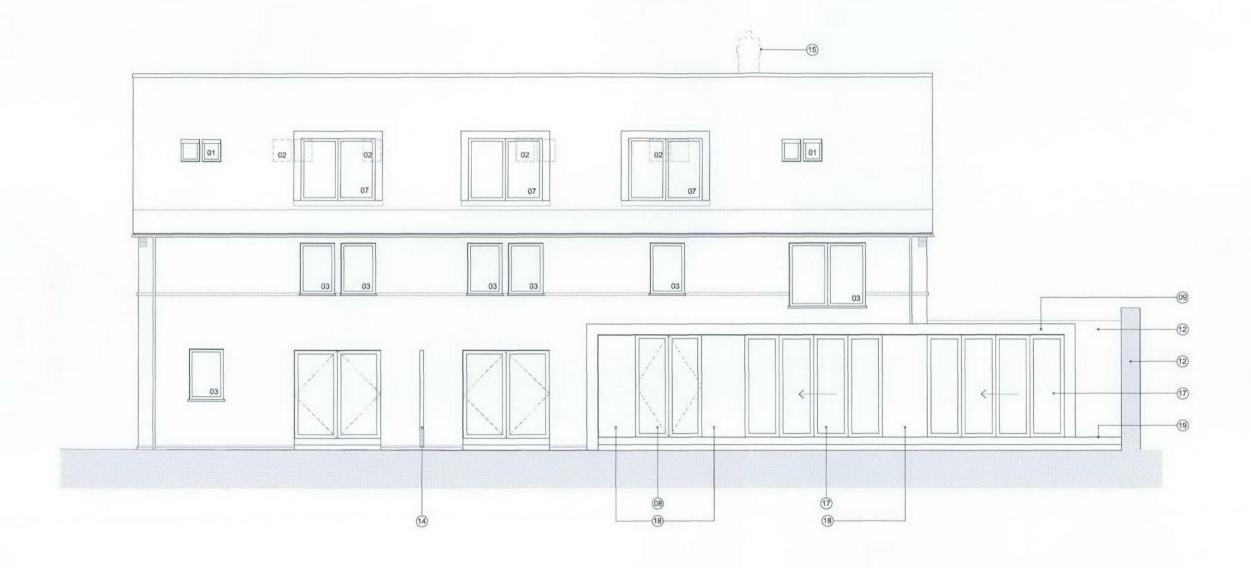
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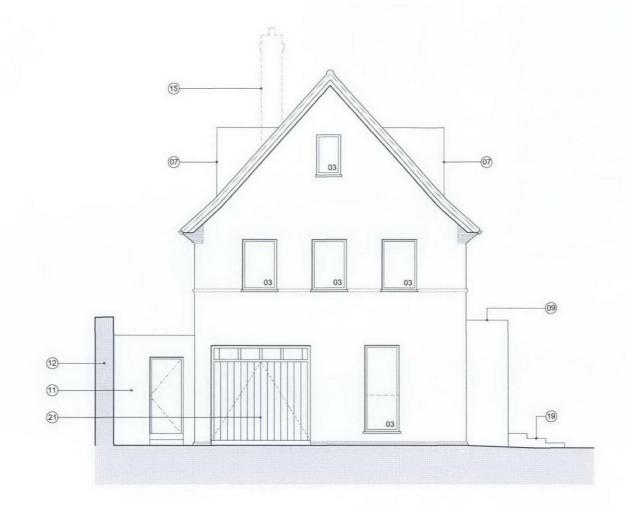
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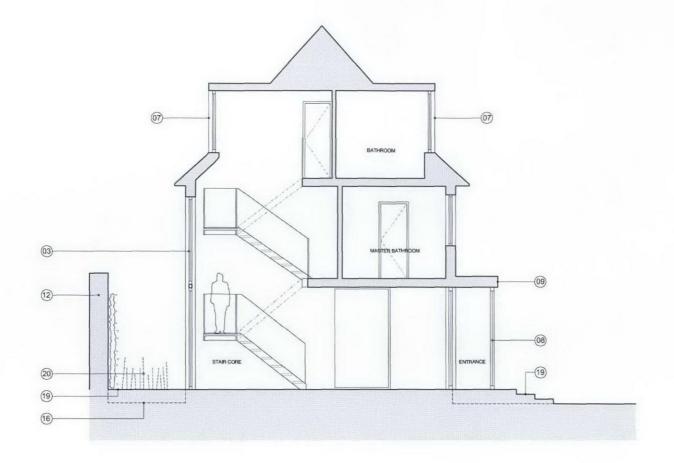
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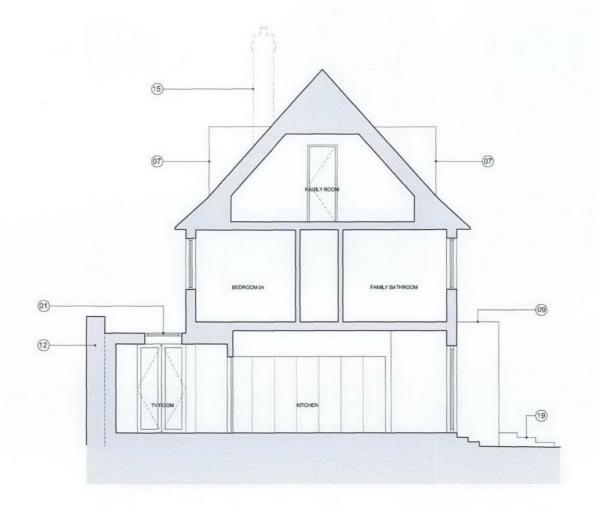


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KEY_

01_ ROOF LIGHT
02_ ROOF LIGHTS REMOVED
03_ WOOD FRAMED WINDOW
04_ METAL FRAMED WINDOW
05_ WINDOW REMOVED
06_ EXISTING WINDOW REINSTATED
07_ METAL CLAD DOEMER WINDOW
08_ METAL CAND DOEMER WINDOW
09_ METAL FRAMED DOORS
09_ METAL CANOPY
10_ METAL FRAMED GLAZED EXTENSION
11_ WHITE RENDER
12_ BRICK WALL
13_ BRICK WORK
14_ GATE
15_ CHIMMEY REMOVED
16_ EXISTING GROUND LEVEL
17_ METAL SIDING FOLDING DOORS
18_ METAL INFILL PANEL
19_ HARDWOOD DECKING
20_ LANDSCAPE/ WATER FEATURE
21_ TIMBER GARAGE DOOR

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PROPOSED SECTION C-C scale at A1 scale at A3 drawn date 1:100 CC OCT 09 project no. drawing no. revision 1654 A220

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