

Existing Lower Ground Floor

Net Internal Area = 121 m2

Existing Net Internal Areas - m2:

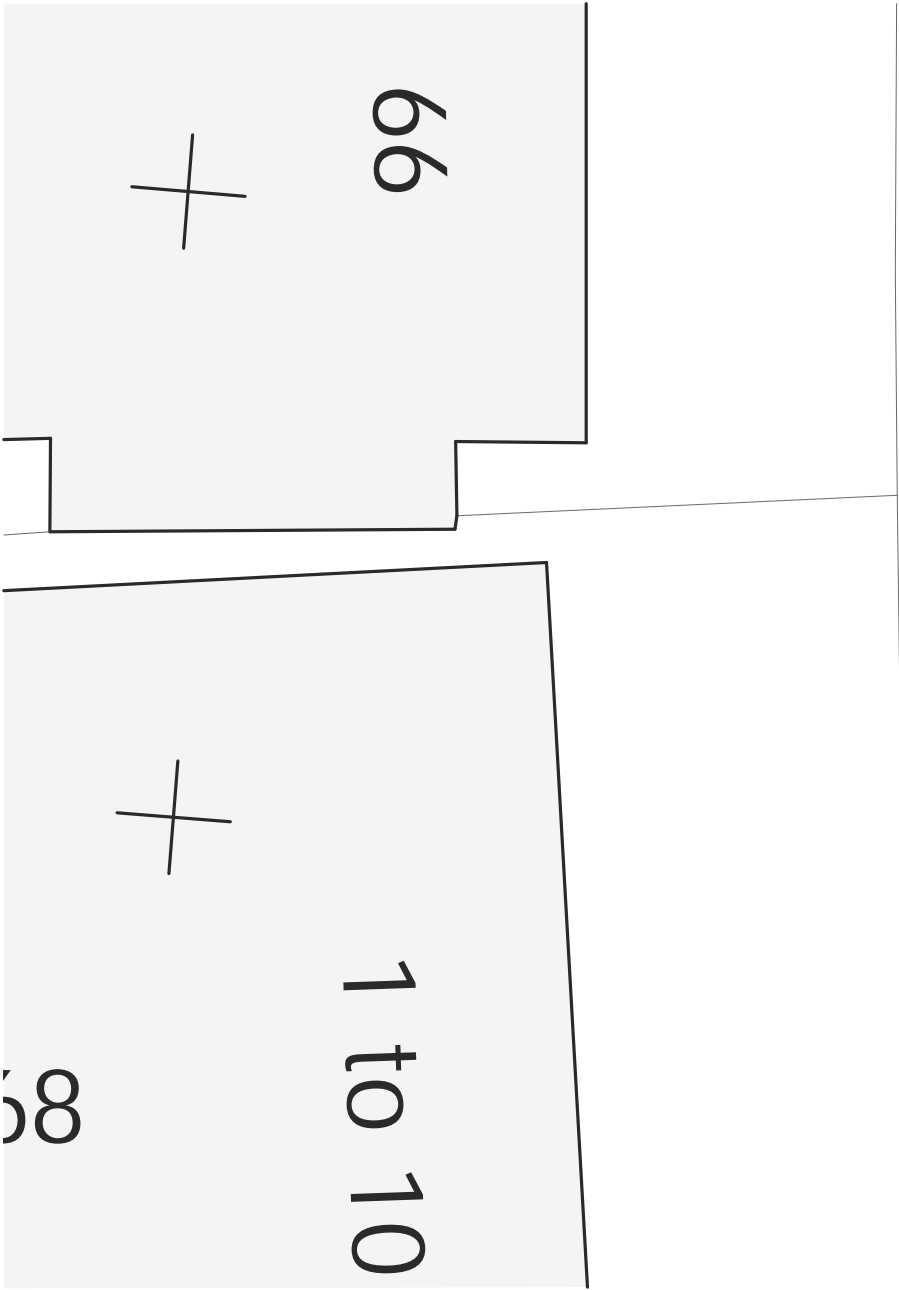
Lower Ground	-	121 m2
Ground	-	99 m2
First	-	89 m2
Second	-	89 m2

Total Internal Area - 398m2

Proposed Net Internal Areas - m2:

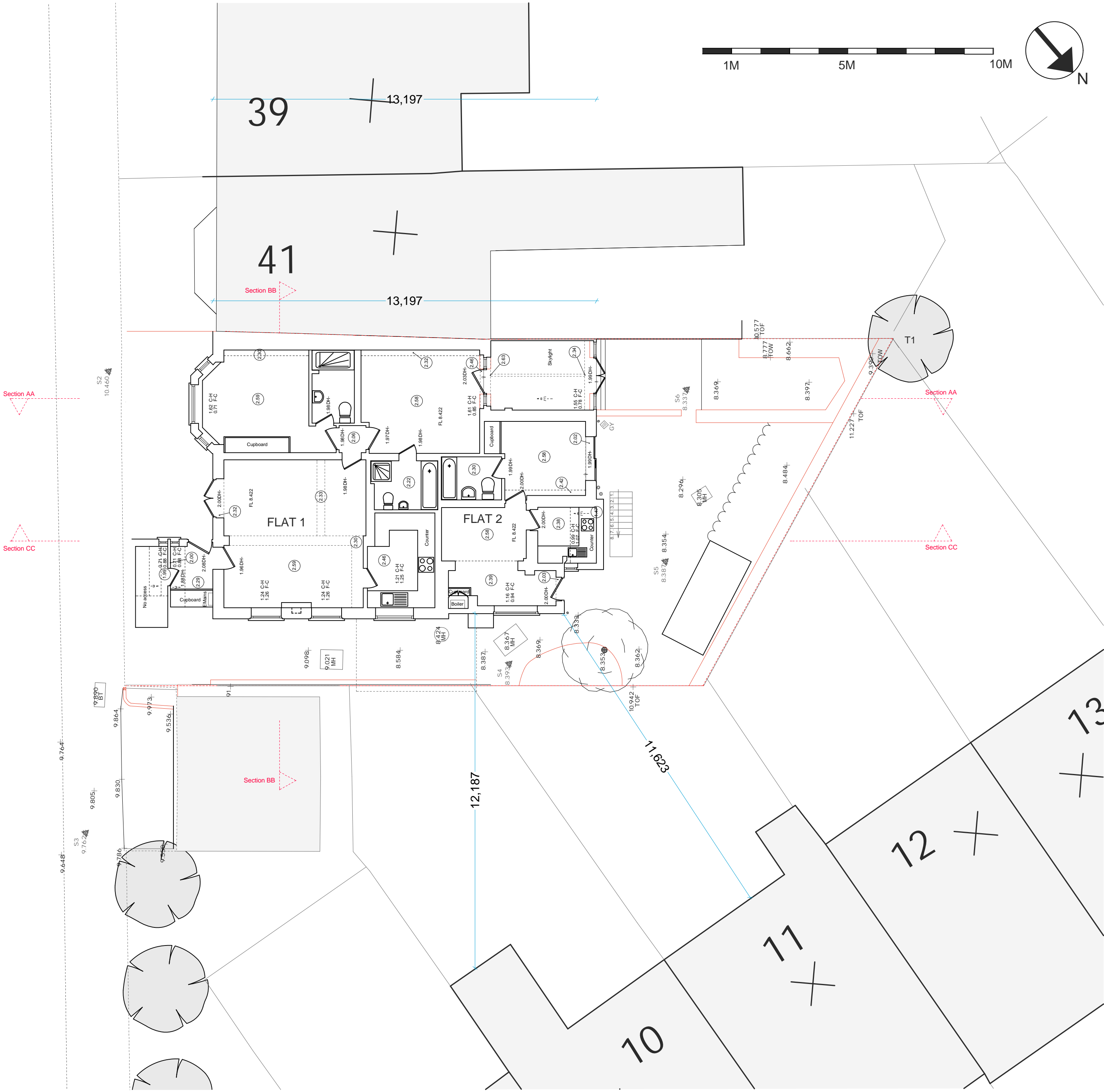
Sub Basement	-	99 m2
Lower Ground	-	178 m2
Ground	-	117 m2
First	-	120 m2
Second	-	111 m2
Penthouse	-	51 m2

