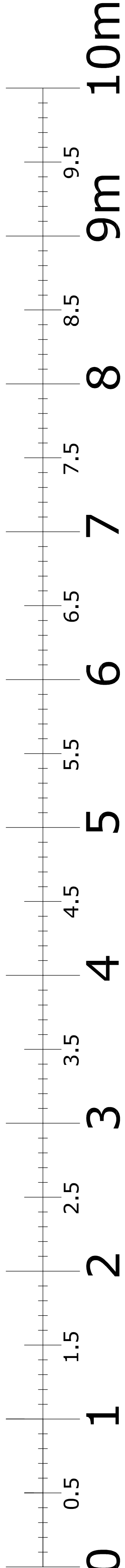


EXISTING SECTION




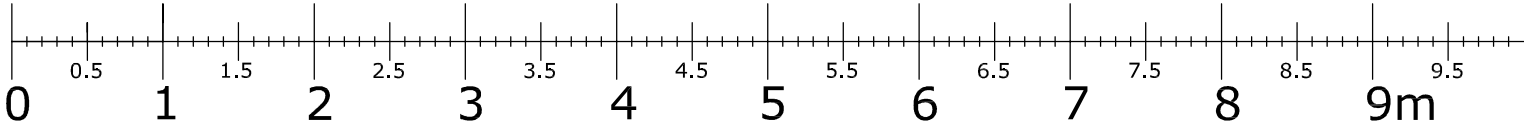
IMPORTANT NOTE
The contractor is to be aware of any existing conditions, and any other associated structural details as may be provided, and work is to be carried out in the usual industry practice and in accordance with the relevant standards and specifications.
All materials, workmanship, and construction are to be carried out in accordance with the relevant standards and specifications.
The Contractor is responsible for ensuring compliance with the relevant regulations, and appropriate health & safety on site procedures.
The Client/Building Owner must obtain any necessary PARTY WALL AGREEMENTS, prior to engaging in the works on site.

Please note that construction must only commence once planning, building control and any other approvals have been received. It is the responsibility of the owner/contractor to commence prior to these approvals.



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REVISION	CLIENT	VENTURA INVESTMENTS	 13 Oakdale Avenue Kenton, Harrow HA3 0UJ Tel: 0208 206 0011 Info@construct360.co.uk
SCALE	TITLE	Existing Section	
DATE	SITE ADDRESS	8 Sandwich Street London WC1H 9PL	CONTRACT NO. SS8_02
PAGE	SIZE	A1	



