

## Design & Access Statement

### Second & Third Floors

As with the other floors, and as is typical of a Georgian layout, the stair is located at the back and to the side of the plan.

Thereafter the arrangement works with the circulation and service accommodation kept within the centre of the plan and feeding into a series of habitable rooms, arranged behind facades which compose themselves to respect the surrounding terrace.

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### Cross Section

In order to tie into the overall terrace, the original floor levels are being recreated, with the original *piano nobile* architectural hierarchy reinstated.

The front entrance steps, and their structural support are formed in a manner sympathetic with the rest of the terrace. The steps up are arranged with rise and going of ambulant disabled standard. This is also true of the internal stairs, which explains why the centre of the plan steps to the north and south as you make your way up the building.



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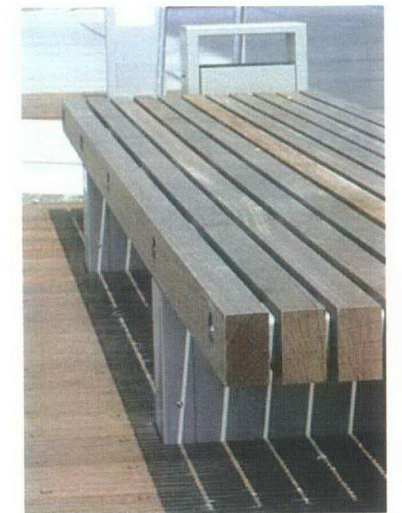
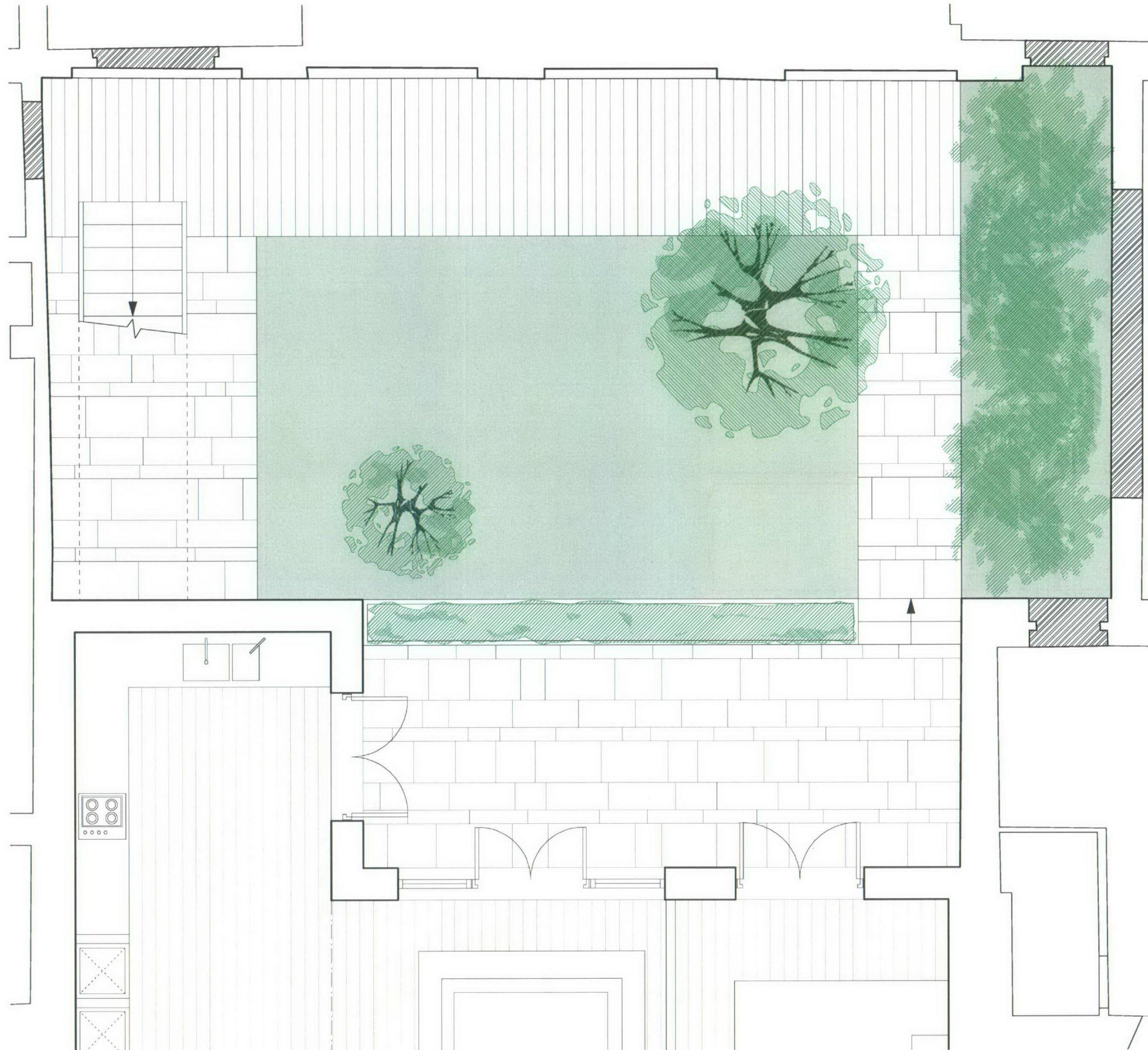
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### Rear Garden