Total Internal Area - 676 m2



12,149

9,894



NOTES:

Report all errors and discrepancies promptly to architects before proceeding with the works.

Do not scale drawing. Figured dimensions to be worked to in all cases.

The contractor is responsible for checking dimensions, tolerances and references.

All structural information to be taken from engineers drawings.

All relevant party wall agreements are to be entered into and agreed between owners prior to commencement of works.

All build over agreements with utility companies to be agreed and approved prior to works on site.

Revisions

Existing Lower Ground @ A2			
PROJECT:	45 PILGRIMS LANE	CLIENT:	DAVID HUDALY
DRAWING NO.:	2006-154/2-102	REV:	
DRAWN:	P.Fry	CHECKED:	R. Shaw
DATE:	NOV 09	STATUS:	D



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info@crawfordpartnership.co.uk  
www.crawfordpartnership.co.uk  
Company number 3499361

Net Internal Area = 99 m<sup>2</sup>

Lower Ground	-	121 m2
Ground	-	99 m2
First	-	89 m2
Second	-	89 m2

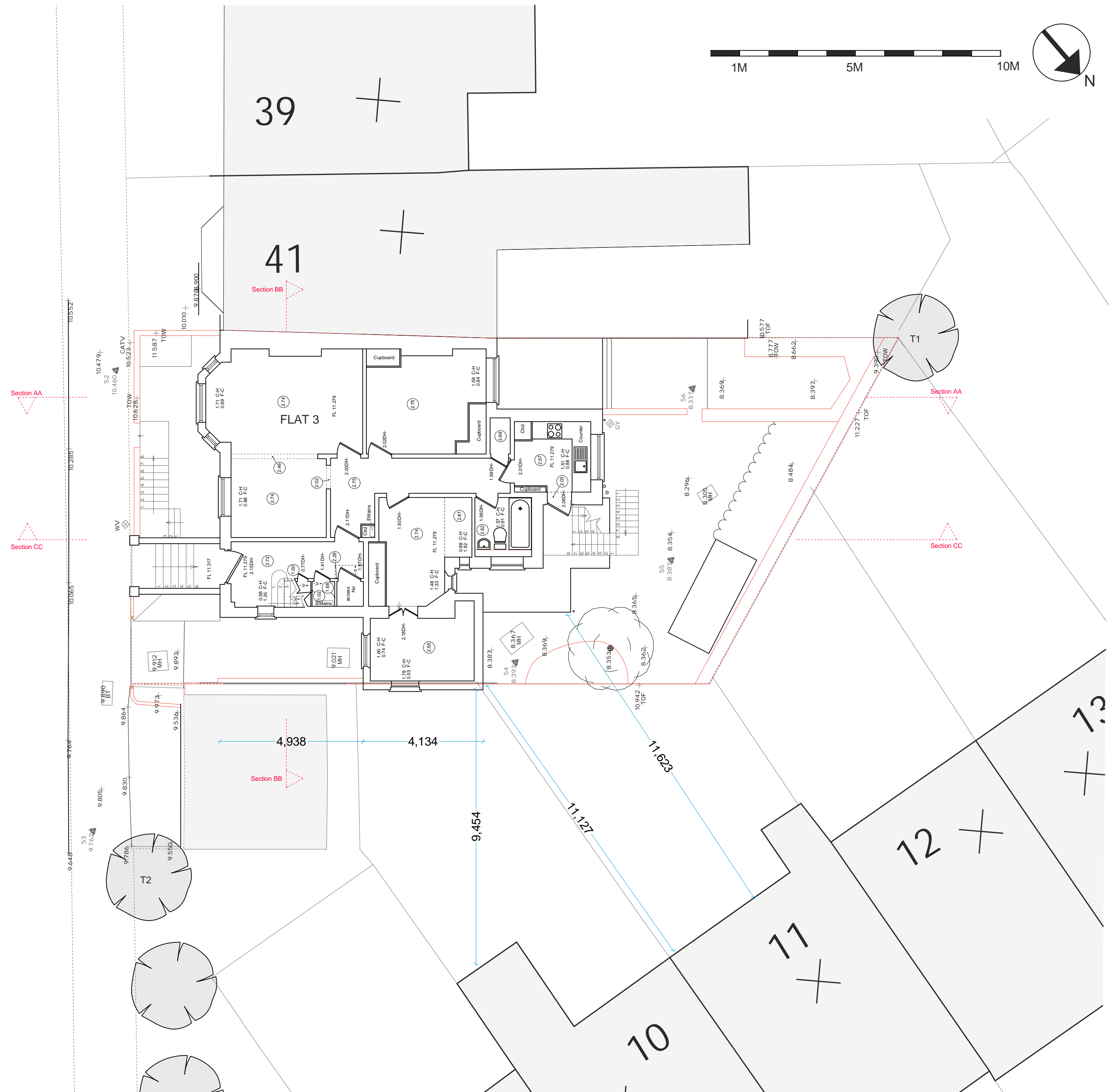
Sub Basement	-	99 m2
Lower Ground	-	178 m2
Ground	-	117 m2
First	-	120 m2
Second	-	111 m2
Penthouse	-	51 m2