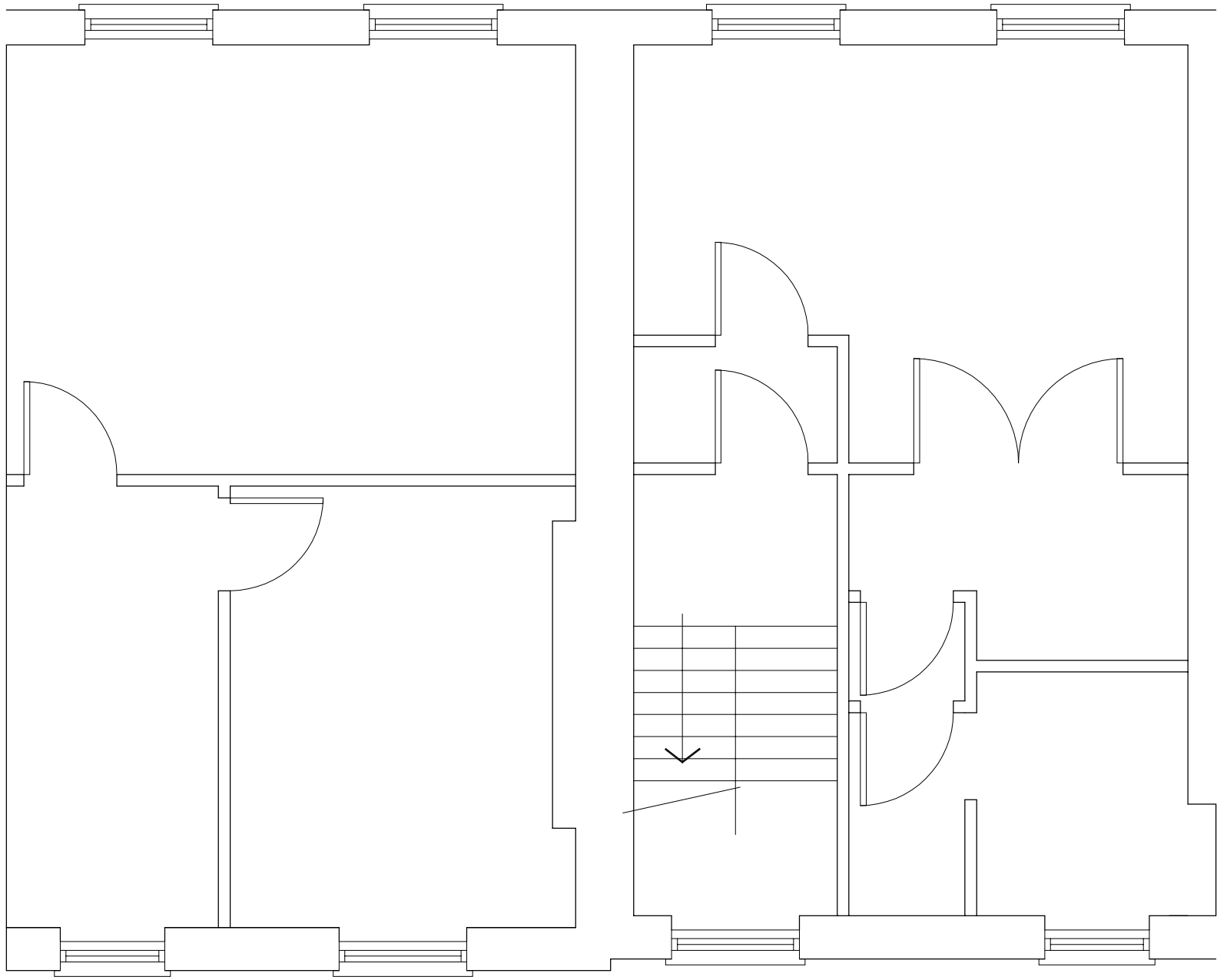
IMPORTANT NOTE
The specification is to be read in conjunction with the plans/section details, and other associated Structural details as may be provided. All work is to be carried out to the Local Authority Planning and Building Regulations Approval, and the Codes of Practice and British Standards as necessary.
All dimensions, levels, sizes, positions and locations of particulars as indicated on drawings are to be verified by the appointed Contractor on site prior to engaging in works. Any discrepancies must be reported to the Architect/Surveyor/Engineer or responsible person's immediately.
The Contractor is responsible for ensuring compliance with the CDM Regulations, and appropriate Health & Safety on site precautions. The Client/Building Owner must obtain any necessary PARTY WALL AGREEMENTS, prior to engaging in the works on site.

Please note that construction must only commence once planning, building control and any other approvals have been received. It is the responsibility of the owner/contractor to commence prior to these approvals.