It is intended to return the rear area to its original garden use.

The landscaping scheme in the communal garden has been developed as a series of hard and soft materials which are used to differentiate between the private and communal areas. Steps leading down from the upper floors arrive onto a raised timber deck which will provide a seating area for the upper residents. This works with a grassed area planted with two small trees specified to limit root growth, and a raised bed which will be planted with shrubbery to provide a green backdrop throughout the year.

The lower ground floor unit has doors that open out into the rear garden. In order to demarcate this area a change in level of approximately 500mm is being proposed which is protected with a hedge.

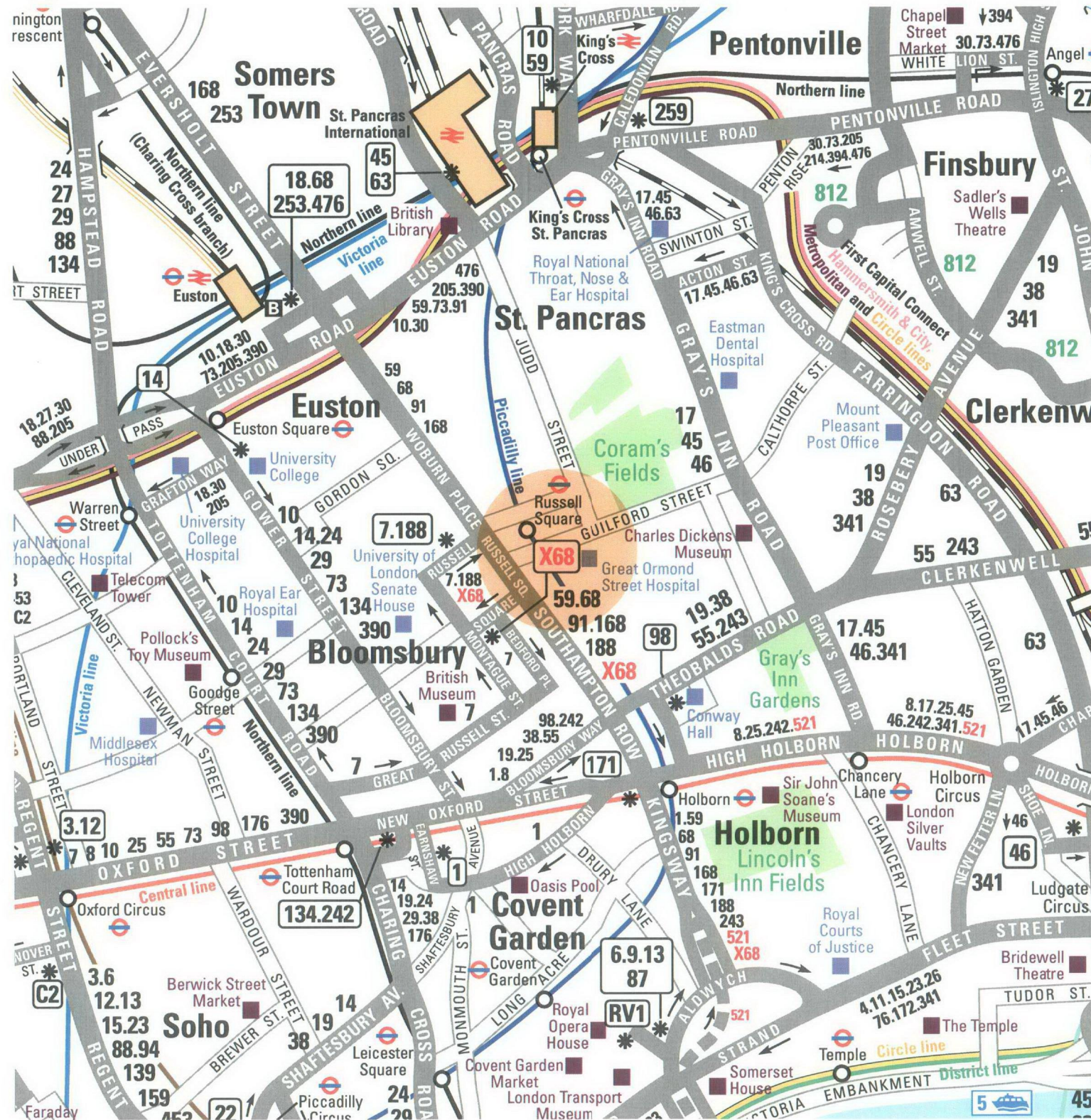


