

Design & Access Statement

Front Elevation

Further to a series of conversations with the Local Authority we have agreed that the proposal will allow for a clear strategy to be developed for any future works to the neighbouring 74. This has meant the introduction of banded render to the base of the composition, which it was felt would be more reflective of the original terrace construction.

Amendments to the internal floor levels to achieve level access were also discussed, but were rejected, and these are dealt with in more detail in the Access Statement, later in the document.



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Rear Elevation

Historically much less consideration was given to the composition of the rear elevation of a Georgian terrace house than the front elevation. As a result they rarely demonstrate a cohesive composition, with the only regularity being the 'teeth' of the rear additions. This was the case in Guilford Street, and numerous subsequent additions have accentuated the irregularity, with many of the 'teeth' lost in over-development in the rear areas.

Our approach to the rear is consistent with the rest of the terrace, forming a wall with holes in a disposition regular within the confines of its own site and that also reflects the use behind.

A rear addition or 'tooth' of a dimension that reflects the original construction, allows communal access to the rear, and forms plant space for the overall development.

The elevation is to be constructed in masonry to match the surrounding terrace, with the windows formed from FSC certified timber and double glazed units to meet modern energy demands.

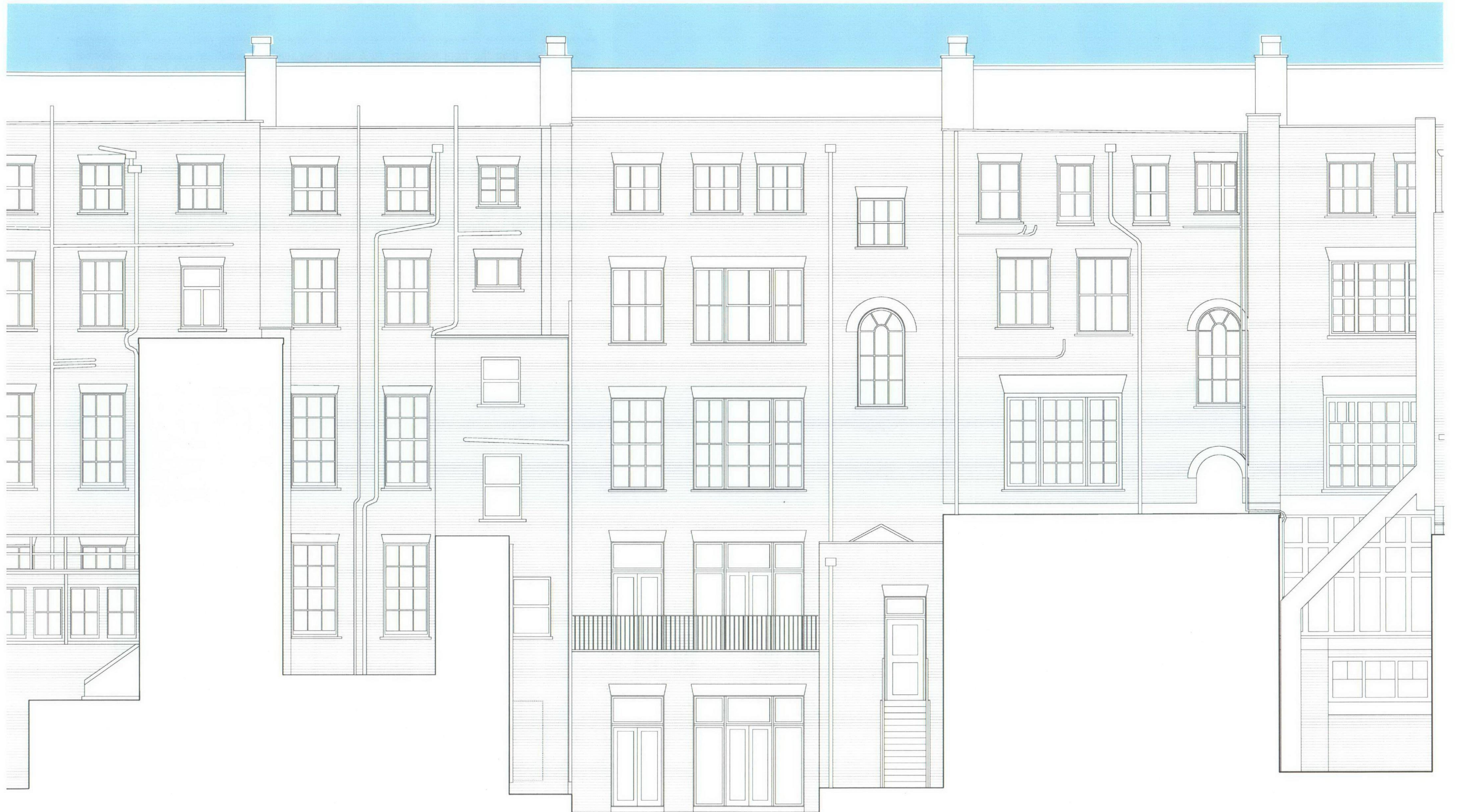
A more detailed elevation is overleaf.