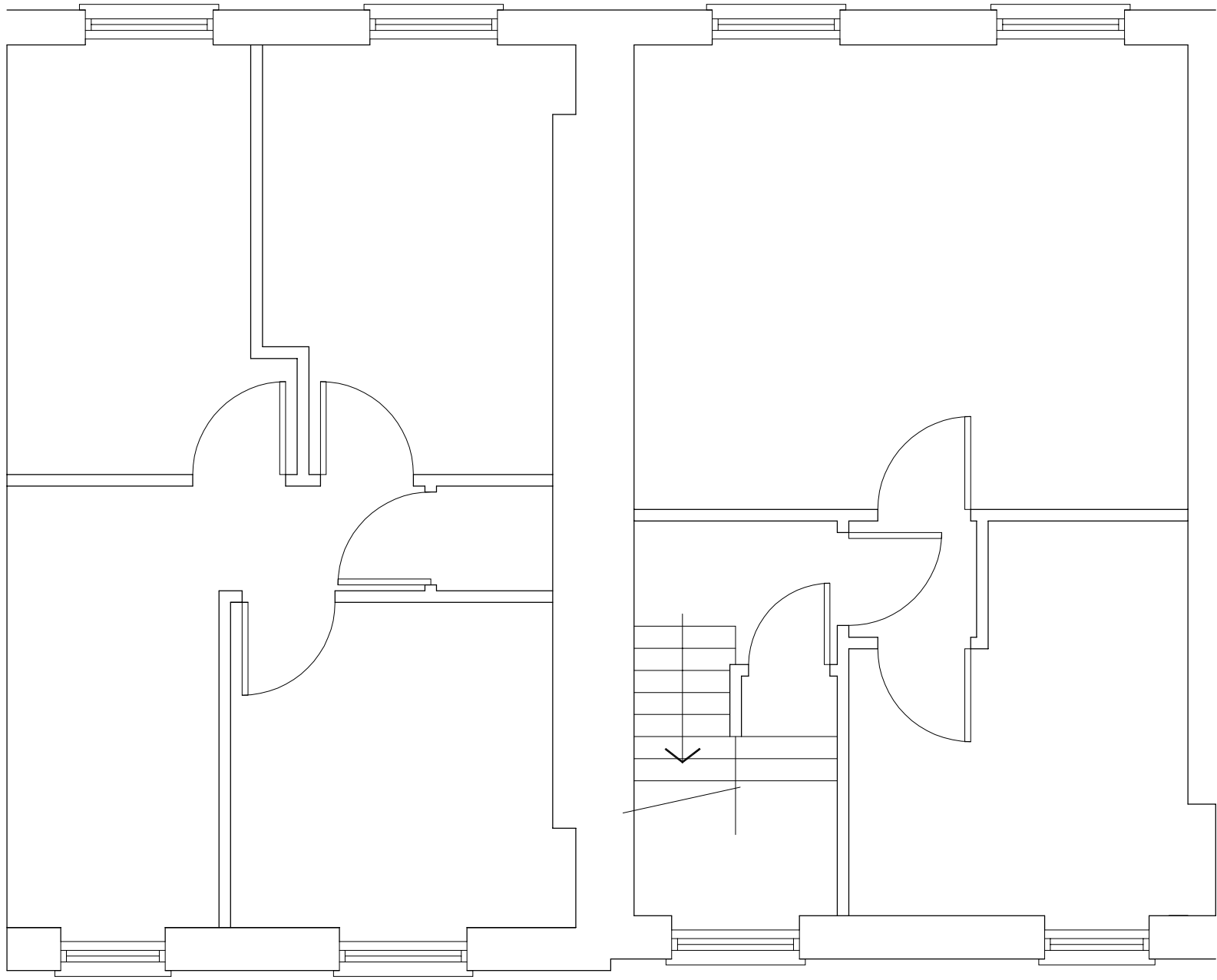


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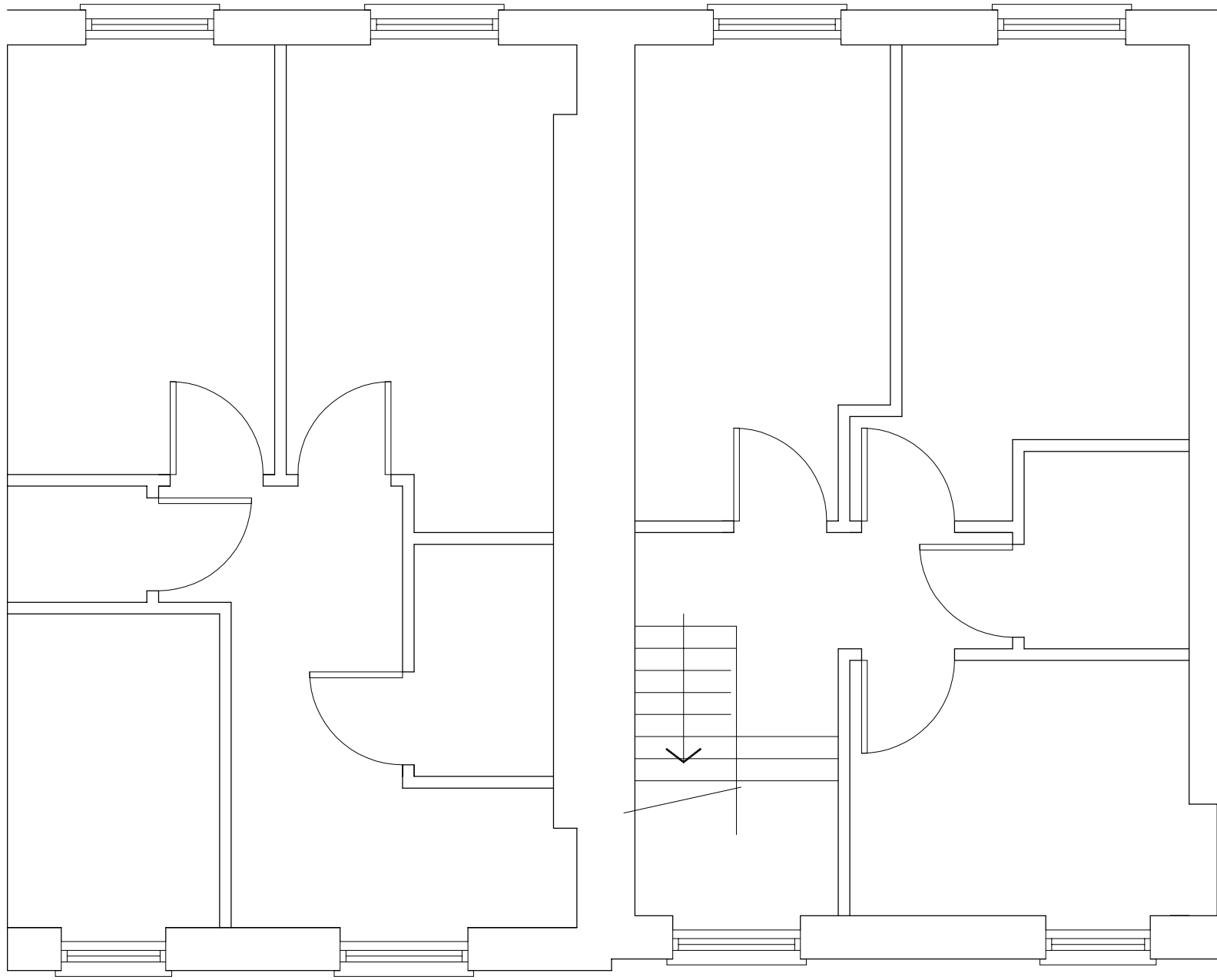
REVISION	CLIENT	 13 Oakdale Avenue Kenton, Harrow HA3 0UJ Tel: 0208 206 0011 Info@construct360.co.uk
SCALE	TITLE	
1:50	Existing Elevation of Rear	8 Sandwich Street london WC1H 9PL
DATE	SITE ADDRESS	
Feb 2010		
PAGE SIZE		
A2		
		DRAWING NO. SS8_03



