

Sharon Francis
Francis Architects
Flat 1, 30 Parkhill Road
London, NW3 2YP
T 020 3411 4686
M 07769 825112

sharonfrancis@francisarchitects.co.uk

Planning and Public Protection
Culture and Environment Directorate
London Borough of Camden
Town Hall Extension
Argyle Street
London, WC1H 8EQ

2nd November 2009

Dear Sir or Madam:

**Re: Garden Flat to 54 Parkhill Road, NW3 2YP
Householder Application for Planning Permission**

Further to my previous conversations and email correspondence with Jasmine Hancock in your planning department, please find enclosed the following planning application documentation for the above named property:

1. 3 copies of completed and dated Application Form
2. 3 copies of OS Map with site outlined in red
3. 3 copies of Existing and Proposed Plans and Elevations @ 1:50 + 3 copies of site photos.
4. 3 copies of Design and Access Statement as below
5. £150 planning fee made payable to London Borough of Camden
6. 3 copies of completed and dated Article 7 Certificate
7. 3 copies of completed, dated Ownership Certificate

Design and Access Statement

As discussed with the planning officer Jasmine Hancock, the new doors are for providing new access to the garden and to create more natural light within the flat. In order to provide durable and easily maintained doors these are proposed to be made of powder coated aluminium with slim frames. These would be in a white finish to match those of the existing white frames to the windows on the upper levels. The proposed doors are composed so that they are centred on the windows to the top two floors and therefore rebalancing the overall rear elevation.

I trust that the above is acceptable however please do not hesitate to contact me should you require any clarification or further information.

Yours faithfully



Sharon Francis
For and Behalf of Francis Architects Limited

cc. Indra Ratnaik