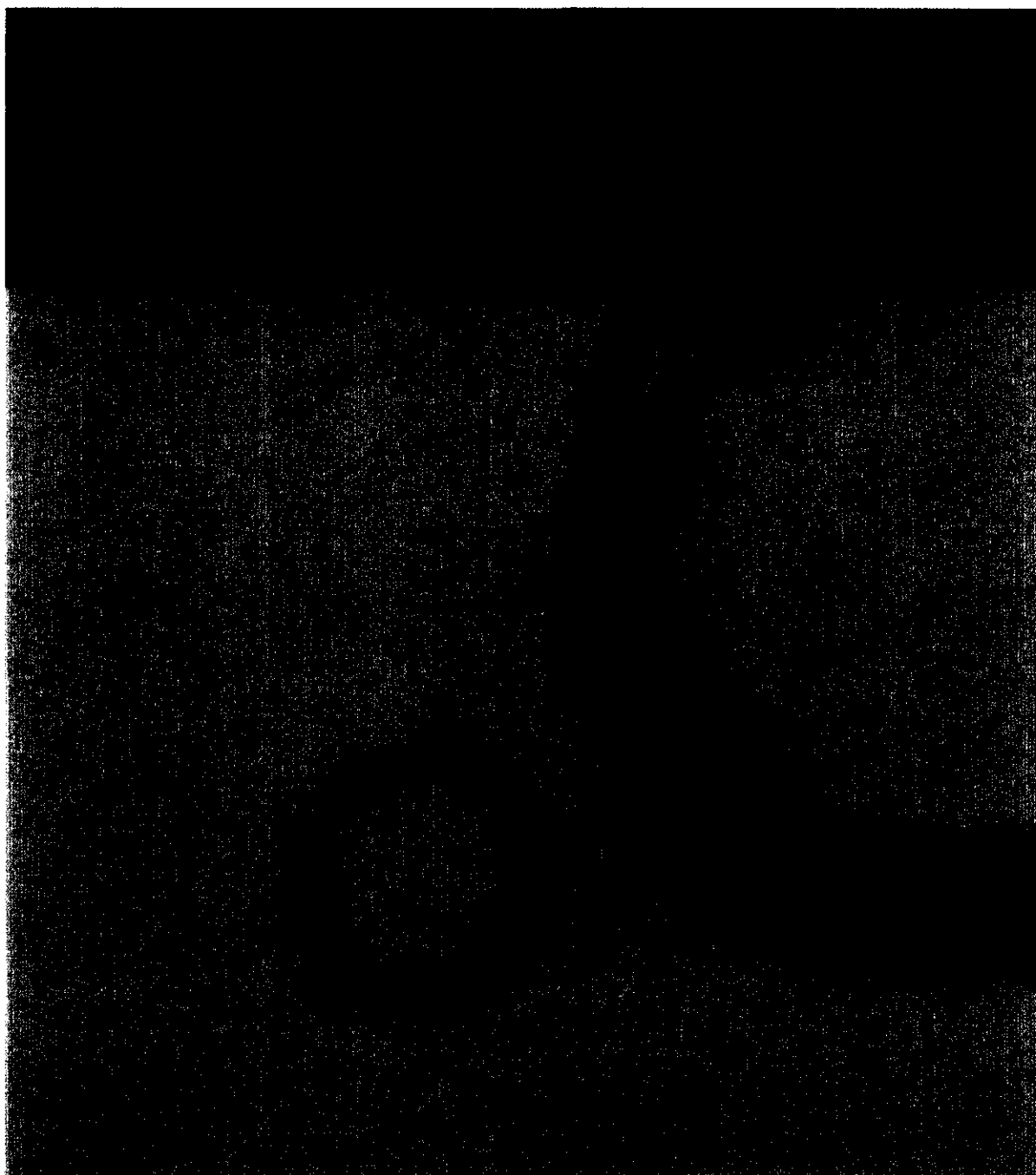


## CODE FOR SUSTAINABLE HOMES REPORT 73 GUILFORD STREET



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## EXECUTIVE SUMMARY

This report has been prepared for Nicholas Burwell Architects. to identify the details to be met in achieving Level 3 under the Code for Sustainable Homes for the residential dwellings at their 73 Guilford Street development in the London Borough of Camden.

The development at 73 Guilford Street consists of multiple flats over basement, ground, first, second and third floors. The build is within an urban site with access directly from the street.



The Code assessments are for each dwelling type, the Appendix contains a pre-assessment estimator for a two-bedroom flat type which is typical of the one-, two- and three-bedroom flats and therefore illustrates compliance for Level 3 across the range of property types present at the site. This report should be read in conjunction with these pre-assessment estimators, together with the CSH Technical Guidance and CSH Evidence requirement summary.

SAP 2005 assessment information is available at present and the SAPs demonstrate the mandatory 25% improvement over Building Regulations Part L1a standards for each dwelling type.

## SUMMARY: TO ACHIEVE CODE LEVEL 3

This category considers features of the new homes which are aimed at reducing the energy consumption and therefore the CO<sub>2</sub> emissions from the dwelling either directly or indirectly:

- Ene 1 DER as defined by 2006 Building Regs.
- Ene 2 Building Fabric
- Ene 3 Internal Lighting
- Ene 4 Drying Space
- Ene 5 Energy Labelled White Goods
- Ene 6 External Lighting
- Ene 7 Zero or Low Carbon (ZLC) Energy Technologies
- Ene 8 Cycle Storage
- Ene 9 Home Office

### DER as defined by 2006 Building Regulations

*"to limit emissions of carbon dioxide (CO<sub>2</sub>) to the atmosphere arising from the operation of a dwelling and its services".*

The improvement required for Level 3 is an improvement in energy efficiency of 25% over the notional 'just compliant' TER. It is assumed that the SAP 2005 calculations will demonstrate the mandatory 25% improvement over L1a for all dwelling types and so yields five of the fifteen credits under this section.

(5 / 15 credits)

### Building Fabric

*"to future proof the efficiency of dwellings over their whole life by limiting heat losses across the building envelope".*

It is assumed the SAP 2005 assessments will reflect an HLP of less than 1.1 for all flats which achieves both credits.

(2 / 2 credits)

### Internal Lighting

*"to encourage the provision of energy efficient internal lighting, thus reducing the CO<sub>2</sub> emissions from the dwelling".*

At least 75% of internal lighting will be provided by dedicated low energy lighting within the homes. This must be detailed on the drawings and in the specification together with manufacturer confirmation of the dedicated light fittings.

(2 / 2 credits)

### Drying Space

*"to minimise the amount of energy used to dry clothes."*

Internal retractable clothes dryers must be provided to all dwellings fully meeting the criteria.

(1 / 1 credit)

---

## Energy Labelled White Goods

*"to encourage the provision or purchase of energy efficient white goods, thus reducing the CO<sub>2</sub> emissions from the dwelling."*

All white goods considered under this section will be fully compliant and guidance on purchasing white goods will be provided to the occupiers.

(2 / 2 credits)

## External Lighting

*"to encourage the provision of energy efficient external lighting, thus reducing the CO<sub>2</sub> emissions from the dwelling"*

External & communal space lighting will be dedicated energy efficient fittings with appropriate controls. Security lighting where fitted must also be compliant or if not provided the second credit is achieved by default.

(2 / 2 credits)

## Renewable and Low Emission Energy Source

*"to reduce carbon emissions and atmospheric pollution by encouraging local energy generation from renewable sources to supply a significant proportion of the development's energy demand"*

The proposed renewable energy provision will comfortably exceed the upper minimum 15% of overall energy consumption achieving both credits.

(2 / 2 credits)

## Cycle Storage

*"to encourage the wider use of bicycles as transport by providing adequate and secure cycle storage facilities, and thus reducing the need for short car journeys"*

Cycle storage for 8No. cycles is currently indicated on the ground floor plan this achieves one of the two credits.