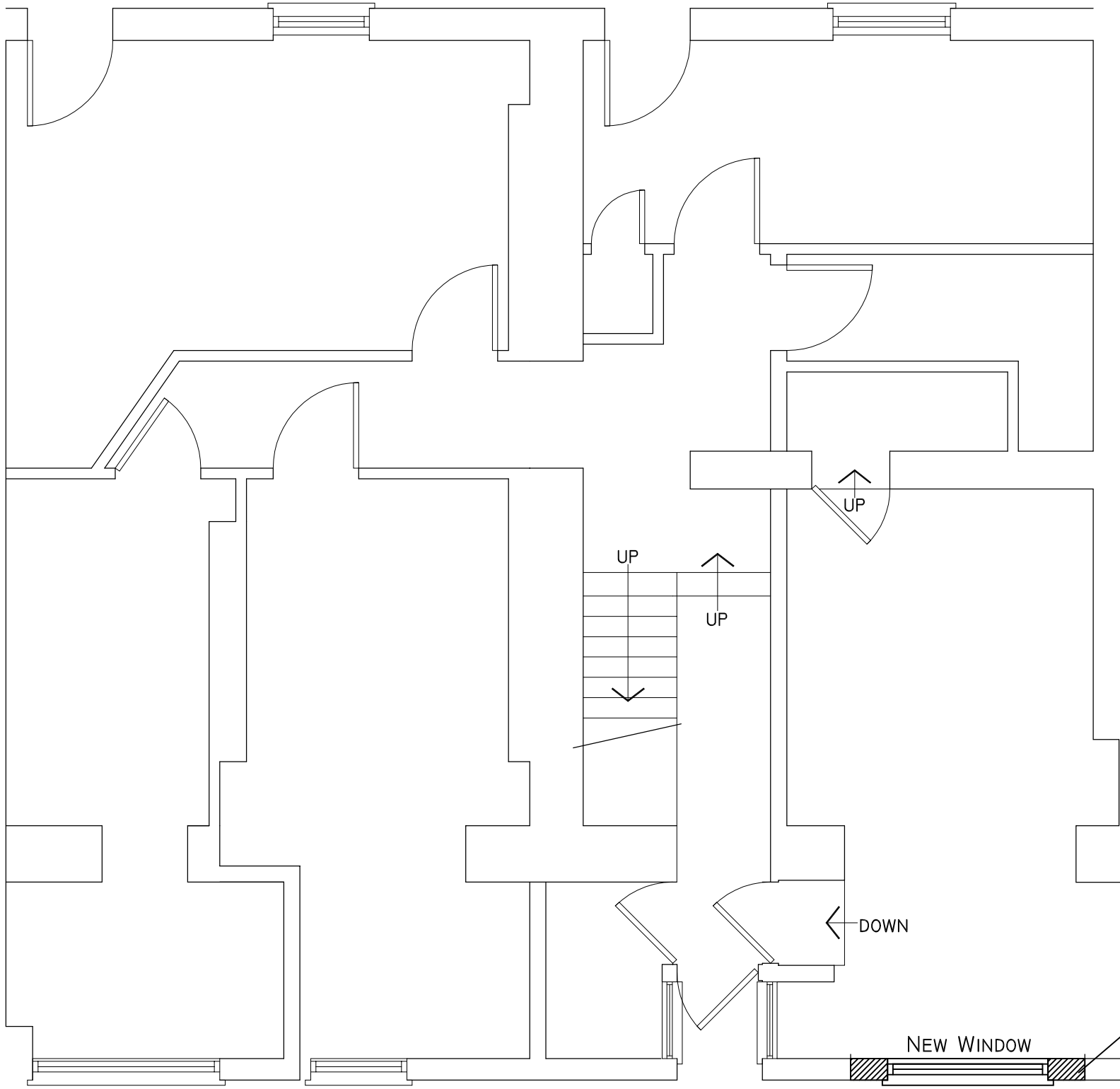
EXISTING FIRST FLOOR PLAN



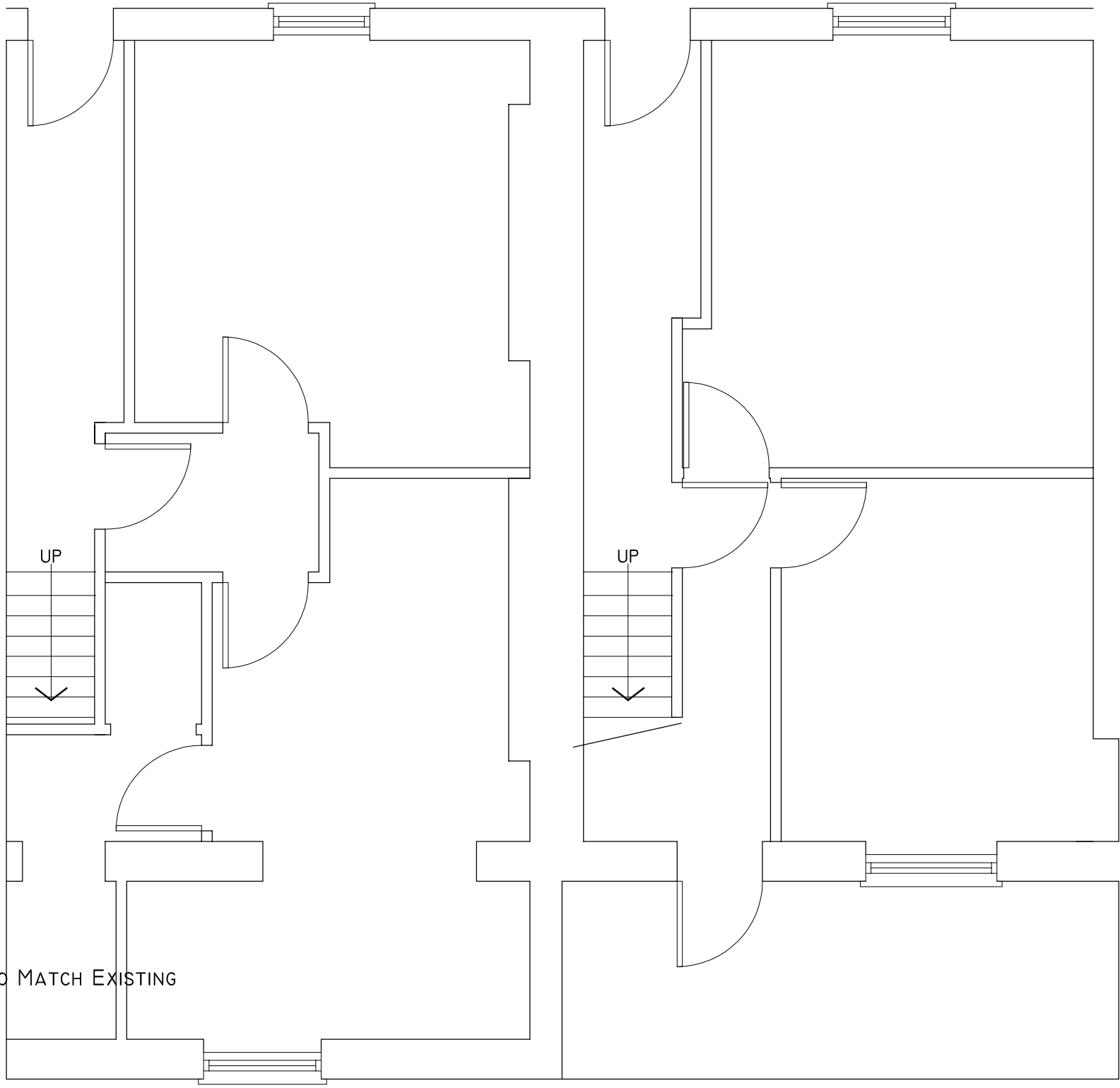
EXISTING SECOND FLOOR PLAN



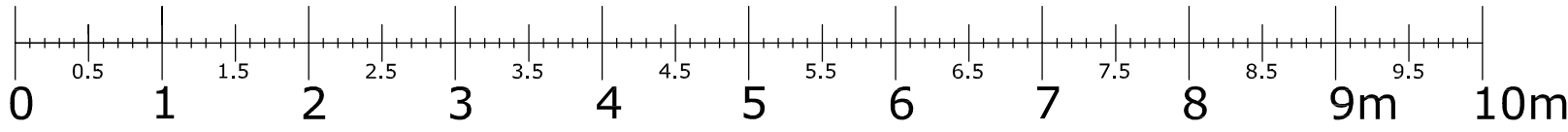
EXISTING THIRD FLOOR PLAN



PROPOSED BASEMENT PLAN



EXISTING GROUND FLOOR PLAN

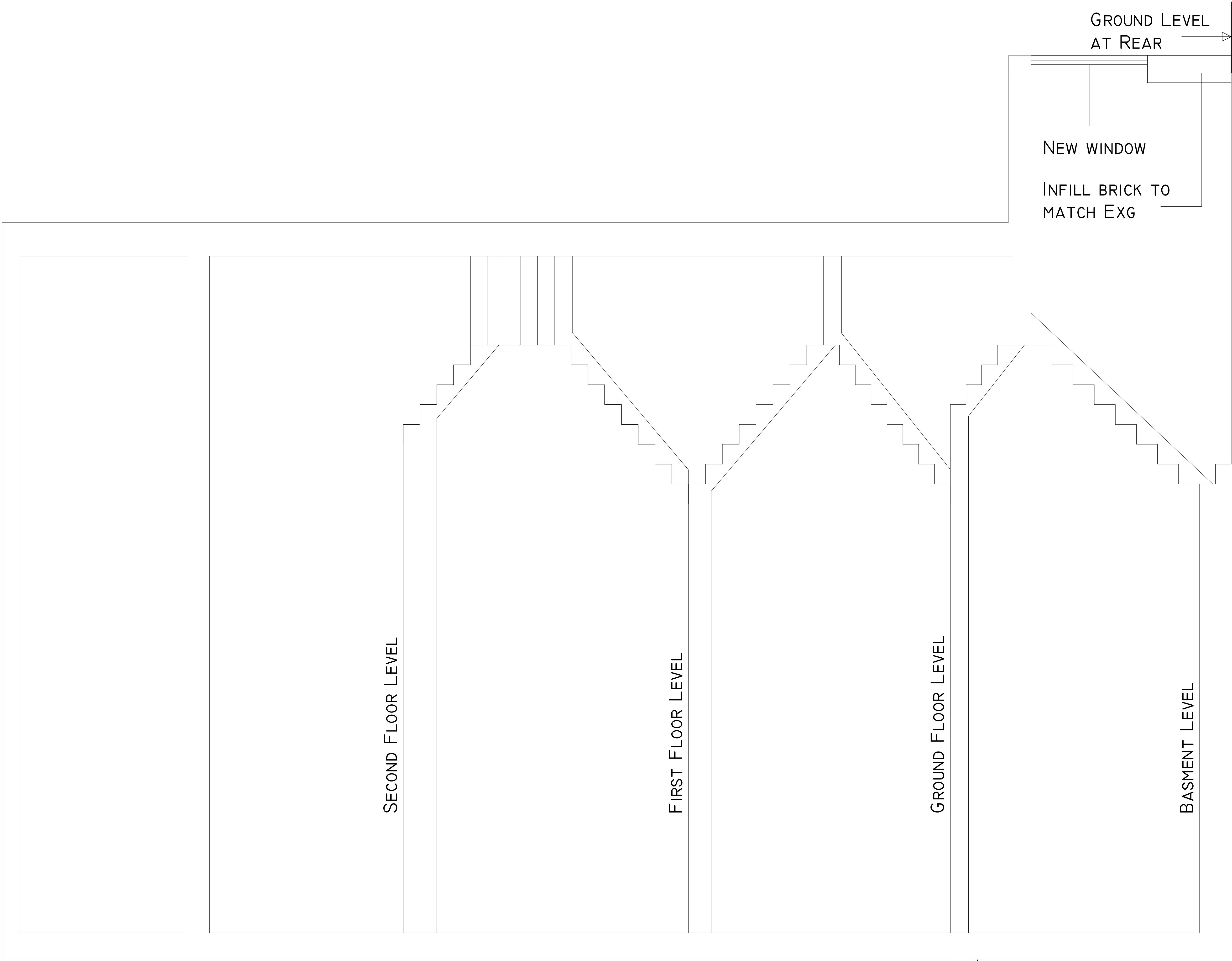


IMPORTANT NOTE:
The architect is to be held responsible for the design of the building, and any associated structural details as may be provided, and work is to be carried out in accordance with the Building Regulations, and the Code of Practice and Design Standards for the building, and any other relevant standards. All dimensions, levels, areas, volumes and quantities of materials are indicated on drawings are to be verified by the appointed Contractor on site and to be engaged in writing, the architect shall be responsible for the Architect's Services/Engineer's or responsible person's responsibility.
The Contractor is responsible for ensuring compliance with the Code of Practice, and appropriate health & safety on site procedures, The Client/Building Owner must obtain any necessary Party Wall Agreement, prior to engaging in the works on site.