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## Statutory Considerations





## Access Statement

### Site Location

#### Travel Plan & Transport Assessment:

The development proposed will not significantly increase travel demand or otherwise have a significant impact on travel or the local transport system.

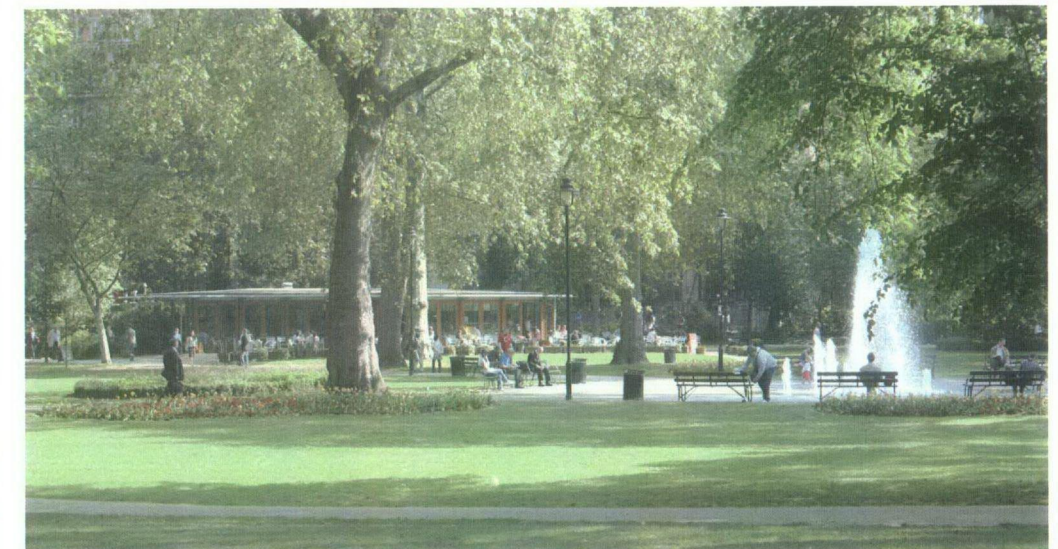
As can be seen from the adjacent map, downloaded from the Transport for London website, 73 Guilford Street's central London location affords it excellent access to transport links. Russell Square tube station is less than 200m away and St. Pancras International railway station is less than 800m away. Additionally at least four bus routes run along nearby Woburn Place and these offer secondary connection to London's considerable public transport network.

