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Proposed works: Brickwork and Masonry

- a) All existing exposed brickwork shall be cleaned in accordance with the specification. b) Carry out detailed hands on inspection of existing
- brickwork to accurately record and quantify areas and extents of defects following cleaning.
- c) To areas of defective brickwork, pointing or masonry, carry out remedial works in accordance with the specification.
- d) For estimating purposes, it is envisaged that there will be the following works to be carried out.
- i) 2m² of poorly matched brickwork to be cut out and replaced at each of 2 No. locations.
- ii) 6 No. open stepped fractures 2m long x 3mm wide, open joints to be raked out and repointed.
- iii) 4m² of open joints to be raked out and
- repointed at each of 10 No. locations. iv) 1m² of open joints to be raked out and
- repointed at each of 10 No. locations.
- v) 25 linear metres decorative rendering to the underside of the dwarf parapet to be broken out
- and replaced at each of 2 No. locations. vi) 25 linear metres of previously chased out copings to the top of the dwarf parapet to be
- repointed to match surrounding coping. vii) 2m² of spalled concrete sill to be patch repaired to match existing surrounding sill following requisite treatment of exposed reinforcement to
- each of 4 No. locations. viii) Repair render round clock face on 3 sides (allow 1 linear metre).
- ix) Repoint stepped diagonal crack above east
- x) Mortar joints to decorative stones under clock tower to be raked out and repointed. 6 No. locations.
- Proposed works: Glazed Screens
- a) All existing glazing and mesh screens to be
- removed. b) All existing timber to mullions to be removed.
- c) All existing previously timber encased steel uprights
- to mullions to be removed. d) All existing timber and steel glazing bars to be
- removed. e) Integrity of existing arched timber frame and timber sill to be determined. Where condition dictates, rotten timber is to be cut out and new spliced in. for estimating purposes it is envisaged that there will be 4 No. locations to the timber sill requiring attention each 500mm long. Additionally 2 No. locations shall require attention to the arched frame, each 500mm long. Prepare and repaint timber frame.
- f) Fabricate and install new steel glazing bars throughout. Proposed steelwork and mullion uprights to be painted to system N1 with proposed glazing rebates masked following application of metal spray.
- g) Supply and fix new timber cladding to existing
- vertical mullion steelwork. h) Supply and fit new glazing panels to previously glazed areas. Supply and fit new mesh infill panels to top of screens.
- i) Existing cast iron transoms to be removed, cleaned and repainted to system M20 and subsequently reinstated as existing.

- Notes 1) All dimensions in millimetres unless noted otherwise.
- 2) This drawing to be read in conjunction with drawing: - MSR-CSS-127: Existing elevation and defects
- 3) Refer to BDP drawings MSR-CAD-0682 to 0685.
- 4) The existing paint system may contain lead. As such the works to be carried out should be in accordance with the control of lead at work regulations (1998). Suitable air extraction filtration from the area of encapsulation shall be provided to ensure compliance with the occupational exposure limits.
- 5) All materials and workmanship shall be in accordance with the specification
- 6) It should be noted that removal of existing mullions may affect the stability of the existing arched frame or brick arch. Temporary works should be installed to provide support whilst mullions are missing.

Any vegetation growing on the roof or masonry to be removed and masonry/roof repointed/made good in accordance with the specification

07 19/11/09 TG AGW LO Revised to Comments. 06 13/11/09 TG AGW LO GLAZING BAR DETAILS REVISED. 05 11/09/08 AGW LO GPH Glazing bar to mullion connection added 04 | 19/03/08 | AGW | LO | GPH Proposed mullion rev'd 03 29/02/08 AGW LO GPH Timber profile amended. Steel plate width increased. Top transom detail and bottom mullion added 02 30/11/07 AGW LO GPH For Construction Issue 0.1 02/10/07 AGW LO GPH For Tender Issue Issue Date Ву Chkd Appd **Railway Infrastructure** Services PO Box 298 York Y01 6YH corus T: 01904 454600 F: 01904 454601 **Building Design Partnership** Architects, Designers and Engineers 16 Brewhouse Yard, Clerkenwell London, EC1V 4LJ Tel +44 (0)20 7812 8000 Fax +44 (0)20 7812 8399 www.bdp.co.uk **Network Rail** Job Title **Kings Cross Station** Redevelopment Programme Package 2 Drawing Title South Facade Proposed Works Scale at A1 As Shown Discipline Infrastructure Drawing Status For Construction Job No Drawing No Issue MSR-CSS-0180 07 B40234

420x40 steel mullion. Drill 22 dia. for M20 HSFG bolts

> 600x360x20 stiffening plates bolted v to each side of mullion plate. Drill 22 dia. for M20 HSFG bolts

120x120x15 RSA x300 long cleats each side of mullion plates bolted to UB

Existing 406x178x74 UB