(1 / 2 credits)

## Home Office

*"to reduce the need to commute to work by providing residents with the necessary space and services to be able to work from home"*

Home office facilities will be provided to every dwelling. These would feature in the smallest bedroom for the two- & three-bed flats and in the living room for the one-bedroom flats. The facilities consist of a single BT point (the site benefits from broadband availability) together with two appropriately-placed double power sockets. One bed flats must accommodate Home Office without preventing primary use of the living / dining room.

(1 / 1 credit)

## WATER

---

This category considers water-saving features of the home both internally and externally:

- Wat 1 Internal Potable Water Consumption
- Wat 2 External Potable Water Consumption

### Internal Potable Water Consumption

*"to reduce consumption of potable water in the home"*

This mandatory daily consumption level of less than 105 litres per person is required for Level 3. This may be achieved, for example, with the following sanitaryware / brassware features:- 4/2 litre wc cisterns, basin & kitchen taps of 4 litres per minute flow rate, shower heads with a flow rate of 4.5 litres per minute flow rate and shaped bath with capacity to overflow of no more than 160 litres.

**(3 / 5 credits)**

### External Potable Water Use

*"to encourage the recycling of rainwater and reduce the amount of mains potable water used in landscape/garden watering"*

Rainwater butts are to be provided in accordance with the criteria to achieve the credit under this section.

**(1 / 1 credit)**



## MATERIALS

---

This category focuses on features of the development which can reduce atmospheric pollution:

- Mat 1 Environmental Impact of Materials
- Mat 2 Responsible sourcing of Materials: Basic Building Elements
- Mat 3 Responsible sourcing of Materials: Finishing Elements

### **Environmental Impact of Materials**

*"to encourage the use of materials with lower environmental impacts over their life cycle"*

Wherever possible the key construction elements should achieve an 'A+ to D' rating under the 'Green Guide for Housing' specification. The proposed construction will achieve this for at least three of the key construction elements under this mandatory section.

**(10/ 15 credits)**

### **Responsible sourcing of Materials: Basic Building Elements**

*"to recognise and encourage the specification of responsibly sourced materials for the basic building elements"*

All materials used within the main construction elements are considered and as such must be demonstrated as being responsibly sourced. For timber materials these must be certified under a Chain of Custody scheme – preferably FSC scheme. Non-timber materials must have an Environmental Management System (EMS, e.g. ISO 14001) for both the manufacturing process and for the extraction of raw materials. Four of the six credits available have been taken to allow for the different tier weightings.

**(4 / 6 credits)**

### **Responsible sourcing of Materials: Finishing Elements**

*"to recognise and encourage the specification of responsibly sourced materials for the finishing elements"*

Again all materials must be demonstrated as being responsibly sourced. Two of the three credits available taken.

**(2 / 3 credits)**

## SURFACE WATER RUNOFF

---

This category considers the site proposals attenuation of surface rainwater run-off together with the risk of flooding present on the site:

- Sur 1 Reduction of Surface Water Runoff from site
- Sur 2 Flood Risk

### Reduction of Surface Runoff

*"to reduce and delay water run-off from the hard surfaces of a housing development to public sewers and watercourses, thus reducing the risk of localised flooding, pollution and other environmental damage"*

Mandatory element requires the run-off post-development to be no more than that pre-development. In order to score engineer confirmation meeting the criteria must be provided 'ensuring no discharge to the watercourse for rainfall depths up to 5mm' or evidence provided to 'establish agreements for the ownership, long term operation and maintenance of all sustainable drainage elements used' . For now no credits have been taken.

(0 / 2 credits)

### Flood Risk

*"to encourage developments in areas with low risk of flooding or if developments are to be situated in areas with medium risk of flooding that appropriate measures are taken to reduce the impact in an eventual case of flooding"*

The site's annual probability of flooding is assessed under this credit. The site is within an area with low risk of flooding. Both credits taken.

(2 / 2 credits)

## WASTE

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This category considers the waste generated both when the house is occupied in use and during the construction phase. It seeks to recognise recycling and composting efforts and to minimise waste.

- Was 1 Household Waste Storage and Recycling Facilities
- Was 2 Construction Site Waste Management
- Was 3 Composting

### **Household Waste Storage and Recycling Facilities**

*"to recognise the importance of having adequate internal and external storage space for waste to enable its appropriate management"*

The mandatory element of this section will be achieved whereby local authority and CSH requirements will be met for refuse storage and access. The local authority operates a compliant kerbside collection scheme for recyclable materials in this area. Appropriately-sized internal recycling bins will be provided within a dedicated location to each dwelling. Communal bin stores will include recycling bins in accordance with local authority requirements. These features combine to score all of the four credits available under this part-mandatory section.

**(4 / 4 credits)**

### **Construction Site Waste Management**

*"to recognise the importance a Site Waste Management Plan has on the efficient use of resources during construction and demolition, and to promote the reduction and effective management of site waste"*

The mandatory element of this section requires that a Site Waste Management Plan is developed and implemented. A site waste management scheme must be operated on site which complies with the criteria to achieve both credits.

**(2 / 2 credits)**

### **Composting**

*"to encourage developers to provide the facilities to compost household waste, reducing the amount of household waste sent to landfill"*

To score under this section composting facilities must be provided to all dwellings – details of local authority scheme are not fully established – no credits taken for now.

**(0 / 1 credit)**

## POLLUTION

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This section focuses on features of the development which can reduce atmospheric pollution:

- Pol 1 Global Warming Potential (GWP) of Insulants
- Pol 2 NO<sub>x</sub> Emissions

### **Global Warming Potential (GWP) of Insulants**

*“to reduce global warming from blowing agent emissions arising from the manufacture, installation, use and disposal of foamed thermal and acoustic insulating materials”*

All insulation products used in the development (including their manufacturing process – e.g. blowing / foaming agents) will have a global warming potential of less than five.

**(1 / 1 credit)**

### **NO<sub>x</sub> Emissions**

*“to reduce the emission of nitrogen oxides (NO<sub>x</sub>) into the atmosphere”*

The proposed air source heat pump systems are unlikely to achieve any credits under this section.

**(0 / 3 credits)**

## HEALTH AND WELL-BEING

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This category considers aspects of the home and its' amenity that add to the quality of life for the residents of the development:

- Hea 1 Daylighting
- Hea 2 Sound Insulation
- Hea 3 Private Space
- Hea 4 Lifetime Homes

### Daylighting

*"to improve the quality of life in homes through good daylighting, and to reduce the need for energy to light a home"*

Good levels of natural daylighting together with a View of the Sky for all key rooms are required to score fully under this section. Daylighting calculations to be provided in support.

(1 / 3 credits)

### Sound Insulation

*"to ensure the provision of improved sound insulation to reduce the likelihood of noise complaints from neighbours"*

The development will use Robust Details or PCT sound testing to ensure that levels of sound insulation are achieved and residents' quality of life assured. For now no credits are taken.

(0 / 4 credits)

### Private Space

*"to improve the occupier's quality of life by providing an outdoor space for their use, which is at least partially private"*

Not all of the flats have access to partially private communal or private gardens. In this case no credit is to be awarded.

(0 / 1 credit)

### Lifetime Homes

*"to encourage the construction of homes that are accessible to everybody and where the layout can easily be adapted to fit the needs of future occupants"*

No credits have been taken under this section.