66

+

1 to 10

+



## Revisions

<b>Existing Ground @ A2</b>			SCALE: 1:200 @A3   1:100 @ A2
PROJECT:	45 PILGRIMS LANE	CLIENT:	DAVID HUDALY
DRAWING NO.:	2006-154/-2-103	STATUS:	D
DRAWN:	P.Fry	CHECKED:	R. Shaw
		DATE:	NOV 09



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[www.crawfordpartnership.co.uk](http://www.crawfordpartnership.co.uk)  
Company number 3499361

Existing First Floor

Net Internal Area = 89 m2

**Existing Net Internal Areas - m2:**

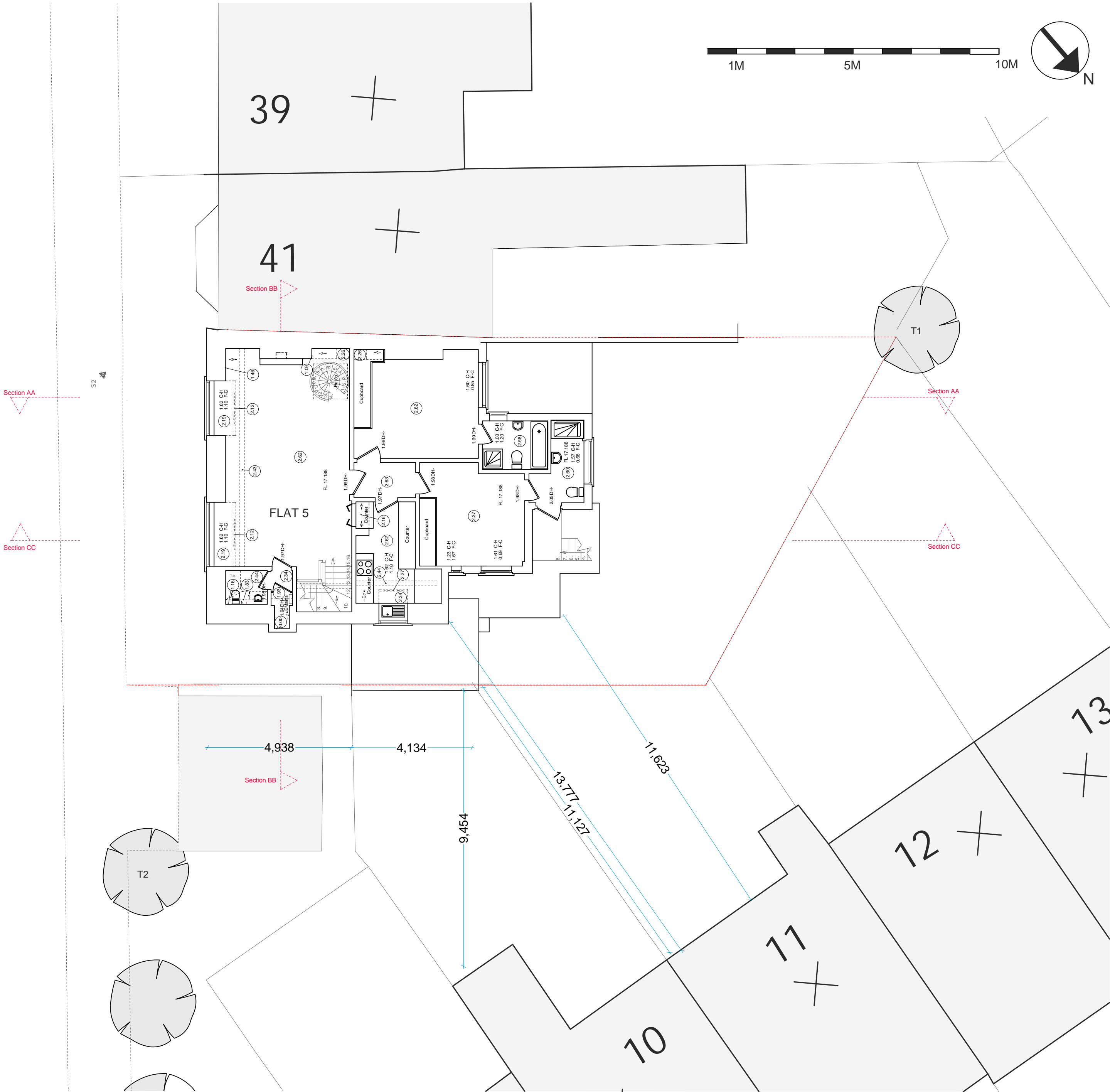
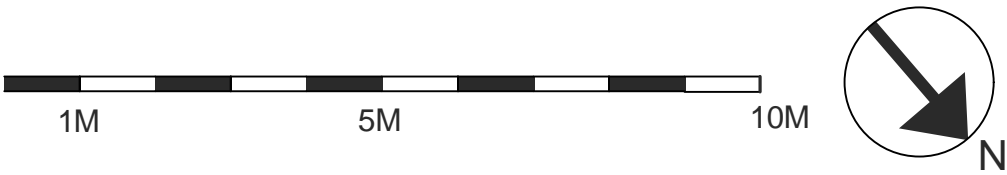
Lower Ground	-	121 m2
Ground	-	99 m2
First	-	89 m2
Second	-	89 m2

Total Internal Area - 398m2

**Proposed Net Internal Areas - m2:**

Sub Basement	-	99 m2
Lower Ground	-	178 m2
Ground	-	117 m2
First	-	120 m2
Second	-	111 m2
Penthouse	-	51 m2

Total Internal Area - 676 m2



NOTES:  
Report all errors and discrepancies promptly to architects before proceeding with the works.  
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The contractor is responsible for checking dimensions, tolerances and references.  
All structural information to be taken from engineers drawings.  
All relevant party wall agreements are to be entered into and agreed between owners prior to commencement of works.  
All build over agreements with utility companies to be agreed and approved prior to works on site.