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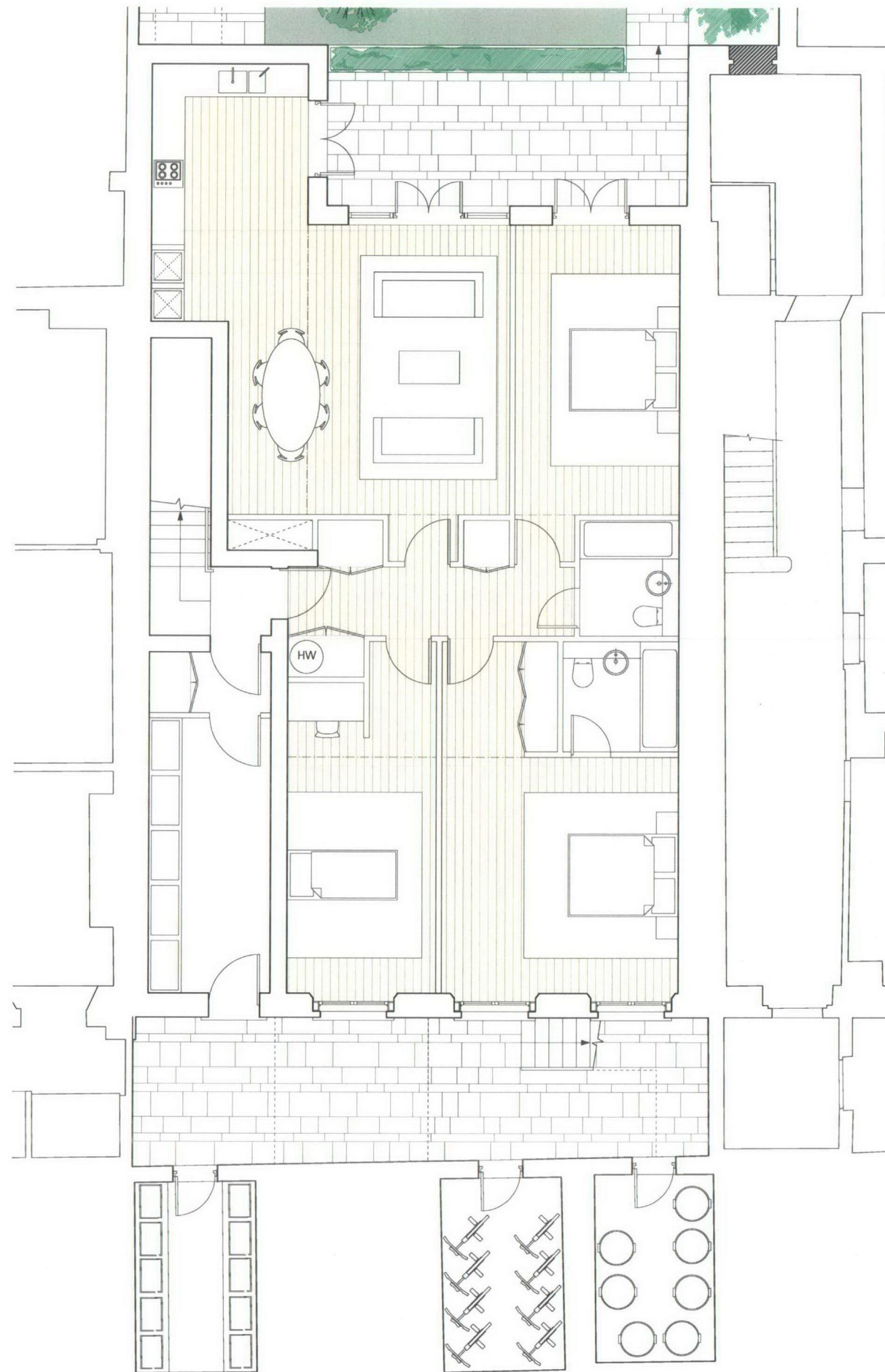
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Rear Elevation