(0 / 4 credits)

## MANAGEMENT

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All other aspects of the assessment consider the development's features 'in occupation' - once it has been constructed; this section gives focus to the developer's management of the project:

- Man 1 Home User Guide
- Man 2 Considerate Constructors Scheme
- Man 3 Construction Site Impacts
- Man 4 Security

### Home User Guide

*"to recognise and encourage the provision of guidance to enable home owners/occupiers to understand and operate their home efficiently and to make the best use of local facilities"*

An information pack will be provided to all occupiers to explain in layman's terms how to operate their homes in the most efficient, economical and environmentally sound manner whilst achieving the level of comfort desired. Residents will also be provided with information on their local area such as public transport, local amenities, recycling & refuse arrangements together with emergency information to achieve the further credit – three credits taken

**(3 / 3 credits)**

### Considerate Constructors Scheme

*"to recognise and encourage construction sites managed in an environmentally and socially considerate and accountable manner"*

The CCS scheme provides a measure to demonstrate this approach. Both credits have been taken under this section which requires a CCS score of 32 or more.

**(2 / 2 credits)**

### Construction Site Impacts

*"to recognise and encourage construction sites managed in a manner that mitigates environmental impacts"*

Four of the six construction site impacts indicated in the Code must be considered and fully implemented to achieve both credits available under this section.

**(2 / 2 credits)**

### Security

*"to encourage the design of developments where people feel safe and secure; where crime and disorder, or the fear of crime, does not undermine quality of life or community cohesion"*

A Secured by Design (Part 2) award is to be achieved by working with an Architectural Liaison officer, together with the enhanced security requirements recommended by the ALO.

**(2 / 2 credits)**

## ECOLOGY

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This section rewards use of land with low ecological value, efficient dense development of the land, protection of existing features and the addition of new ecological value:

- Eco 1 Ecological Value of Site
- Eco 2 Ecological Enhancement
- Eco 3 Protection of Ecological Features
- Eco 4 Change of Ecological Value of Site
- Eco 5 Building Footprint

### **Ecological Value of Site**

*"to encourage development on land that already has a limited value to wildlife and discourage the development of ecologically valuable sites"*

An ecological assessment (in the BREEAM format) will be carried out to achieve credits taken under this section and the following three. One credit taken.

(1 / 1 credit)

### **Ecological Enhancement**

*"to enhance the ecological value of a site"*

An ecological assessment will be carried out and all Key and at least 30% of the Additional recommendations followed.

(1 / 1 credit)

### **Protection of Ecological Features**

*"to protect existing ecological features from substantial damage during the clearing of the site and the completion of construction works"*

An ecological assessment will be carried out and the recommendations for protection of ecological features followed.

(1 / 1 credit)

### **Change of Ecological Value of Site**

*"to reward steps taken to minimise reductions and to encourage an improvement in ecological value"*

An ecological assessment must be carried out and the recommendations followed. Three credits taken.

(3 / 4 credits)

### **Building Footprint**

*"to promote the most efficient use of a building's footprint by ensuring that land and material use is optimised across the development"*

The density requirements are met by this building with accommodation over 1<sup>st</sup>, 2<sup>nd</sup>, 3<sup>rd</sup> and part of the Ground floor to achieve one of the two credits.

(1 / 2 credits)

## CONCLUSION

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The Code for Sustainable Homes considers many criteria across nine main categories. Having considered each category in turn the report clearly demonstrates how the scheme at 73 Guilford Street might achieve the Level 3 rating under the Code for Sustainable Homes with a comfortable overall score of 61.18.

The minimum overall score to achieve code level 3 is 57.00. This shows that the development exceeds the minimum requirements comfortably.

All mandatory features have been highlighted & will be addressed. Particularly all flats will achieve the 25% improvement in energy efficiency over that required under current building regulations Part L1a. The range of water-saving sanitary ware and brassware will ensure that water consumption is less than 105 litres per person per day.

Whilst some items may require amendment as the scheme design evolves, these can be considered at each stage to ensure the mandatory sections are still achieved and the overall Level 3 rating is maintained.



## APPENDIX

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73 Guilford Street – Estimator for Code Level 3

### Background

Full Code for Sustainable Homes Technical Guidance can be downloaded from the Code for Sustainable Homes webpage at [www.planningportal.gov.uk](http://www.planningportal.gov.uk). If you notice any errors or experience any difficulties when using the tool, you can report the problem at [csh@bre.co.uk](mailto:csh@bre.co.uk) writing Code Tools in the title or body of text.

The pre-assessment estimator tool allows an evaluation of the potential rating achievable under a formal Code for Sustainable Homes assessment for a single dwelling type.

Several dwellings on the same site may achieve different levels and scores. Under a formal assessment, where there are any differences in how any of the credits are achieved, a new dwelling type must be created. However, a new pre-assessment estimator should only be created where there are changes between dwellings that affect any individual credit score.

Development Name:

Dwelling Description:

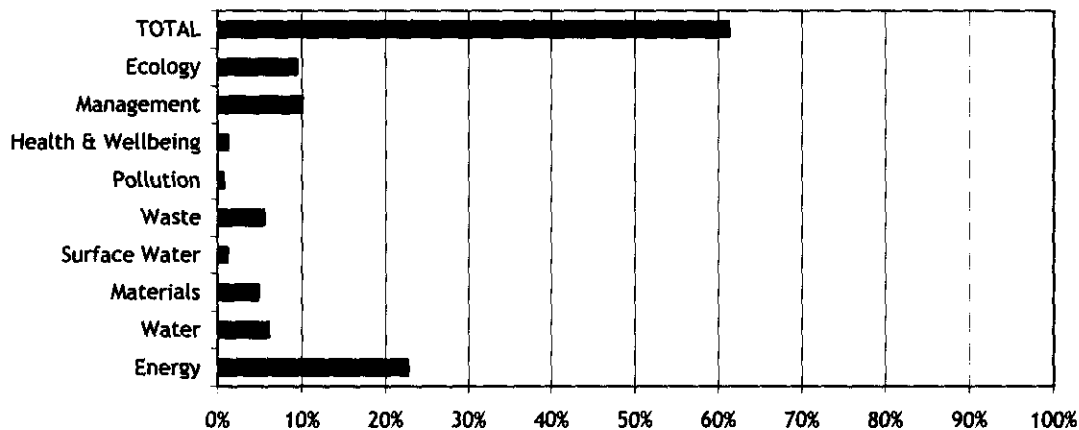
### PREDICTED RATING - CODE LEVEL: 3

Breakdown: Energy - Code Level: 3  
Water - Code Level: 4

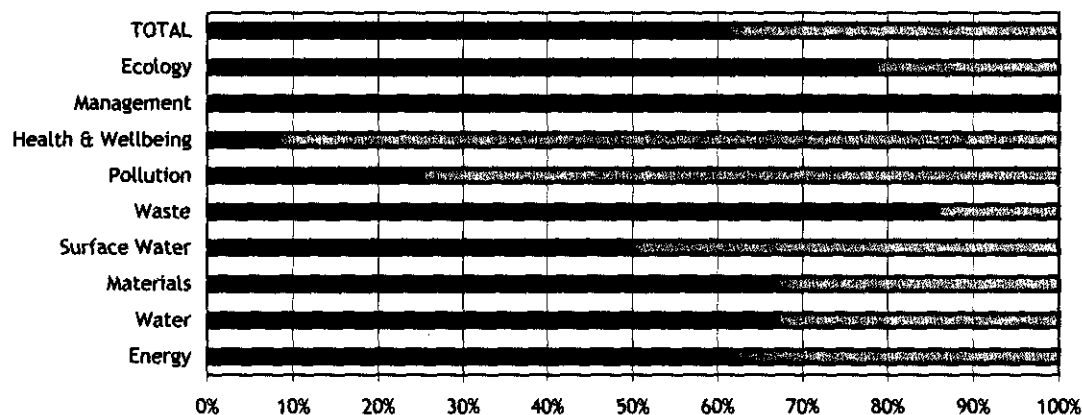
Mandatory Requirements: All met

% Points: 61.18% - Code Level: 3

Graph 1: Predicted contribution of individual sections to the total score



Graph 2: Predicted percentage of each credit and total score achievable



NOTE: The rating obtained by using this Pre Assessment Estimator is for guidance only. Predicted ratings may differ from those obtained through a formal assessment, which must be carried out by a licensed Code assessor.