Revisions

**Existing First Plan @ A2**

SCALE:  
1:200 @A3 1:100 @ A2

PROJECT:	45 PILGRIMS LANE	CLIENT:	DAVID HUDALY
DRAWING NO.:	2006-154/2-104	REV:	
DRAWN:	P.Fry	CHECKED:	R. Shaw
		DATE:	NOV 09

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Company number 3499361

Existing Second Floor

Net Internal Area = 89 m2

Existing Net Internal Areas - m2:

Lower Ground	-	121 m2
Ground	-	99 m2
First	-	89 m2
Second	-	89 m2

Total Internal Area - 398m2

Proposed Net Internal Areas - m2:

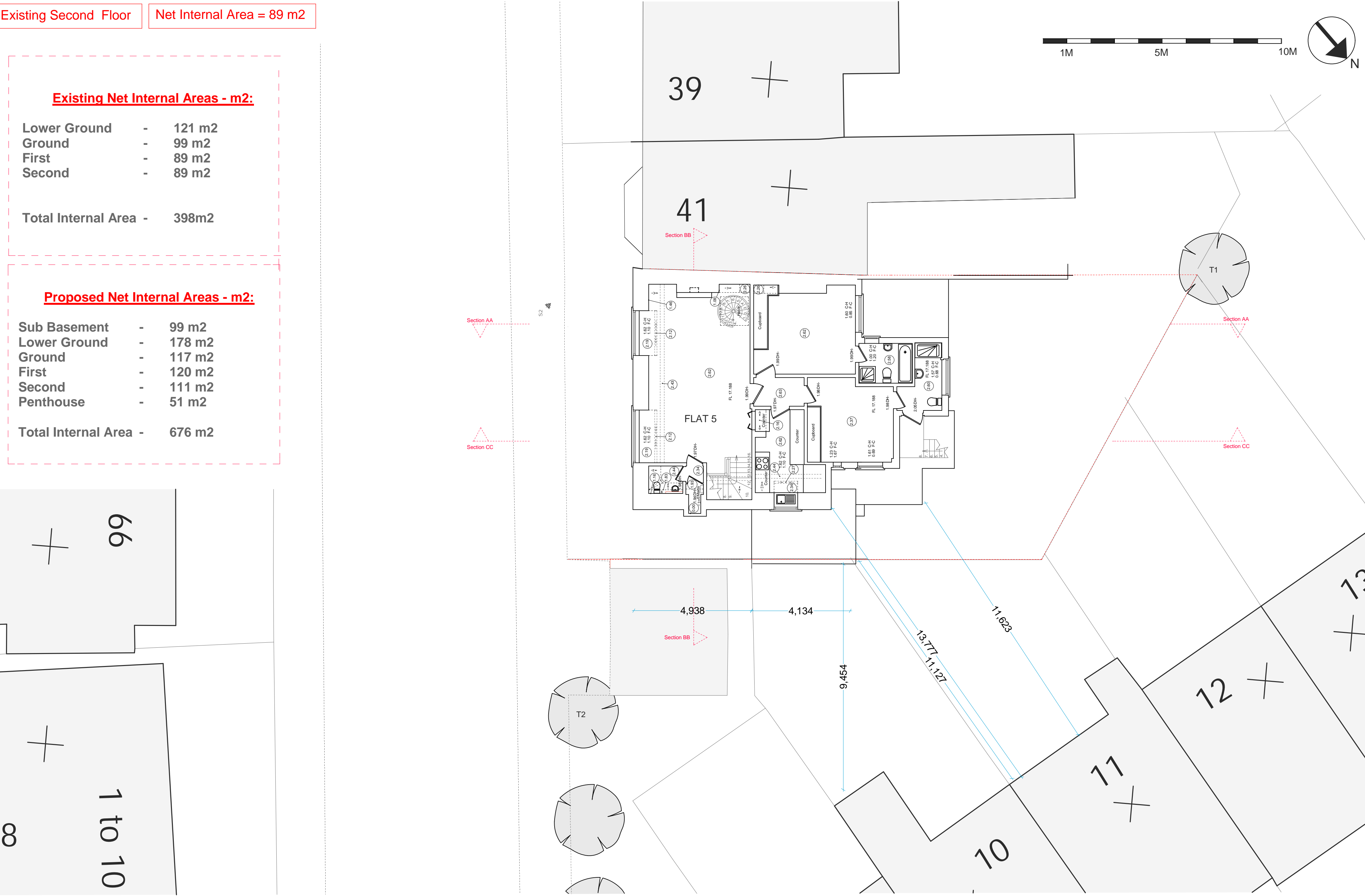
Sub Basement	-	99 m2
Lower Ground	-	178 m2
Ground	-	117 m2
First	-	120 m2
Second	-	111 m2
Penthouse	-	51 m2

Total Internal Area - 676 m2

NOTES:  
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Revisions

The Crawford Partnership Ltd, 17 Radisson Road, London NE1, Company number 3499361



Existing Second Plan @ A2

SCALE:  
1:200 @ A3 1:100 @ A2

PROJECT:	45 PILGRIMS LANE	CLIENT:	DAVID HUDALY
DRAWING NO.:	2006-154/2-105	REV:	D
DRAWN:	P.Fry	CHECKED:	R. Shaw
		DATE:	NOV 09