#### Parking & Access Arrangements:

The development at 73 Guilford Street is proposed as 'car free housing' and this is consistent with the Council's aims to reduce the use of the private car. To this end secure cycle parking is being proposed as part of the scheme and this is located in the existing under-pavement vaults (please see later in the document for details).

#### Public Open Space:

The proposed development is unlikely to create an additional demand for open space. However numerous public open spaces exist in the locale of Guilford Street and of these the most significant is Russell Square (pictured below), but there is also Coram's Fields, Queen Square, St George's Gardens, Bloomsbury Square and Regents Park in close proximity.



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### Access Into The Development

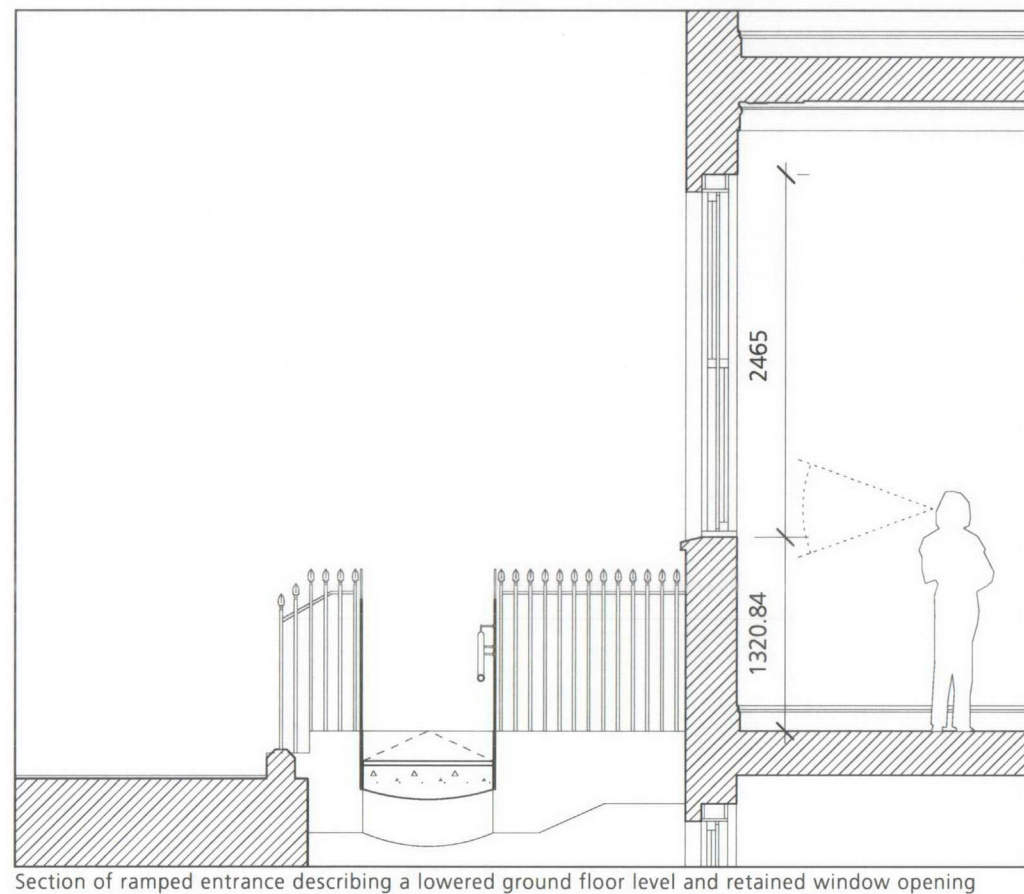
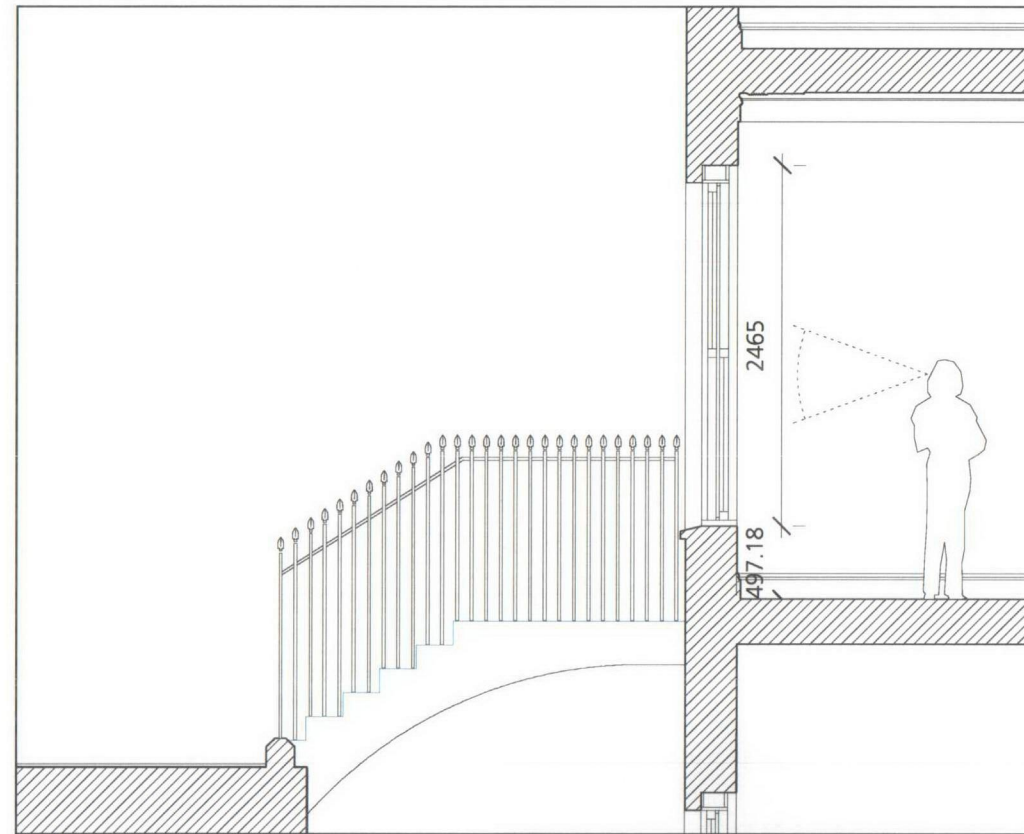
#### *Piano Nobile*