| CATEGORY 1 ENERGY                           |   | Overall Level: 3 | Overall Score 61.18 |                  |                   |
|---|---|------------------|---------------------|------------------|-------------------|
| % of Section Credits Predicted: 62%         |   |                  | Credits Level       |                  |                   |
| Contribution to Overall Score: 22.59 points |   | 18 of 29 Credits | Level 3             | Assumptions Made | Evidence Required |
| Ene 1<br>DER<br>Improvement over<br>TER     | <p>Credits are awarded based on the percentage improvement of the Dwelling Emission Rate (DER) over the Target Emission Rate (TER) as calculated using SAP 2005. Minimum standards for each Code level apply.</p> <p>Select the % improvement</p> <p>0% improvement <input type="radio"/></p> <p>OR 10% improvement <input type="radio"/></p> <p>OR 14% improvement <input type="radio"/></p> <p>OR 18% improvement <input type="radio"/></p> <p>OR 22% improvement <input type="radio"/></p> <p>OR 25% improvement <input checked="" type="radio"/></p> <p>OR 31% improvement <input type="radio"/></p> <p>OR 37% improvement <input type="radio"/></p> <p>OR 44% improvement <input type="radio"/></p> <p>OR 52% improvement <input type="radio"/></p> <p>OR 60% improvement <input type="radio"/></p> <p>OR 69% improvement <input type="radio"/></p> <p>OR 79% improvement <input type="radio"/></p> <p>OR 89% improvement <input type="radio"/></p> <p>OR 100% improvement <input type="radio"/></p> <p>OR True Zero Carbon* <input type="radio"/></p> | 5 of 15 Credits  | Level 3             |                  |                   |
| Ene 2<br>Building<br>Fabric                 | <p>Credits are awarded based on the Heat Loss Parameter (HLP) obtained from the SAP 2005 calculations. This is based on the level of insulation provided in the dwellings.</p> <p>Select a HLP range</p> <p>Greater than 1.30 <input type="radio"/></p> <p>OR Less than or equal to 1.30 <input type="radio"/></p> <p>OR Less than or equal to 1.10 <input checked="" type="radio"/></p>  | 2 of 2 Credits   | -                   |                  |                   |
| Ene 3<br>Internal<br>Lighting               | <p>Credits are awarded based on the percentage of dedicated energy efficient lighting provided in habitable spaces within the dwelling.</p> <p>Select the % of dedicated energy efficient lighting</p> <p>Less than 40% <input type="radio"/></p> <p>OR Greater than or equal to 40% <input type="radio"/></p> <p>OR Greater than or equal to 75% <input checked="" type="radio"/></p>  | 2 of 2 Credits   | -                   |                  |                   |

| Issue                                    |   | Credits        | Level | Assumptions Made | Evidence Required |
|--|---|----------------|-------|------------------|-------------------|
| Ene 4<br>Drying Space                    | <p>One credit is awarded for the provision of either internal or external drying space with posts and footings, or fixings capable of holding 4m+ of drying line for 1-2 bed dwellings and 6m+ for dwellings with 3 bedrooms or greater.</p> <p>Will drying space meeting the criteria be provided?</p> <p>Yes <input checked="" type="radio"/></p> <p>OR No <input type="radio"/></p>  | 1 of 1 Credits | -     |                  |                   |
| Ene 5<br>Energy Labelled White Goods     | <p>Credits are awarded where each dwelling is provided with either information about the EU Energy Labelling Scheme or White Goods with the ratings stated below:</p> <p>Select the appropriate option below</p> <p>EU Energy labelling information <input checked="" type="checkbox"/></p> <p>OR A+ Rated Fridges and Freezers <input checked="" type="checkbox"/></p> <p>and/or A Rated washing machines &amp; dishwashers <input checked="" type="checkbox"/></p> <p>and B Rated Washer dryers and tumble dryers <input checked="" type="checkbox"/></p>                       | 2 of 2 Credits | -     |                  |                   |
| Ene 6<br>External Lighting               | <p>Credits are awarded based on the provision of space lighting with dedicated energy efficient fittings and security lighting with appropriate control gear.</p> <p>Space Lighting</p> <p>None provided <input type="radio"/></p> <p>OR Non Code compliant lighting <input type="radio"/></p> <p>OR Code compliant lighting <input checked="" type="radio"/></p> <p>Security Lighting</p> <p>None provided <input type="radio"/></p> <p>OR Non Code compliant lighting <input type="radio"/></p> <p>OR Code compliant lighting and controls <input checked="" type="radio"/></p> | 1 of 1 Credits | -     |                  |                   |
| Ene 7<br>Low or Zero Carbon Technologies | <p>Credits are awarded where either 10% or 15% of the dwellings heating energy requirements (SAP 2005) are met by low or zero carbon technologies. Note that where funding has not been granted through the Low Carbon Buildings Programme, a feasibility study is required that meets the Code requirements.</p> <p>Select % contribution made by low or zero carbon technologies</p> <p>Less than 10% of demand <input type="radio"/></p> <p>OR 10% of demand or greater <input type="radio"/></p> <p>OR 15% of demand or greater <input checked="" type="radio"/></p>          | 2 of 2 Credits | -     |                  |                   |

| Issue   | Credits        | Level | Assumptions Made | Evidence Required |
|---|----------------|-------|------------------|-------------------|
| <p>Enc 8 Cycle Storage</p> <p>Credits are awarded where safe, secure and weather proof cycle storage is provided according to the Code requirements.</p> <div> <p>Fill in the development details below</p> <p>Number of bedrooms: <input type="text" value="2"/></p> <p>Number of cycles stored per dwelling: <input type="text" value="1.0"/></p> <p>Will the storage be communal? <input checked="" type="checkbox"/></p> </div> | 1 of 2 Credits | -     |                  |                   |
| <p>Enc 9 Home Office</p> <p>One credit is awarded for the provision of space for a home office. The location, space and services provided must meet the Code requirements.</p> <div> <p>Will there be provision for a home Office? <input checked="" type="radio"/></p> <p>Yes <input checked="" type="radio"/></p> <p>OR No <input type="radio"/></p> </div>   | 1 of 1 Credits | -     |                  |                   |

| CATEGORY 2 WATER                           |   | Overall Level: 3 | Overall Score      | 61.18   | Assumptions Made | Evidence Required |
|--|---|------------------|--------------------|---------|------------------|-------------------|
| % of Section Credits Predicted: 67%        |   |                  | Credits            | Level   |                  |                   |
| Contribution to Overall Score: 6.00 points |   |                  | 4 of 6 Credits     | Level 4 |                  |                   |
| Wat. 1<br>Internal<br>Potable<br>Water Use | Credits are awarded based on the predicted average household water consumption, calculated using the Code Water Calculator Tool. Minimum standards for each code level apply.<br><br>Select the predicted water use:<br><br>greater than 120 litres/ person/ day <input type="radio"/><br>OR less than 120 litres/ person/ day <input type="radio"/><br>OR less than 110 litres/ person/ day <input type="radio"/><br>OR less than 105 litres/ person/ day <input checked="" type="radio"/><br>OR less than 90 litres/ person/ day <input type="radio"/><br>OR less than 80 litres/ person/ day <input type="radio"/> | 3 of 5 Credits   | Level 3<br>Level 4 |         |                  |                   |
| Wat. 2<br>External<br>Potable<br>Water Use | One credit is awarded where a compliant system is specified for collecting rainwater for external irrigation purposes. Where no outdoor space is provided the credit can be achieved by default.<br><br>Select the scenario that applies:<br><br>No internal or communal outdoor space <input checked="" type="radio"/><br>OR Outdoor space with collection system <input type="radio"/><br>OR Outdoor space without collection system <input type="radio"/>  | 1 of 1 Credits   | -                  |         |                  |                   |