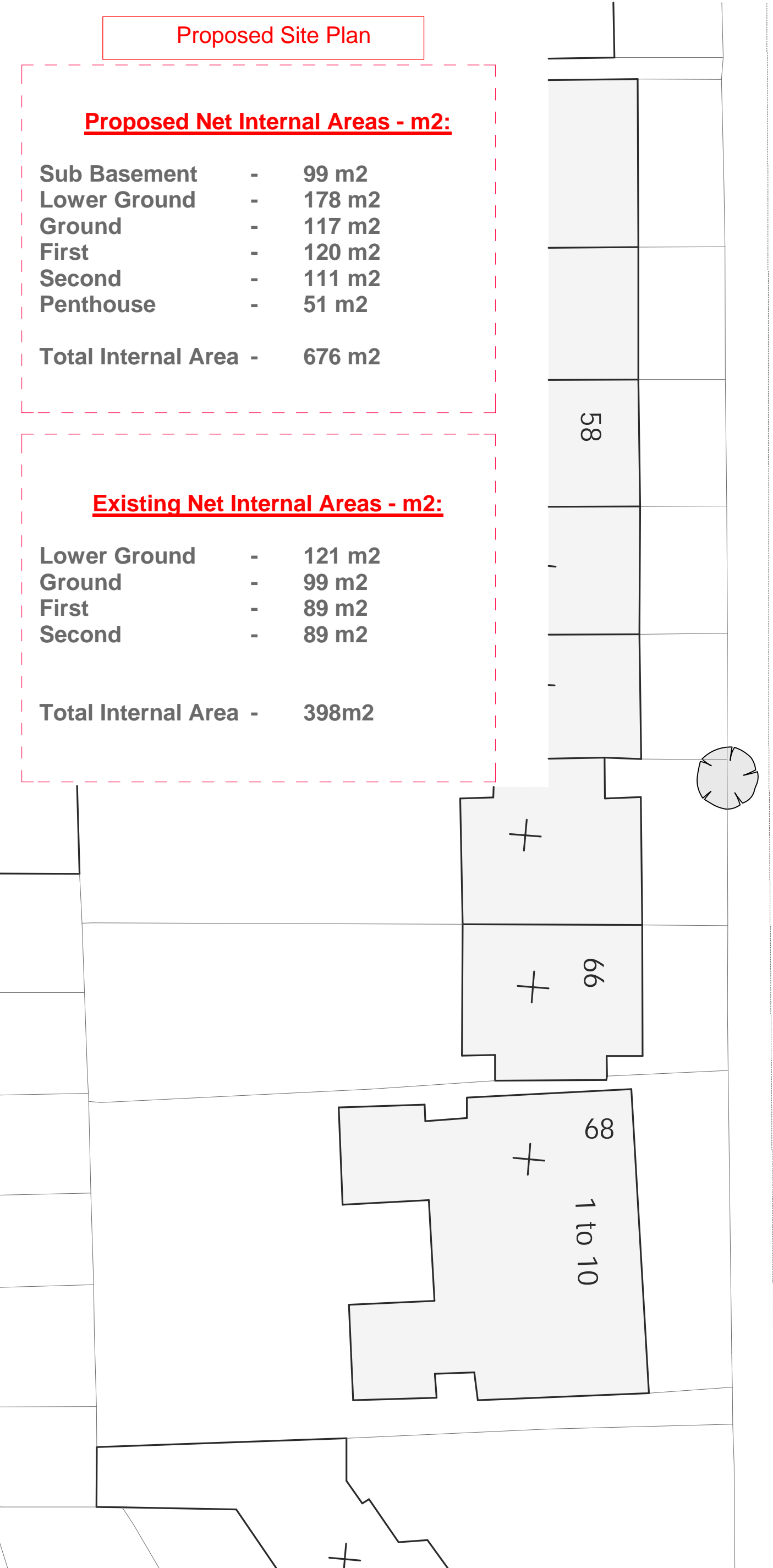
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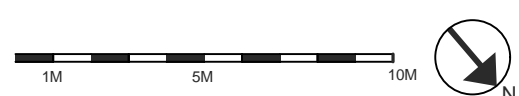
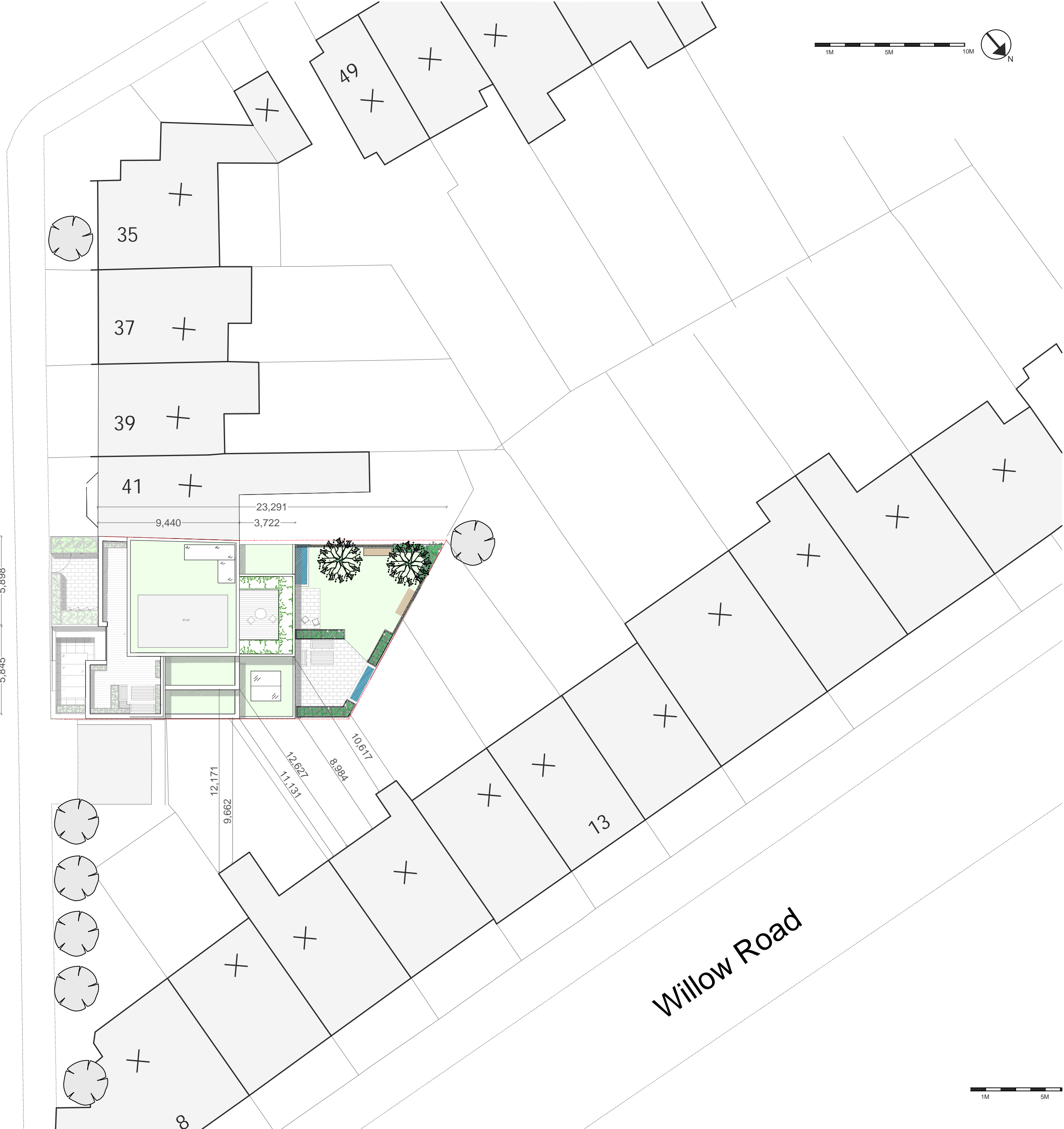
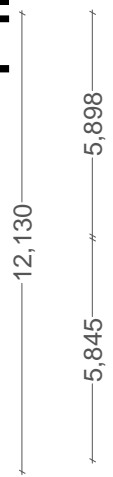
1a Muswell Hill, London, N10 3TH  
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info@crawfordpartnership.co.uk  
www.crawfordpartnership.co.uk  
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Pilgrims Lane



