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Development Control
Planning Services
London Borough of Camden
Town Hall
Argyle Street
London WC1H 8ND

Tel 020 7974 4444
Fax 020 7974 1680
Textlink 020 7974 6866

env.devcon@camden.gov.uk
www.camden.gov.uk/planning

Mr Tom Sweetman
DP9
100 Pall Mall
LONDON
SW1Y 5NQ

Application Ref: **2008/5779/P**
Please ask for: **Sharon O Connell**
Telephone: **020 7974 5101**

9 December 2009

Dear Sir/Madam

DECISION

Town and Country Planning Acts 1990 (as amended)
Town and Country Planning (General Development Procedure) Order 1995
Town and Country Planning (Applications) Regulations 1988

Full Planning Permission Granted Subject to a Section 106 Legal Agreement

Address:
1 University Street
163 - 170 Tottenham Court Road
London
WC1E 6JQ

Proposal:

Change of use of fifth and sixth floors from serviced apartment use (Sui Generis) to office use (B1).

Drawing Nos: Location plan 2995/001; Renewable Energy Statement; Transport Statement; Breeam Pre-Assessment dated 14 August 2009; 2995/099; 100A; 105A; 106A; 109A; 110A; 115A; 116A; 401; 411; Letter dated 09/11/2009 from DP9 and Email dated 13/11/2009 from DP9.

The Council has considered your application and decided to grant permission subject to the following condition(s):

Condition(s) and Reason(s):

- 1 The development hereby permitted must be begun not later than the end of three years from the date of this permission.



Reason: In order to comply with the provisions of Section 91 of the Town and Country Planning Act 1990 (as amended).

- 2 8 cycle parking spaces shall be provided in accordance with the details shown on drawing 2995/109A prior to the first occupation of any of the new units, and thereafter permanently maintained and retained as such.

Reason: To ensure the development provides adequate cycle parking facilities in accordance with the requirements of policy T3 of the London Borough of Camden Replacement Unitary Development Plan 2006.

- 3 The waste and recycling storage shall be provided in accordance with the details demonstrated on drawing 2995/109A prior to the first occupation of any of the new units, and permanently maintained and retained as such thereafter.

Reason: To safeguard the amenities of the adjoining premises and the area generally in accordance with the requirements of policy SD6 of the London Borough of Camden Replacement Unitary Development Plan 2006.

Informative(s):

- 1 Reasons for granting permission.

The proposed development is in general accordance with the policy requirements of the London Borough of Camden Replacement Unitary Development Plan 2006, with particular regard to policies SD1 Quality of life; SD2 Planning Obligations; SD6 Amenity for occupiers and neighbours; SD9 Resources and Energy; T1 Sustainable transport space; T3 Pedestrian and cycling; T7 Off street parking; T11 Alternative use of existing car parks; T12 Works affecting highways; E1 Location of business use; E3c Accommodation for small firms and C5 Tourism uses. For a more detailed understanding of the reasons for the granting of this planning permission, please refer to the officers report.

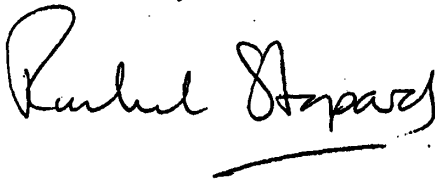
- 2 Your proposals may be subject to control under the Building Regulations and/or the London Buildings Acts which cover aspects including fire and emergency escape, access and facilities for people with disabilities and sound insulation between dwellings. You are advised to consult the Council's Building Control Service, Camden Town Hall, Argyle Street WC1H 8EQ, (tel: 020-7974 2363).
- 3 Noise from demolition and construction works is subject to control under the Control of Pollution Act 1974. You must carry out any building works that can be heard at the boundary of the site only between 08.00 and 18.00 hours Monday to Friday and 08.00 to 13.00 on Saturday and not at all on Sundays and Public Holidays. You are advised to consult the Council's Planning and Public Protection Division (Compliance and Enforcement Team), Camden Town Hall, Argyle Street, WC1H 8EQ (Tel. No. 020 7974 5613 or by email ppp@camden.gov.uk or on the website www.camden.gov.uk/pollution) or seek prior approval under Section 61 of

the Act if you anticipate any difficulty in carrying out construction other than within the hours stated above.

- 4 Your attention is drawn to the fact that there is a separate legal agreement with the Council which relates to the development for which this permission is granted. Information/drawings relating to the discharge of matters covered by the Heads of Terms of the legal agreement should be marked for the attention of the Planning Obligations Officer, Sites Team, Urban Design and Renewal, Camden Town Hall, Argyle Street, WC1H 8EQ.
- 5 You are advised that the Council expects all development to be as sustainable and energy efficient as possible and welcomes any measures that can be introduced to facilitate this. To this end, you are encouraged to introduce measures that can practically be incorporated into the refurbishment of the building and the subsequent operation of the use.

Your attention is drawn to the notes attached to this notice which tell you about your Rights of Appeal and other information.

Yours faithfully

A handwritten signature in black ink, appearing to read 'Rachel Stopard', with a horizontal line underneath.

Rachel Stopard
Director of Culture & Environment

It's easy to make, pay for, track and comment on planning applications on line. Just go to www.camden.gov.uk/planning.