| CATEGORY 3 MATERIALS   |  | Overall Level: 3 | Overall Score    | 61.18      |                  |                   |
|--|--|------------------|------------------|------------|------------------|-------------------|
| % of Section Credits Predicted: 67%                                  |  |                  | Credits          | Level      |                  |                   |
| Contribution to Overall Score: 4.80 points                           |  |                  | 16 of 24 Credits | All Levels | Assumptions Made | Evidence Required |
| Mat 1<br>Environmental Impact of Materials                           | <p><b>Mandatory Requirement:</b> At least three of the five key building elements must achieve a Green Guide 2007 Rating of A+ to D.</p> <p><b>Tradable Credits:</b> Points are awarded on a scale based on the Green Guide Rating of the specifications. The Code Materials Calculator can be used to predict a potential score.</p> <p>Enter the predicted score _____</p> <p>Will the mandatory requirement be met? <input checked="" type="checkbox"/></p> <p>What is the predicted number of credits? <input type="text" value="10"/></p> | 10 of 15 Credits | All Levels       |            |                  |                   |
| Mat 2<br>Responsible Sourcing of Materials - Basic Building Elements | <p>Credits are awarded where materials used in the key building elements are responsibly sourced. The Code Materials Calculator can be used to predict a potential score.</p> <p>Predicted Score _____</p> <p>What is the predicted number of credits? <input type="text" value="4"/></p>  | 4 of 6 Credits   | -                |            |                  |                   |
| Mat 3<br>Responsible Sourcing of Materials - Finishing Elements      | <p>Credits are awarded where materials used in the finishing elements are responsibly sourced. The Code Materials Calculator can be used to predict a potential score.</p> <p>Predicted Score _____</p> <p>What is the predicted number of credits? <input type="text" value="2"/></p>   | 2 of 3 Credits   | -                |            |                  |                   |



| CATEGORY 4 SURFACE WATER RUN-OFF                                |  | Overall Level: 3 | Overall Score | 61.18            |                   |  |
|---|--|------------------|---------------|------------------|-------------------|--|
| % of Section Credits Predicted: 50%                             |  |                  | Credits       | Level            |                   |  |
| Contribution to Overall Score: 1.10 points                      |  | 2 of 4 Credits   | All Levels    | Assumptions Made | Evidence Required |  |
| Sur 1<br>Reduction of<br>Surface<br>Water Run-<br>off from Site | <p><u>Mandatory Requirement:</u> Peak run-off rates and annual run-off volumes post development must not exceed the previous conditions for the site. <u>Tradable Credits:</u> Where rainwater holding facilities / SUDs are used to provide attenuation of water run-off for the volumes required and in accordance with the Code criteria.</p> <p>Provide the following information:</p> <div><p>Will the mandatory requirement be met? <input checked="" type="checkbox"/></p><p>Will appropriate attenuation be provided from Hard Surfaces? <input type="checkbox"/></p><p>from Roofs? <input type="checkbox"/></p></div>     | 0 of 2 Credits   | All Levels    |                  |                   |  |
| Sur 2 Flood<br>Risk   | <p>Credits are awarded where developments are located in areas of low flood risk, or where in areas of medium or high flood risk appropriate measures are taken to prevent damage to the property and its contents in accordance with the Code criteria.</p> <p>Select the appropriate option:</p> <div><p>Low Flood Risk <input checked="" type="radio"/></p><p>OR Medium flood risk with measures <input type="radio"/></p><p>OR Medium flood risk without measures <input type="radio"/></p><p>OR High flood risk with measures <input type="radio"/></p><p>OR High flood risk without measures <input type="radio"/></p></div> | 2 of 2 Credits   | -             |                  |                   |  |