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Lower Ground Floor Plan

The stair is located at the back and to the side of the plan, as it would have been in a typical Georgian floorplan. Thereafter the arrangement flows from there, with circulation and service accommodation kept within the centre of the plan coming off the stair and feeding into a series of habitable rooms, arranged behind facades which compose themselves to respect the surrounding terrace.

To the south the original front area brings light into the plan and allows servicing to penetrate from the pavement and roadway. The original vaults accommodate storage for cycling, refuse and recycling.

A rear addition of a scale and volume in keeping with what would originally have been built, houses the kitchen area. The volume is to be constructed in masonry to match the rest of the terrace.

The rear landscaping is dealt with later in the document.

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Lower Ground Floor

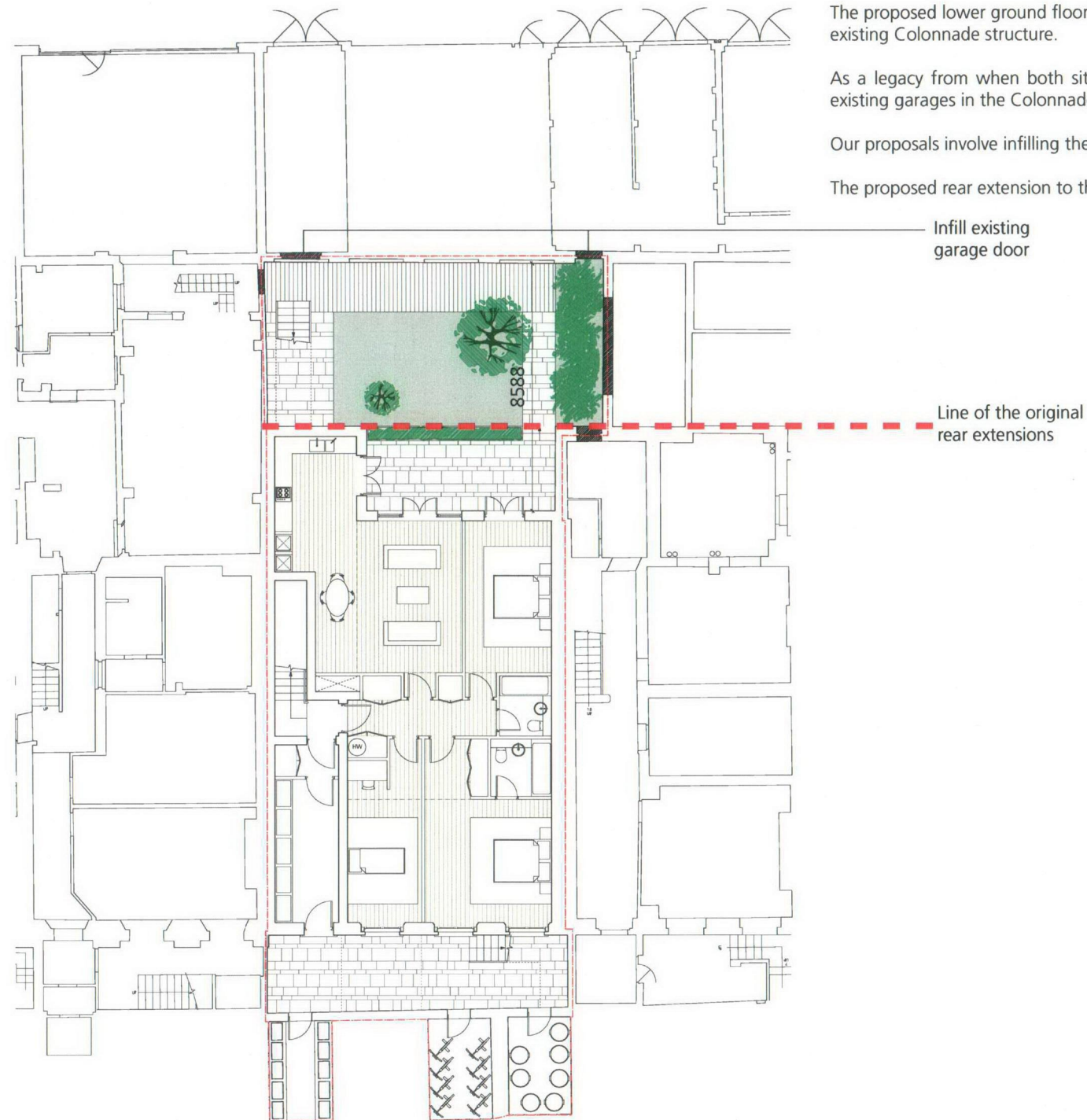
The Broader Context

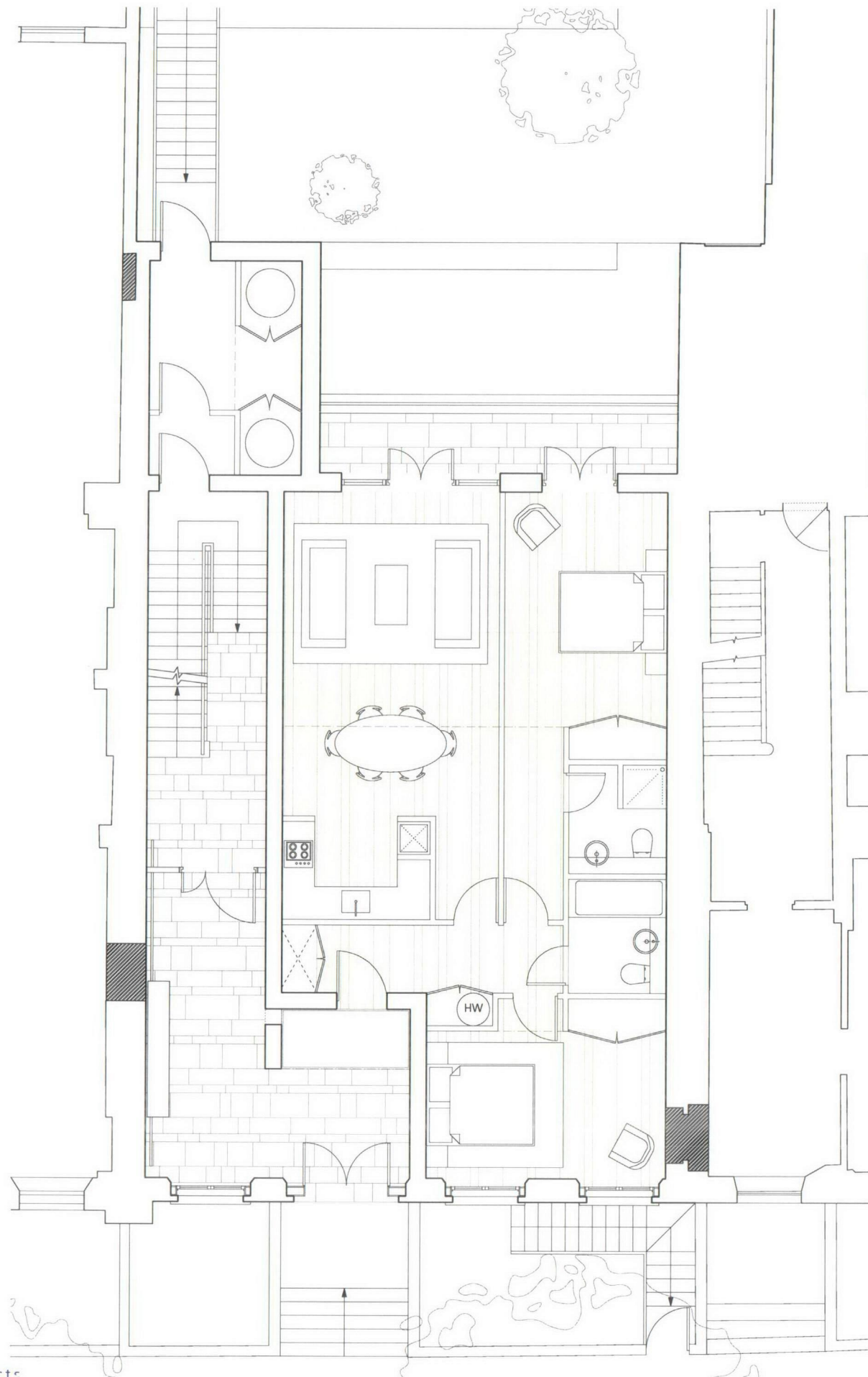
The proposed lower ground floor is at approximately the same level as the ground floor of the adjacent existing Colonnade structure.

As a legacy from when both sites were owned by the Great Ormond Street Children's Charity, the existing garages in the Colonnade have secondary access from the site.

Our proposals involve infilling the garage doors without disturbing the existing arched surrounds.

The proposed rear extension to the new build takes its line from the adjacent, original, rear extensions.





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Ground Floor

As is typical of a Georgian layout, the front entrance is situated one bay in within the four bay composition of the facade. The stair is located at the back and to the side of the plan, as would also have been typical.

Thereafter the arrangement works with the circulation and service accommodation kept within the centre of the plan and feeding into a series of habitable rooms, arranged behind facades that compose themselves to respect the surrounding terrace.

To the rear an 'addition' of a scale and volume in keeping with what would originally have been built, houses plant and circulation leading out to a communal garden.