The typical raised ground floor level of the Georgian terrace house, and the steps to it from the street, are important features of the listed terrace, and the broader local streetscape. They provide thresholds between private and public spaces, but create a distinct problem from the point of view of access.

While a DDA compliant ramp could provide universal access to a ground floor unit, there is insufficient space along the front of the site to accommodate a ramp of adequate length to reach the existing principal ground floor level as determined by the adjacent terrace. Lowering the ground floor would seriously affect the relationship of the building with the street, in particular the height of the ground floor windows. Keeping the windows in line with the adjacent terrace, but lowering the floor level compromises the sight lines from the proposed ground floor unit (see the diagrams left), whereas lowering the windows to rectify the problem would upset the overall composition of the terrace.

Further to discourse with the Local Authority Design Officer, and Access Officer it has been decided that the overall composition of the listed terrace is too important, and that stepping up to the ground floor level is the way to progress. We then explored whether a platform lift could assist with access to the *piano nobile*, however this impedes access to the refuse, recycling and cycle storage below. It would also interrupt the original front railing composition which we intend to reinstate.

Our proposals, therefore, are to rebuild the front entrance steps (the existing were built after the war damage) with rise and going to meet ambulant disabled standards. This strategy is utilised internally, with the access stair also set out to ambulant standards.





## Biodiversity

### Biodiversity Report

The site at 73 Guilford Street is neither in, nor adjacent to, an area designated for its biodiversity value, nor does it form part of a 'green corridor'.

At present the rear of 73 Guilford Street is an exposed expanse of concrete that does little to enhance biodiversity within the Borough, albeit uncontrolled weeds and shrubs are cracking through the hard landscape.