Proposed Sub Basement GA

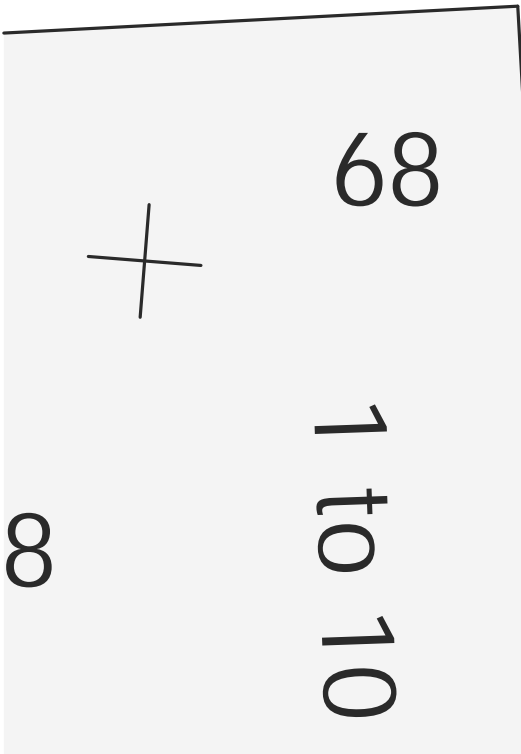
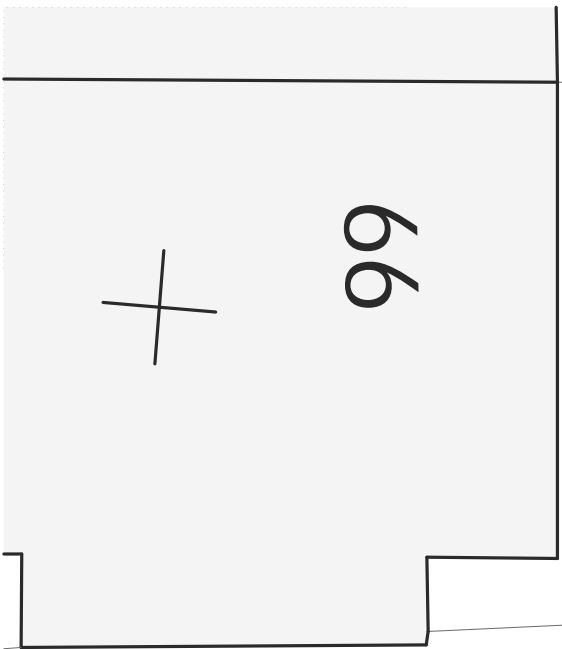
Net Internal Area = 99m2

**Proposed Net Internal Areas - m2:**

Sub Basement	-	99 m2
Lower Ground	-	178 m2
Ground	-	117 m2
First	-	120 m2
Second	-	111 m2
Penthouse	-	51 m2
Total Internal Area	-	676 m2

**Existing Net Internal Areas - m2:**

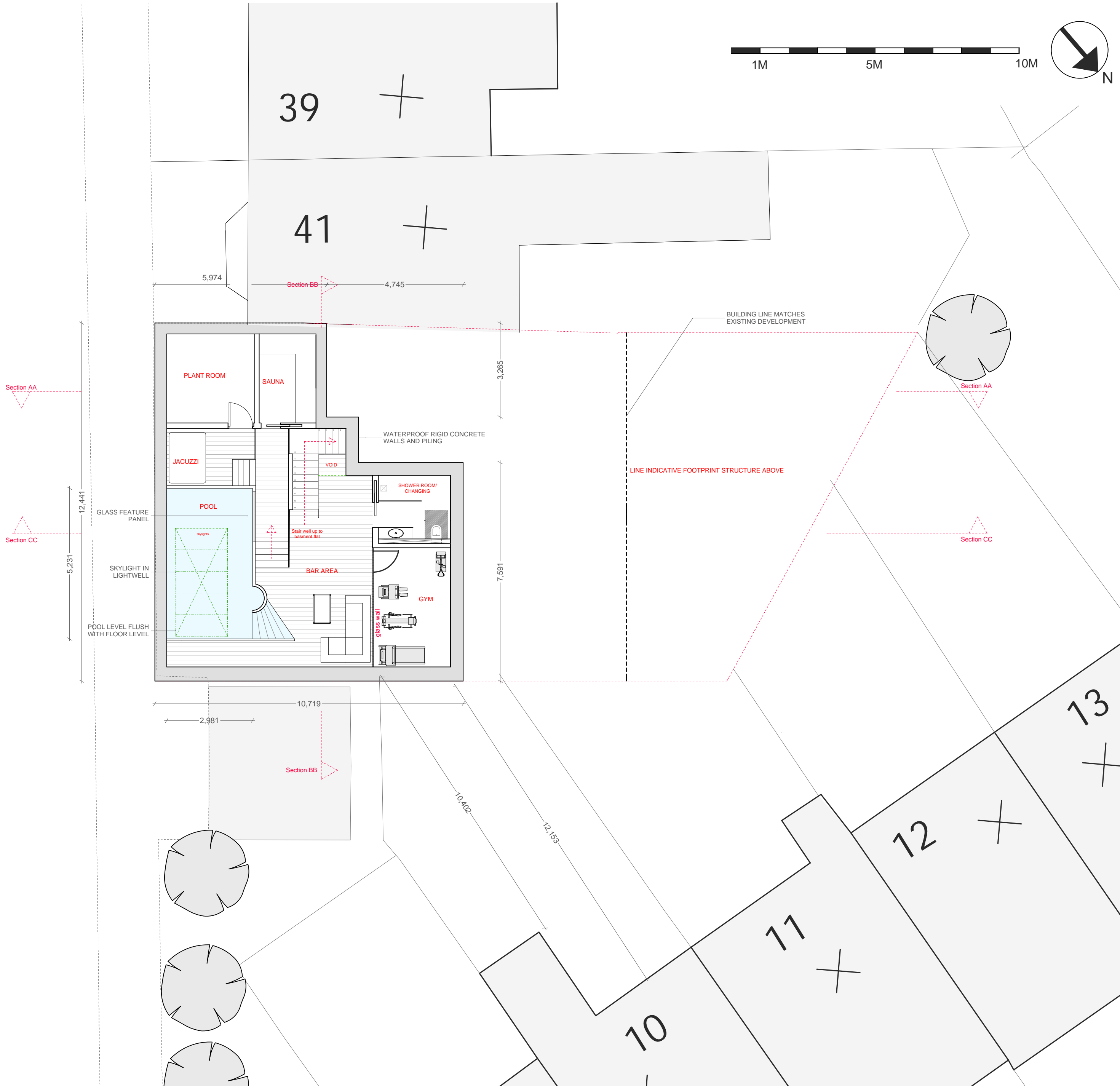
Lower Ground	-	121 m2
Ground	-	99 m2
First	-	89 m2
Second	-	89 m2
Total Internal Area	-	398m2