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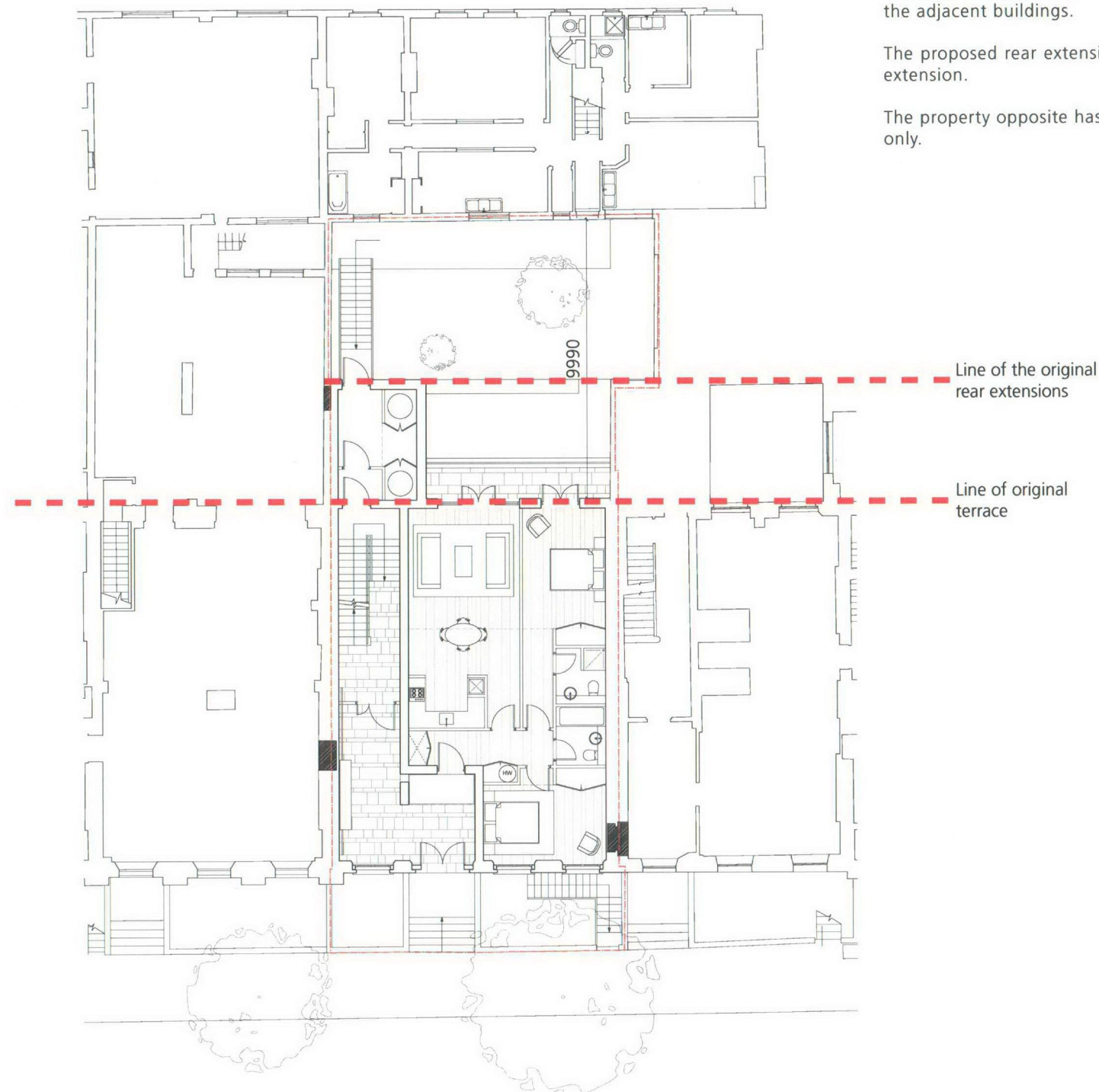
Ground Floor

The Broader Context

The proposed ground floor unit takes its built line from the original terrace, as evidenced by the adjacent buildings.