| CATEGORY 5 WASTE  |   | Overall Level: 3                         | Overall Score: 61.18                |                                       |                          |  |                                     |   |                                     |                                    |                                     |                                     |                                     |  |                                     |   |                                     |                |            |  |  |
|---|---|--|-------------------------------------|---------------------------------------|--------------------------|--|-------------------------------------|---|-------------------------------------|------------------------------------|-------------------------------------|-------------------------------------|-------------------------------------|--|-------------------------------------|---|-------------------------------------|----------------|------------|--|--|
| % of Section Credits Predicted: 86%                                       |   |  | Credits Level                       |                                       |                          |  |                                     |   |                                     |                                    |                                     |                                     |                                     |  |                                     |   |                                     |                |            |  |  |
| Contribution to Overall Score: 5.49 points                                |   | 6 of 7 Credits                           | All Levels                          | Assumptions Made                      | Evidence Required        |  |                                     |   |                                     |                                    |                                     |                                     |                                     |  |                                     |   |                                     |                |            |  |  |
| Was 1<br>Household<br>Waste<br>Storage                                    | <p><b>Mandatory Requirements:</b> The space provided for waste storage should be sized to hold the larger of either all external containers provided by the Local Authority or the min capacity calculated from BS 5906. <b>Tradable Credits</b> are awarded for adequate internal and/ or external recycling facilities.</p> <p>Tick the boxes that apply</p> <table><tr><td>Will the minimum space be provided?</td><td><input checked="" type="checkbox"/></td></tr><tr><td>Internal storage (capacity 60 litres)</td><td><input type="checkbox"/></td></tr><tr><td>Internal storage (capacity 30 litres)</td><td><input checked="" type="checkbox"/></td></tr><tr><td>Local Authority Collection Scheme</td><td><input checked="" type="checkbox"/></td></tr><tr><td>External storage (180 litres)</td><td><input type="checkbox"/></td></tr><tr><td>Private recycling operator</td><td><input type="checkbox"/></td></tr><tr><td>3 types of waste or greater collected?</td><td><input checked="" type="checkbox"/></td></tr></table>  | Will the minimum space be provided?      | <input checked="" type="checkbox"/> | Internal storage (capacity 60 litres) | <input type="checkbox"/> | Internal storage (capacity 30 litres)    | <input checked="" type="checkbox"/> | Local Authority Collection Scheme         | <input checked="" type="checkbox"/> | External storage (180 litres)      | <input type="checkbox"/>            | Private recycling operator          | <input type="checkbox"/>            | 3 types of waste or greater collected?         | <input checked="" type="checkbox"/> | 4 of 4 Credits                                  | All Levels                          |                |            |  |  |
| Will the minimum space be provided?                                       | <input checked="" type="checkbox"/>   |  |                                     |                                       |                          |  |                                     |   |                                     |                                    |                                     |                                     |                                     |  |                                     |   |                                     |                |            |  |  |
| Internal storage (capacity 60 litres)                                     | <input type="checkbox"/>  |  |                                     |                                       |                          |  |                                     |   |                                     |                                    |                                     |                                     |                                     |  |                                     |   |                                     |                |            |  |  |
| Internal storage (capacity 30 litres)                                     | <input checked="" type="checkbox"/>   |  |                                     |                                       |                          |  |                                     |   |                                     |                                    |                                     |                                     |                                     |  |                                     |   |                                     |                |            |  |  |
| Local Authority Collection Scheme   | <input checked="" type="checkbox"/>   |  |                                     |                                       |                          |  |                                     |   |                                     |                                    |                                     |                                     |                                     |  |                                     |   |                                     |                |            |  |  |
| External storage (180 litres)   | <input type="checkbox"/>  |  |                                     |                                       |                          |  |                                     |   |                                     |                                    |                                     |                                     |                                     |  |                                     |   |                                     |                |            |  |  |
| Private recycling operator  | <input type="checkbox"/>  |  |                                     |                                       |                          |  |                                     |   |                                     |                                    |                                     |                                     |                                     |  |                                     |   |                                     |                |            |  |  |
| 3 types of waste or greater collected?                                    | <input checked="" type="checkbox"/>   |  |                                     |                                       |                          |  |                                     |   |                                     |                                    |                                     |                                     |                                     |  |                                     |   |                                     |                |            |  |  |
| Was 2<br>Site Waste<br>Management<br>Plan (SWMP)<br>Construction<br>Waste | <p><b>Mandatory Requirements:</b> A SWMP plan including the monitoring of waste generated on site and the setting of targets to promote resource efficiency must be produced and implemented. <b>Tradable Credits:</b> The SWMP should also include procedures and commitments for minimising waste and/ or commitments to sort, reuse and recycle construction waste.</p> <p>Contents of the SWMP</p> <table><tr><td>Is the development cost less than £200K?</td><td><input type="checkbox"/></td></tr><tr><td>Does the SWMP include:</td><td></td></tr><tr><td>- monitoring of waste generated on site?</td><td><input checked="" type="checkbox"/></td></tr><tr><td>- targets to promote resource efficiency?</td><td><input checked="" type="checkbox"/></td></tr><tr><td>- procedures for minimising waste?</td><td><input checked="" type="checkbox"/></td></tr><tr><td>- commitments for minimising waste?</td><td><input checked="" type="checkbox"/></td></tr><tr><td>- procedures to sort, reuse and recycle waste?</td><td><input checked="" type="checkbox"/></td></tr><tr><td>- commitments to sort, reuse and recycle waste?</td><td><input checked="" type="checkbox"/></td></tr></table> | Is the development cost less than £200K? | <input type="checkbox"/>            | Does the SWMP include:                |                          | - monitoring of waste generated on site? | <input checked="" type="checkbox"/> | - targets to promote resource efficiency? | <input checked="" type="checkbox"/> | - procedures for minimising waste? | <input checked="" type="checkbox"/> | - commitments for minimising waste? | <input checked="" type="checkbox"/> | - procedures to sort, reuse and recycle waste? | <input checked="" type="checkbox"/> | - commitments to sort, reuse and recycle waste? | <input checked="" type="checkbox"/> | 2 of 2 Credits | All Levels |  |  |
| Is the development cost less than £200K?                                  | <input type="checkbox"/>  |  |                                     |                                       |                          |  |                                     |   |                                     |                                    |                                     |                                     |                                     |  |                                     |   |                                     |                |            |  |  |
| Does the SWMP include:  |   |  |                                     |                                       |                          |  |                                     |   |                                     |                                    |                                     |                                     |                                     |  |                                     |   |                                     |                |            |  |  |
| - monitoring of waste generated on site?                                  | <input checked="" type="checkbox"/>   |  |                                     |                                       |                          |  |                                     |   |                                     |                                    |                                     |                                     |                                     |  |                                     |   |                                     |                |            |  |  |
| - targets to promote resource efficiency?                                 | <input checked="" type="checkbox"/>   |  |                                     |                                       |                          |  |                                     |   |                                     |                                    |                                     |                                     |                                     |  |                                     |   |                                     |                |            |  |  |
| - procedures for minimising waste?  | <input checked="" type="checkbox"/>   |  |                                     |                                       |                          |  |                                     |   |                                     |                                    |                                     |                                     |                                     |  |                                     |   |                                     |                |            |  |  |
| - commitments for minimising waste?                                       | <input checked="" type="checkbox"/>   |  |                                     |                                       |                          |  |                                     |   |                                     |                                    |                                     |                                     |                                     |  |                                     |   |                                     |                |            |  |  |
| - procedures to sort, reuse and recycle waste?                            | <input checked="" type="checkbox"/>   |  |                                     |                                       |                          |  |                                     |   |                                     |                                    |                                     |                                     |                                     |  |                                     |   |                                     |                |            |  |  |
| - commitments to sort, reuse and recycle waste?                           | <input checked="" type="checkbox"/>   |  |                                     |                                       |                          |  |                                     |   |                                     |                                    |                                     |                                     |                                     |  |                                     |   |                                     |                |            |  |  |
| Was 3<br>Composting   | <p>One credit is awarded where individual home composting facilities are provided, or where a community/ communal composting service, either run by the Local Authority or overseen by a management plan is in operation.</p> <p>Select the facilities available</p> <table><tr><td>No composting facilities</td><td><input checked="" type="radio"/></td></tr><tr><td>Individual composting facilities</td><td><input type="radio"/></td></tr><tr><td>OR Communal/ community composting?</td><td><input type="radio"/></td></tr><tr><td>Local Authority</td><td><input type="checkbox"/></td></tr><tr><td>OR Private with management plan</td><td><input type="checkbox"/></td></tr></table>   | No composting facilities                 | <input checked="" type="radio"/>    | Individual composting facilities      | <input type="radio"/>    | OR Communal/ community composting?       | <input type="radio"/>               | Local Authority                           | <input type="checkbox"/>            | OR Private with management plan    | <input type="checkbox"/>            | 0 of 1 Credit                       | -                                   |  |                                     |   |                                     |                |            |  |  |
| No composting facilities  | <input checked="" type="radio"/>  |  |                                     |                                       |                          |  |                                     |   |                                     |                                    |                                     |                                     |                                     |  |                                     |   |                                     |                |            |  |  |
| Individual composting facilities  | <input type="radio"/>   |  |                                     |                                       |                          |  |                                     |   |                                     |                                    |                                     |                                     |                                     |  |                                     |   |                                     |                |            |  |  |
| OR Communal/ community composting?  | <input type="radio"/>   |  |                                     |                                       |                          |  |                                     |   |                                     |                                    |                                     |                                     |                                     |  |                                     |   |                                     |                |            |  |  |
| Local Authority   | <input type="checkbox"/>  |  |                                     |                                       |                          |  |                                     |   |                                     |                                    |                                     |                                     |                                     |  |                                     |   |                                     |                |            |  |  |
| OR Private with management plan   | <input type="checkbox"/>  |  |                                     |                                       |                          |  |                                     |   |                                     |                                    |                                     |                                     |                                     |  |                                     |   |                                     |                |            |  |  |

| CATEGORY 6 POLLUTION                                 |   | Overall Level: 3 | Overall Score: 61.18 |                  |                   |
|--|---|------------------|----------------------|------------------|-------------------|
| % of Section Credits Predicted: 25%                  |   |                  | Credits              | Level            |                   |
| Contribution to Overall Score: 0.70 points           |   |                  | 1 of 4 Credits       | All Levels       |                   |
|  |   |                  |                      | Assumptions Made | Evidence Required |
| Pol 1<br>Global Warming Potential (GWP) of insulants | <p>One credit is awarded where all insulating materials have a Global Warming Potential (GWP) of less than 5.</p> <p>Select the most appropriate option</p> <p>All insulants have a GWP less than 5 <input checked="" type="radio"/></p> <p>OR Some insulants have a GWP of less than 5 <input type="radio"/></p> <p>OR No insulants have a GWP of less than 5 <input type="radio"/></p>  | 1 of 1 Credits   | -                    |                  |                   |
| Pol 2<br>NOx Emissions                               | <p>Credits are awarded on the basis of NOx emissions arising from the operation of the space heating system within the dwelling.</p> <p>Select the most appropriate option</p> <p>Greater than 100 mg/kWh <input checked="" type="radio"/></p> <p>OR Less than 100 mg/kWh <input type="radio"/></p> <p>OR Less than 70 mg/kWh <input type="radio"/></p> <p>OR Less than 40 mg/kWh <input type="radio"/></p> <p>OR Class 4 boiler <input type="radio"/></p> <p>OR Class 5 boiler <input type="radio"/></p> | 0 of 3 Credits   | -                    |                  |                   |