As explained previously, our proposal reinstates a garden to the rear and provides the area with more wildlife habitats and, therefore, improves biodiversity.

Our landscaping proposals for the rear garden includes the introduction of trees, shrubbery and planting. These plants will provide shelter for birds and insects.

Nest boxes, bat bricks and bird bricks could also be incorporated into the garden wall.

### Tree Survey / Arboricultural Implication:

There are two trees within the vicinity of the development proposed and these are clearly indicated on all the submitted plans.

The primary risk is to the sweet chestnut directly outside the site. An arboricultural report prepared by City Trees Limited will be submitted with the application.



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## Environmental Considerations

### Code For Sustainable Homes Pre-Assessment

Due to the size of the proposal we have been informed that an Energy Statement, and an Ecology Assessment are not required. A Pre-Assessment For Code For Sustainable Homes prepared by Elementa Consulting will be submitted with the application. This report outlines standard assumptions for the performance of the thermal fabric, design parameters and equipment systems used.

With the precise location of the project dictated by the strong urban diagram of the Georgian terraced houses along Guilford Street little opportunity is afforded for the siting to be adjusted to maximise available daylight and solar gain in winter and limit solar gain in the summer.

The strict adherence to terrace and extension lines will minimise the external surface area of the proposal and so reduce heat loss through the building's fabric.

The scheme proposes the use of natural ventilation measures, except in bathrooms where fan extracts are necessary. No air conditioning system is proposed.

### Air Quality Assessment

As discussed in the previous 'Parking & Access Arrangements' paragraph the scheme described in this document is proposed as 'Car free housing'.

As such this proposal will not result in an increase in vehicle trip generation in the local area, nor will it result in an increase in traffic volumes.

This scheme proposes no change to the road or on street parking so there is likely to be no significant increase in congestion or lowered vehicle speeds in the vicinity as a result of the implementation of this project.

There is likely to be no alteration to the composition of traffic on Guilford Street as a result of this scheme and no significant increase in the use of heavy goods vehicles on Guilford Street can be attributed to this scheme.

No industrial activities are proposed as a part of this project.





## Environmental Considerations

### Water Consumption and Run Off



The scheme is located in a dense urban area and will not affect watercourses or aquatic habitats. During construction, the Contractor will have regard to the following: PPG 5 - *Works in, near or liable to affect watercourses*. Environment Agency; PPG 6 - *Working at demolition and construction sites*.

The site is within an area with low risk of flooding.

#### Surface Water Run-Off

The proposal replaces the existing concrete surface with a building that matches in size and volume what would originally have been on the site and a mixture of soft and hard landscaping, as mentioned elsewhere. It will, therefore, not increase the demand on the local sewer system above the level for which it was designed.

#### Internal Water Consumption

In line with best practise, the target of 105 litres per person per day will be met through the specification of water efficient sanitaryware and white goods. The specification will conform to the following:

W/C – Dual Flush 6/4 litre

Shower – No more than 6 Litres per minute flow rate

Wash hand basin taps – Maximum 3 litres per minute spray taps

Kitchen taps – Maximum 4 litres per minute aerated taps

Bath – 140 litre size

Washing machine – Not to exceed 40 litres per cycle

Dishwasher – Not to exceed 12 litres per cycle

#### External Water Use

A rainwater butt can be installed below the external stair to the rear, and fed from the rain water system from the rear 'addition'.

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## Secure by Design



### Integrated Design

Should Secure By Design be a Planning Consideration, we would endeavour to meet the police to discuss the proposals, and assess what facilities can be accommodated within the scope of the application.

### Environmental Quality And Sense Of Ownership

As the scheme proposes to return the site back to residential use in a form matching the adjacent terrace, the environment created largely exists. The proposed building is of Georgian character, and has proved over the centuries to be a popular and successful residential model.

### Natural Surveillance

As with the environment, the existing architecture dictates the natural surveillance afforded by the scheme. One of the key areas is the street outside, and lower ground floor 'area'. By locating residential units off a common core, with views of each of these areas, the proposals will improve the opportunity for surveillance as it stands.