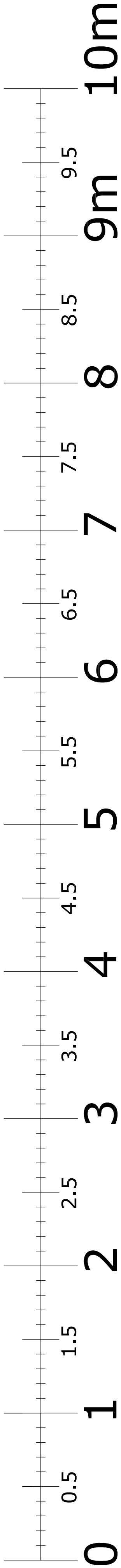
Please note that construction must only commence once planning, building control and any other approvals have been received. It is the responsibility of the owner/contractor to commence prior to these approvals.



REVISION	CLIENT	CONSTRUCT360
SCALE	TITLE	13 Oakdale Avenue Kenton, Harrow HA3 0UJ
DATE	SITE ADDRESS	Tel: 0208 206 0011 Info@construct360.co.uk
PAGE SIZE	8 Sandwich Street london WC1H 9PL	DRAWING NO. SS8_04
A1		



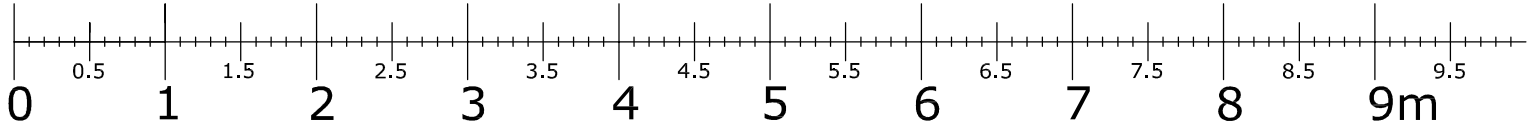
PROPOSED SECTION



IMPORTANT NOTE:
The contractor is to be aware of any variation with the construction details, and other associated structural details as may be provided, and work is to be carried out in the local authority Planning and Building Regulations Approval, and the Code of Practice and Design Standards for the construction of the building.
All materials, work, and construction are to be carried out in accordance with the Building Regulations and the Code of Practice and Design Standards for the construction of the building.
The Contractor is responsible for ensuring compliance with the Code of Practice and Design Standards for the construction of the building.
The Contractor is responsible for ensuring compliance with the Code of Practice and Design Standards for the construction of the building.
The Contractor is responsible for ensuring compliance with the Code of Practice and Design Standards for the construction of the building.



REVISION	CUSTOMER	CONSTRUCT360
SCALE 1:20	Ventra Investments	13 Oakdale Avenue Kenton, Harrow HA3 0UJ
DATE Feb 2010	TITLE Proposed Section	Tel: 0208 206 0011 Info@construct360.co.uk
PAGE SIZE A1	SITE ADDRESS 8 Sandwich Street london WC1H 9PL	DRAWING NO. SS8_05



IMPORTANT NOTE
The specification is to be read in conjunction with the plans/section details, and other associated Structural details as may be provided. All work is to be carried out to the Local Authority Planning and Building Regulations Approval, and the Codes of Practice and British Standards as necessary.
All dimensions, levels, sizes, positions and locations of particulars as indicated on drawings are to be verified by the appointed Contractor on site prior to engaging in works. Any discrepancies must be reported to the Architect/Surveyor/Engineer or responsible person's immediately.
The Contractor is responsible for ensuring compliance with the CDM Regulations, and appropriate Health & Safety on site precautions. The Client/Building Owner must obtain any necessary PARTY WALL AGREEMENTS, prior to engaging in the works on site.

Please note that construction must only commence once planning, building control and any other approvals have been received. It is the responsibility of the owner/contractor to commence prior to these approvals.



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SCALE	TITLE	
1:50	Proposed Elevation of Rear	
DATE	SITE ADDRESS	8 Sandwich Street london WC1H 9PL
Feb 2010		
PAGE SIZE		DRAWING NO.
A2		SS8_06