| CATEGORY 7 HEALTH & WELLBEING  |  | Overall Level: 3                                 | Overall Score: 61.18             |   |                                  |  |                                     |  |                                     |                                  |                                     |  |                          |  |                       |                |   |  |  |
|--|--|--|----------------------------------|---|----------------------------------|--|-------------------------------------|--|-------------------------------------|----------------------------------|-------------------------------------|--|--------------------------|--|-----------------------|----------------|---|--|--|
| % of Section Credits Predicted: 8%   |  |  | Credits                          | Level                                   |                                  |  |                                     |  |                                     |                                  |                                     |  |                          |  |                       |                |   |  |  |
| Contribution to Overall Score: 1.17 points   |  | 1 of 12 Credits                                  | All Levels                       | Assumptions Made                        | Evidence Required                |  |                                     |  |                                     |                                  |                                     |  |                          |  |                       |                |   |  |  |
| Hea 1<br>Daylighting   | <p>Credits are awarded for ensuring key rooms in the dwelling have high daylight factors (DF) and a view of the sky.</p> <p>Select the compliant areas</p> <table border="1"> <tr> <td>Room</td> <td></td> </tr> <tr> <td>Kitchen: Avg DF greater than 2%</td> <td><input type="checkbox"/></td> </tr> <tr> <td>Living Room*: Avg DF greater than 1.5%</td> <td><input checked="" type="checkbox"/></td> </tr> <tr> <td>Dining Room*: Avg DF greater than 1.5%</td> <td><input checked="" type="checkbox"/></td> </tr> <tr> <td>Study*: Avg DF greater than 1.5%</td> <td><input checked="" type="checkbox"/></td> </tr> <tr> <td>Do all above rooms have a view of the sky?</td> <td><input type="checkbox"/></td> </tr> </table> <p>Any room used for the Home Office must also achieve a min DF of 1.5%. *Tick the box if there is no study/home office as this aspect of the credit will be awarded by default.</p>  | Room   |                                  | Kitchen: Avg DF greater than 2%         | <input type="checkbox"/>         | Living Room*: Avg DF greater than 1.5%     | <input checked="" type="checkbox"/> | Dining Room*: Avg DF greater than 1.5%     | <input checked="" type="checkbox"/> | Study*: Avg DF greater than 1.5% | <input checked="" type="checkbox"/> | Do all above rooms have a view of the sky?                             | <input type="checkbox"/> | 1 of 3 Credits   | -                     |                |   |  |  |
| Room   |  |  |                                  |   |                                  |  |                                     |  |                                     |                                  |                                     |  |                          |  |                       |                |   |  |  |
| Kitchen: Avg DF greater than 2%  | <input type="checkbox"/>   |  |                                  |   |                                  |  |                                     |  |                                     |                                  |                                     |  |                          |  |                       |                |   |  |  |
| Living Room*: Avg DF greater than 1.5%   | <input checked="" type="checkbox"/>  |  |                                  |   |                                  |  |                                     |  |                                     |                                  |                                     |  |                          |  |                       |                |   |  |  |
| Dining Room*: Avg DF greater than 1.5%   | <input checked="" type="checkbox"/>  |  |                                  |   |                                  |  |                                     |  |                                     |                                  |                                     |  |                          |  |                       |                |   |  |  |
| Study*: Avg DF greater than 1.5%   | <input checked="" type="checkbox"/>  |  |                                  |   |                                  |  |                                     |  |                                     |                                  |                                     |  |                          |  |                       |                |   |  |  |
| Do all above rooms have a view of the sky?   | <input type="checkbox"/>   |  |                                  |   |                                  |  |                                     |  |                                     |                                  |                                     |  |                          |  |                       |                |   |  |  |
| Hea 2<br>Sound insulation  | <p>Credits are awarded where performance standards exceed those required in Building Regulations Part E. This can be demonstrated by carrying out pre-completion testing or through the use of Robust Details.</p> <p>Select a performance standard or type of property</p> <table border="1"> <tr> <td>Credit not sought</td> <td><input checked="" type="radio"/></td> </tr> <tr> <td>Airborne: 3db higher; Impact: 3db lower</td> <td><input type="radio"/></td> </tr> <tr> <td>OR Airborne: 5db higher; Impact: 5db lower</td> <td><input type="radio"/></td> </tr> <tr> <td>OR Airborne: 8db higher; Impact: 8db lower</td> <td><input type="radio"/></td> </tr> <tr> <td>OR Detached Property</td> <td><input type="radio"/></td> </tr> <tr> <td>OR Separating walls and floors only occur between non-habitable spaces</td> <td><input type="radio"/></td> </tr> <tr> <td>OR Separating walls and floors only occur between habitable and non-habitable spaces</td> <td><input type="radio"/></td> </tr> </table> | Credit not sought                                | <input checked="" type="radio"/> | Airborne: 3db higher; Impact: 3db lower | <input type="radio"/>            | OR Airborne: 5db higher; Impact: 5db lower | <input type="radio"/>               | OR Airborne: 8db higher; Impact: 8db lower | <input type="radio"/>               | OR Detached Property             | <input type="radio"/>               | OR Separating walls and floors only occur between non-habitable spaces | <input type="radio"/>    | OR Separating walls and floors only occur between habitable and non-habitable spaces | <input type="radio"/> | 0 of 4 Credits | - |  |  |
| Credit not sought  | <input checked="" type="radio"/>   |  |                                  |   |                                  |  |                                     |  |                                     |                                  |                                     |  |                          |  |                       |                |   |  |  |
| Airborne: 3db higher; Impact: 3db lower  | <input type="radio"/>  |  |                                  |   |                                  |  |                                     |  |                                     |                                  |                                     |  |                          |  |                       |                |   |  |  |
| OR Airborne: 5db higher; Impact: 5db lower   | <input type="radio"/>  |  |                                  |   |                                  |  |                                     |  |                                     |                                  |                                     |  |                          |  |                       |                |   |  |  |
| OR Airborne: 8db higher; Impact: 8db lower   | <input type="radio"/>  |  |                                  |   |                                  |  |                                     |  |                                     |                                  |                                     |  |                          |  |                       |                |   |  |  |
| OR Detached Property   | <input type="radio"/>  |  |                                  |   |                                  |  |                                     |  |                                     |                                  |                                     |  |                          |  |                       |                |   |  |  |
| OR Separating walls and floors only occur between non-habitable spaces               | <input type="radio"/>  |  |                                  |   |                                  |  |                                     |  |                                     |                                  |                                     |  |                          |  |                       |                |   |  |  |
| OR Separating walls and floors only occur between habitable and non-habitable spaces | <input type="radio"/>  |  |                                  |   |                                  |  |                                     |  |                                     |                                  |                                     |  |                          |  |                       |                |   |  |  |
| Hea 3<br>Private Space   | <p>One credit is awarded for the provision of an outdoor space that is at least partially private. The space must allow easy access to all occupants.</p> <p>Will a private/semi-private space be provided?</p> <table border="1"> <tr> <td>Yes, private/semi-private space will be provided</td> <td><input type="radio"/></td> </tr> <tr> <td>OR No private/semi-private space</td> <td><input checked="" type="radio"/></td> </tr> </table>   | Yes, private/semi-private space will be provided | <input type="radio"/>            | OR No private/semi-private space        | <input checked="" type="radio"/> | 0 of 1 Credits                             | -                                   |  |                                     |                                  |                                     |  |                          |  |                       |                |   |  |  |
| Yes, private/semi-private space will be provided                                     | <input type="radio"/>  |  |                                  |   |                                  |  |                                     |  |                                     |                                  |                                     |  |                          |  |                       |                |   |  |  |
| OR No private/semi-private space   | <input checked="" type="radio"/>   |  |                                  |   |                                  |  |                                     |  |                                     |                                  |                                     |  |                          |  |                       |                |   |  |  |