### Access

The main entry point to the building is through a raised ground floor level door. The building can also be accessed through the 'area' at lower ground floor level.

### Amenity Space

The building, and the future tenants, will benefit from the provision of a communal garden.

### Lighting

Lighting would be designed to meet the needs of the environment, and the overall security of the proposals.

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Whilst the Code For Sustainable Homes Pre-assessment (submitted in conjunction with this report) has taken no credit for compliance with Lifetime Homes criteria, the scheme has been laid out to comply, where feasible.

As the proposal aims to complete the listed Georgian Terrace it will be difficult to fully incorporate all 16 criteria of the Lifetime Home Standards particularly in relation to accessibility. This has been dealt with in the preceding Access Statement.

The steps up to the ground floor *piano nobile* can therefore be seen in the same criteria as a 'Flat Over A Garage.'

"A case can be put with flats over garages (FOGs) which have no entrance level accommodation at all, that if a private staircase up to the storey containing the rooms is 'easy going', with goings and risers meeting the 'easy going' pitch (i.e. suitable for some ambulant disabled people), and has adequate width (min 900mm) and landings for a stair-lift, then a FOG has equal, or better, accessibility as a walk up LTH flat approached by a communal stair. If the FOG also contains all the other relevant LTH Criteria, then given the limitations imposed by the stair access situation, the LTH principles for that FOG are met as far as is practicable and possible."



## Lifetime Homes

### Car Parking Width

No car parking is proposed with the refurbishment.

### Access From Car Parking

Across pavement access to the base of the entrance steps is slightly sloped.

### Approach Gradients

See above

### Entrances

Notwithstanding the presence of entrance steps, the entrance point will be illuminated and level. A covered entrance porch will not be provided as it would upset the overall composition of the terrace

### Communal Stairs & Lifts

The proposed access stair conforms with the riser / going and handrail criteria set out in Lifetime Homes.

As level access to the front door is not achievable, a lift is not proposed.

### Doorways & Hallways

Corridor and door widths are in line with LTH requirements.

### Wheelchair Accessibility

All apartments, have adequate turning space, but as noted elsewhere in the document, wheelchair access overall will be compromised.

### Living Room

The living area for all apartments is at entrance (to the flat) level.

### Entrance Level Bedspace

The bed space for all apartments is at entrance (to the flat) level.

### Entrance Level WC & Shower Drainage

A W.C with shower for all apartments is at entrance (to the flat) level.

### Bathroom & WC Walls

The proposals can comply with Lifetime Homes criteria.

### Stair Lift/Through-Floor Lift

No duplex apartments have been proposed in the scheme therefore a stair lift/through-floor lift is not required.

### Tracking Hoist Route

Bar two of the one bed units, on the second and third floor, all the apartments can comply. The two exceptions are created due to the need to follow the building lines and fenestration pattern of the adjacent terrace.

### Bathroom Layout

The proposals can comply

### Window Specification

The fenestration for the scheme is dictated by the adjacent terrace, and their window heights, disposition and sash make-up. However, broadly with regards the relationship of the windows to the floors etc, the windows do comply with LTH criteria