NOTES:  
Report all errors and discrepancies promptly to architects before proceeding with the works.  
Do not scale drawing. Figured dimensions to be worked to in all cases.  
The contractor is responsible for checking dimensions, tolerances and references.  
All structural information to be taken from engineers drawings.  
All relevant party wall agreements are to be entered into and agreed between owners prior to commencement of works.  
All build over agreements with utility companies to be agreed and approved prior to works on site.

Revisions

The Crawford Partnership Ltd, 17 Radisson Road, London NE1, Company number 3499361



**Proposed Sub Basement GA @ A2**

SCALE: 1:200 @A3 1:100 @ A2

PROJECT:	45 PILGRIMS LANE	CLIENT:	DAVID HUDALY
DRAWING NO.:	2006-154/2-107	REV:	
DRAWN:	P.Fry	CHECKED:	R. Shaw
DATE:	NOV 09	STATUS:	D

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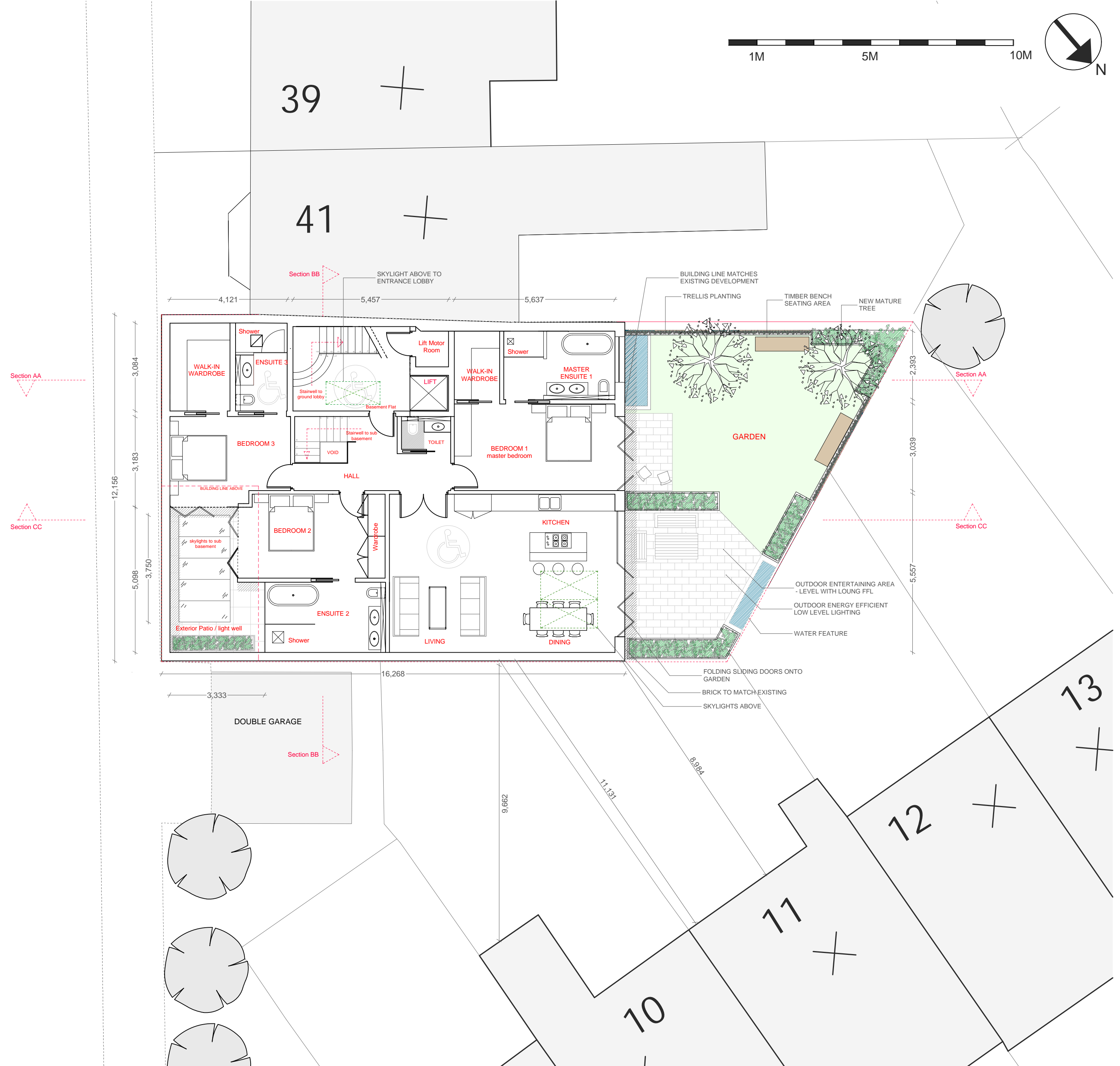
1a Muswell Hill, London, N10 3TH  
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www.crawfordpartnership.co.uk  
Company number 3499361