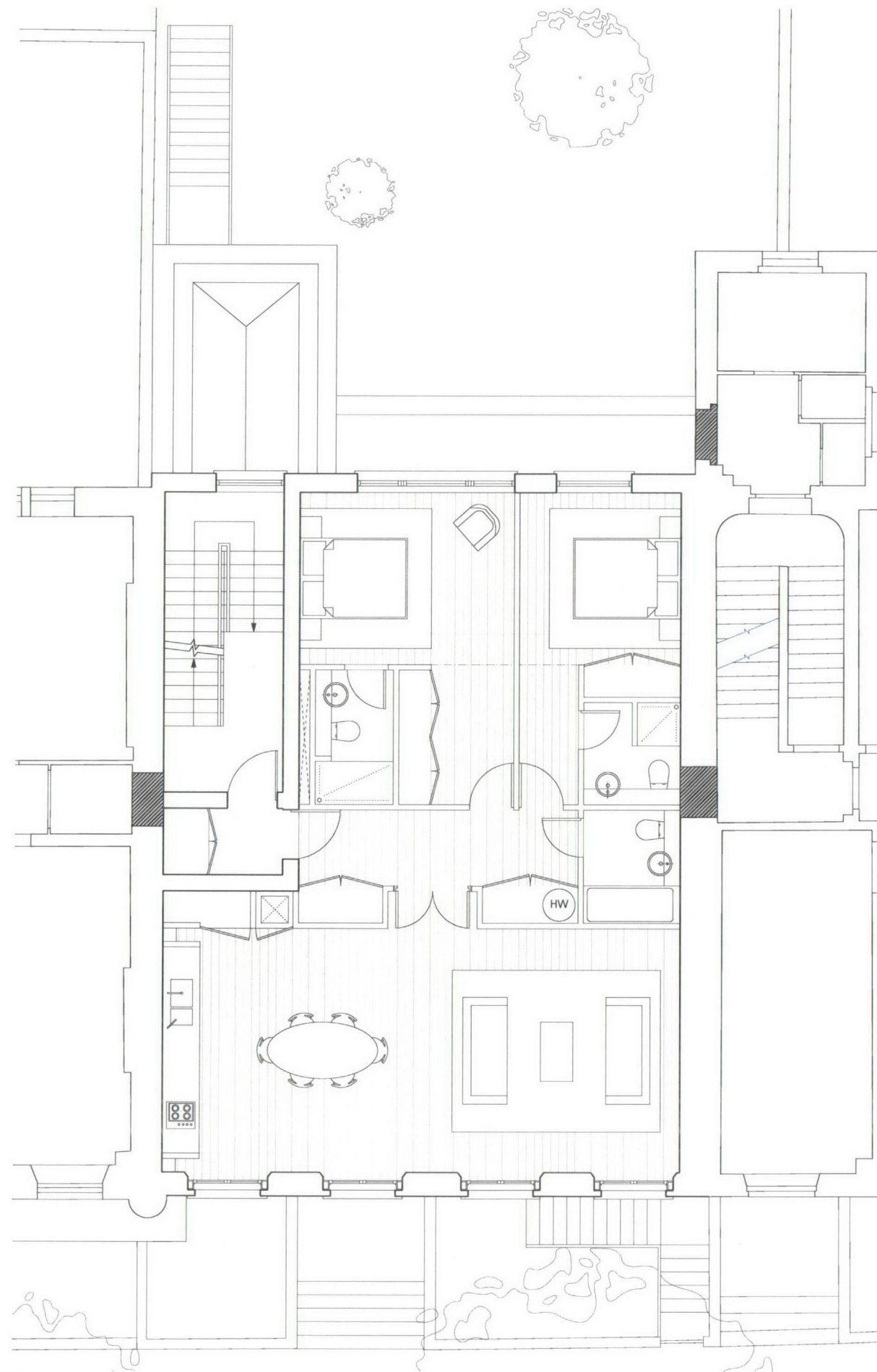
The proposed rear extension to the new build takes its line from the adjacent, original, rear extension.

The property opposite has non-habitable rooms looking into the garden at its first floor level only.



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First Floor

As is typical of a Georgian layout, the first floor *piano nobile* has its principle reception room to the south, addressing the street, and part of the overall terrace composition.

The stair is located at the back and to the side of the plan, as would also have been typical.

Thereafter the arrangement works with the circulation and service accommodation kept within the centre of the plan and feeding into reception rooms to the front and the bedrooms to the rear.

The rear addition is roofed in a hipped form behind a parapet, keeping the height to a minimum and, therefore, allowing light to penetrate into the rear area.