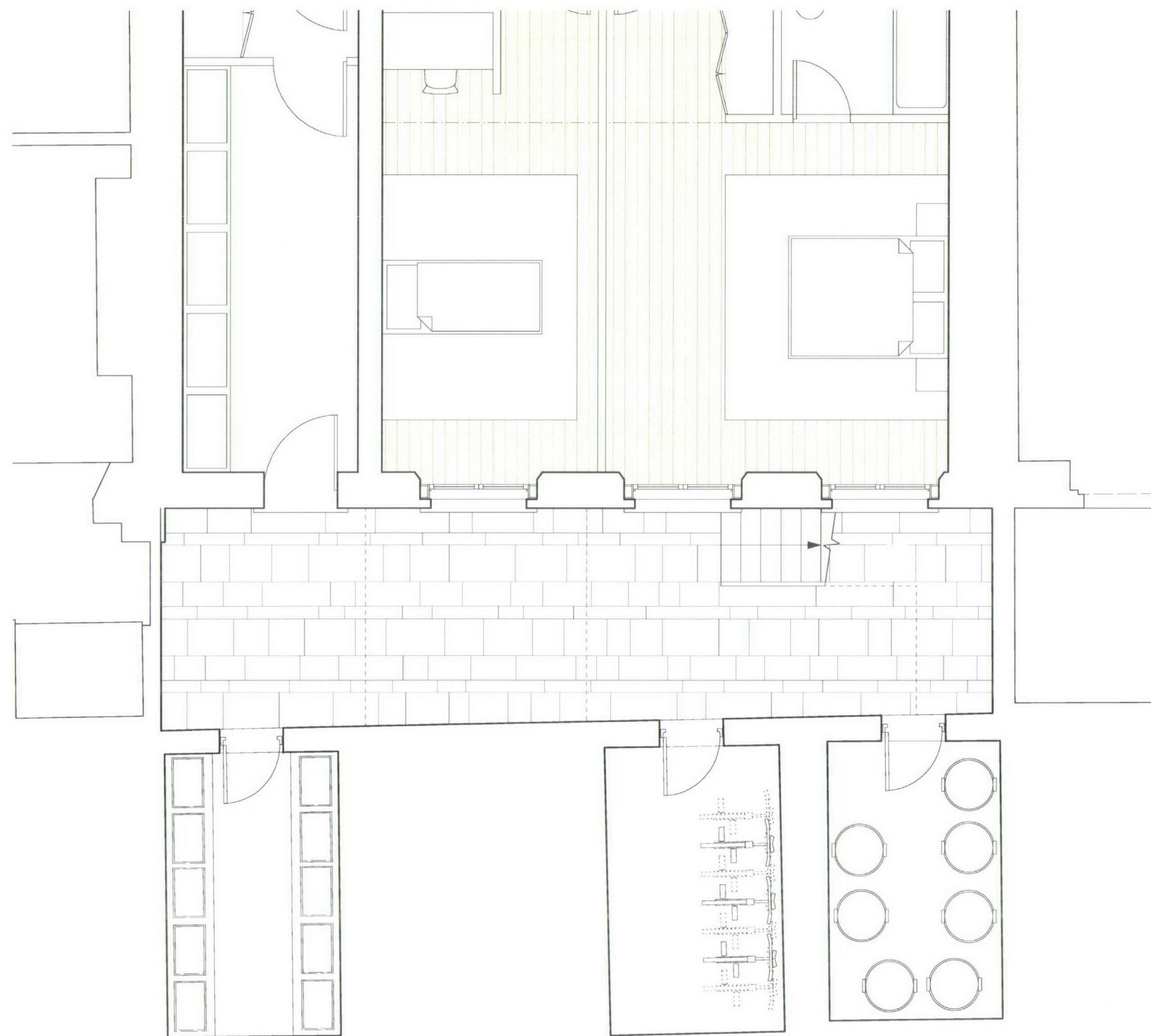
### Controls, Fixtures & Fittings

The proposals can comply

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## Waste Disposal and Collection

In designing the waste disposal and collection arrangements for the development due regard has been paid to the Borough of Camden's Waste and Recycling Storage Requirements.

In particular we are making the following proposals:

All domestic waste including recyclable waste will be stored within the existing under-pavement vaults. One vault is demarcated for recycling, and another for general refuse.

Residents will be required to place their separated refuse within the storage areas.

Each dwelling will be provided with 1 x 90L dustbin and 2 x 36L dry recycling baskets.

The location of the proposed storage area is indicated on the proposed lower ground floor plan.

As the proposed storage area is at lower ground level, the existing access stair between pavement level and lower ground will be upgraded as required in order to conform with Part K1, 2001 Building Regulations (Waste and recycling storage requirements - 4.2.5)

Should it be necessary, the storage areas will be upgraded to meet Borough of Camden's Waste and Recycling Storage Requirements including wall and floor finishes, drainage, ventilation and security.

## Cycle Storage

Vaults have been identified which will accommodate the required seven cycle spaces. This is achieved using wall rack units.