| Issue                           | Credits  | Level                 | Assumptions Made | Evidence Required |
|---------------------------------|--|-----------------------|------------------|-------------------|
| <p>Hea 4<br/>Lifetime Homes</p> | <p>Credits are awarded where the developer has implemented all of the principles of the Lifetime Homes scheme.</p> <div data-bbox="387 370 834 467"> <p>Lifetime Homes Compliance</p> <p>All Lifetime Homes criteria will be met <input type="radio"/></p> <p>OR Credit not sought <input checked="" type="radio"/></p> </div> | <p>0 of 4 Credits</p> |                  |                   |



| CATEGORY 8 MANAGEMENT                          |   | Overall Level: 3 | Overall Score<br>Credits | 6/1.18<br>Level |                  |                   |
|--|---|------------------|--------------------------|-----------------|------------------|-------------------|
| % of Section Credits Predicted: 100%           |   |                  | 9 of 9 Credits           | All Levels      | Assumptions Made | Evidence Required |
| Contribution to Overall Score: 10.00 points    |   |                  |                          |                 |                  |                   |
| Man 1<br>Home User<br>Guide                    | Credits are awarded where a simple guide is provided to each dwelling covering information relevant to the 'non-technical' home occupier, in accordance with the Code requirements. The guide must be available in alternative formats on request.<br><br>Tick the topics covered by the Home User Guide<br><br>Operational Issues <input checked="" type="checkbox"/><br>Site and Surroundings <input checked="" type="checkbox"/>   | 3 of 3 Credits   | -                        |                 |                  |                   |
| Man 2<br>Considerate<br>Constructors<br>Scheme | Credits are awarded where there is a commitment to comply with best practice site management principles using either the Considerate Constructors Scheme or an alternative locally/nationally recognised scheme.<br><br>Select the appropriate scheme and score<br><br>No scheme used <input type="radio"/><br><u>Considerate Constructors</u><br>OR Best Practice: Score between 24 and 31.5 <input type="radio"/><br>OR Best Practice+: Score between 32 and 40 <input checked="" type="radio"/><br><u>Alternative Scheme*</u><br>OR Mandatory + 50% optional requirements <input type="radio"/><br>OR Mandatory + 80% optional requirements <input type="radio"/><br><br>* In the first instance, contact BRE if you are considering using an alternative scheme.  | 2 of 2 Credits   | -                        |                 |                  |                   |
| Man 3<br>Construction<br>Site Impacts          | Credits are awarded where procedures meeting the Code requirements are in place for the following:<br><br>Tick the impacts that will be addressed<br><br><u>Monitor, report and set targets for:</u><br>- CO <sub>2</sub> / energy use from site activities <input type="checkbox"/><br>- CO <sub>2</sub> / energy use from site related transport <input type="checkbox"/><br>- water consumption from site activities <input checked="" type="checkbox"/><br><u>Adopt best practice policies in respect of:</u><br>- air (dust) pollution from site activities <input checked="" type="checkbox"/><br>- water (ground and surface) pollution <input checked="" type="checkbox"/><br>- 80% of site timber is responsibly sourced <input checked="" type="checkbox"/> | 2 of 2 Credits   | -                        |                 |                  |                   |

| Issue                     | Credits   | Level                 | Assumptions Made | Evidence Required |
|---------------------------|---|-----------------------|------------------|-------------------|
| <p>Man 4<br/>Security</p> | <p>Credits are awarded for complying with Section 2 - Physical Security from Secured by Design - New Homes. An Architectural Liaison Officer (ALO), or alternative, needs to be appointed early in the design process and their recommendations incorporated.</p> <div data-bbox="403 435 834 526"> <p>Secured by Design Compliance</p> <p>Credit not sought <input type="radio"/></p> <p>OR Secured by Design Section 2 Compliance <input checked="" type="radio"/></p> </div> | <p>2 of 2 Credits</p> |                  |                   |

| CATEGORY 9 ECOLOGY                                |   | Overall Level: 3 | Overall Score<br>Credits | 63.18<br>Level |                  |                   |
|---|---|------------------|--------------------------|----------------|------------------|-------------------|
| % of Section Credits Predicted: 78%               |   |                  | 7 of 9 Credits           | All Levels     | Assumptions Made | Evidence Required |
| Contribution to Overall Score: 9.33 points        |   |                  |                          |                |                  |                   |
| Eco 1<br>Ecological<br>Value of Site              | <p>One credit is awarded for developing land of inherently low value.</p> <p>Select the appropriate option:</p> <p>Credit not sought <input type="radio"/></p> <p>OR Land has ecological value <input type="radio"/></p> <p>OR Land has low/ insignificant ecological value* <input checked="" type="radio"/></p> <p>* Low ecological value is determined either: a) by using Checklist Eco 1 across the whole development site; or b) where an ecologist is appointed and can confirm that the construction area is of low/ insignificant value and the rest of the development site will remain undisturbed by the works.</p> | 1 of 1 Credits   |                          |                |                  |                   |
| Eco 2<br>Ecological<br>Enhancement                | <p>One credit is awarded where there is a commitment to enhance the ecological value of the development site.</p> <p>Tick the appropriate boxes:</p> <p>Will a Suitably Qualified Ecologist be appointed to recommend appropriate ecological features? <input checked="" type="checkbox"/></p> <p>AND Will all key recommendations be adopted? <input checked="" type="checkbox"/></p> <p>AND 30% of other recommendations be adopted? <input checked="" type="checkbox"/></p>  | 1 of 1 Credits   |                          |                |                  |                   |
| Eco 3<br>Protection of<br>Ecological<br>Features  | <p>One credit is awarded where there is a commitment to maintain and adequately protect features of ecological value.</p> <p>Tick the appropriate boxes:</p> <p>Is the site of low ecological value (Eco 1)? <input type="checkbox"/></p> <p>OR If the site has ecological features, will they be maintained and adequately protected during site clearance, preparation and construction works? <input checked="" type="checkbox"/></p>  | 1 of 1 Credits   |                          |                |                  |                   |
| Eco 4<br>Change of<br>Ecological<br>Value of Site | <p>Credits are awarded where the change in ecological value has been calculated in accordance with the Code requirements and is calculated to be:</p> <p>Change in Ecological Value:</p> <p>Major negative change: fewer than -9 <input type="radio"/></p> <p>Minor negative change: between -9 and -3 <input type="radio"/></p> <p>OR Neutral: between -3 and +3 <input type="radio"/></p> <p>Minor enhancement: between +3 and +9 <input checked="" type="radio"/></p> <p>Major enhancement: greater than 9 <input type="radio"/></p>   | 3 of 4 Credits   |                          |                |                  |                   |



| Issue                          | Credits   | Level          | Assumptions Made | Evidence Required |
|--------------------------------|---|----------------|------------------|-------------------|
| Eco 5<br>Building<br>Footprint | <p>Credits are awarded where the ratio of combined floor area of all dwellings on the site to their footprint is:</p> <div data-bbox="394 370 834 522" style="border: 1px solid black; padding: 5px;"> <p>Ratio of Net Internal Floor Area: Net Internal Ground Floor Area</p> <p>Credit Not Sought <input type="radio"/></p> <p>OR Houses: 2.5:1 OR Flats: 3:1 <input checked="" type="radio"/></p> <p>OR Houses: 3:1 OR Flats: 4:1 <input type="radio"/></p> <p>OR Houses &amp; Flats Weighted (2.5:1 &amp; 3:1) <input type="radio"/></p> <p>OR Houses &amp; Flats Weighted (3:1 &amp; 4:1) <input type="radio"/></p> </div> | 1 of 2 Credits |                  |                   |