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Net Internal Area = 178m<sup>2</sup>

Sub Basement	-	99 m2
Lower Ground	-	178 m2
Ground	-	117 m2
First	-	120 m2
Second	-	111 m2
Penthouse	-	51 m2
<b>Total Internal Area</b>	<b>-</b>	<b>676 m2</b>

Lower Ground	-	121 m2
Ground	-	99 m2
First	-	89 m2
Second	-	89 m2
Total Internal Area		- 398m2



**NOTES:**  
Report all errors and discrepancies promptly to architects before proceeding with the works.  
No detailed drawings or figured dimensions to be worked to in all cases.  
The contractor is responsible for checking dimensions, tolerances and references.  
All structural information to be taken from engineers drawings.  
All relevant party wall agreements are to be entered into and agreed between owners prior to commencement of works.  
All build over agreements with utility companies to be agreed and approved prior to works on site

## Revisions

Proposed Lower Ground GA @A2

SCALE:  
1:200 @ A3    1:100 @ A2

PROJECT: 45 PILGRIMS LANE		CLIENT: DAVID HUDALY	
DRAWING NO.: 2006-154/-2-108	REV:	STATUS: D	
DRAWN: P.Fry	CHECKED: R. Shaw	DATE: NOV 09	

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Proposed Ground GA

Net Internal Area = 117m2

**Proposed Net Internal Areas - m2:**

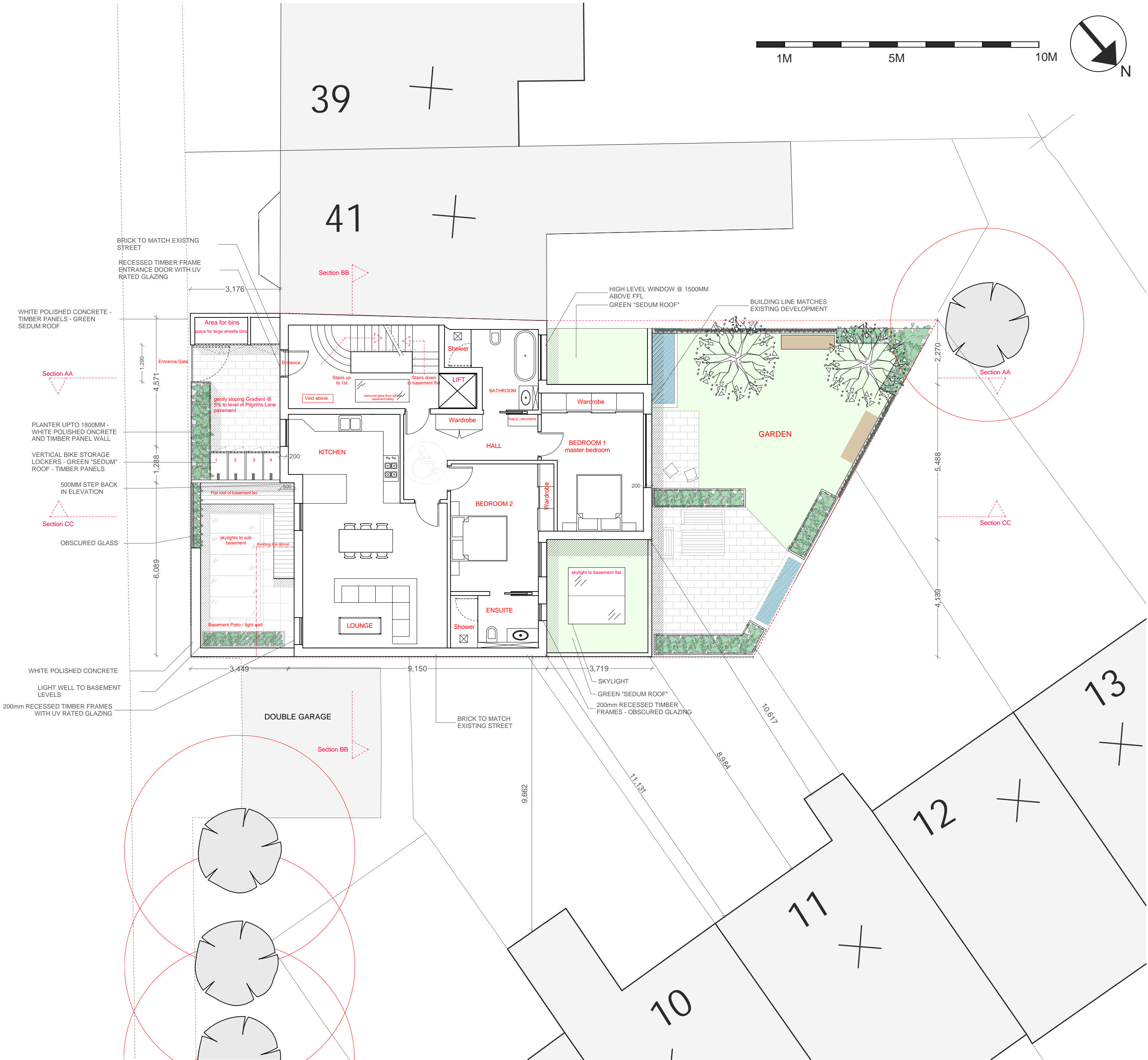
Sub Basement	-	99 m2
Lower Ground	-	178 m2
Ground	-	117 m2
First	-	120 m2
Second	-	111 m2
Penthouse	-	51 m2

Total Internal Area - 676 m2

**Existing Net Internal Areas - m2:**

Lower Ground	-	121 m2
Ground	-	99 m2
First	-	89 m2
Second	-	89 m2

Total Internal Area - 398m2



NOTES:  
Report all errors and discrepancies promptly to architects before proceeding with the works.  
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Revisions

**Proposed Ground GA @ A2**

SCALE:  
1:200 @A3 1:100 @ A2

PROJECT:	45 PILGRIMS LANE	CLIENT:	DAVID HUDALY
DRAWING NO.:	2006-154/2-109	REV:	D
DRAWN:	P.Fry	CHECKED:	R. Shaw
DATE:	NOV 09		

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Company number 3499361



Proposed First GA

Net Internal Area = 120m2

Proposed Net Internal Areas - m2:

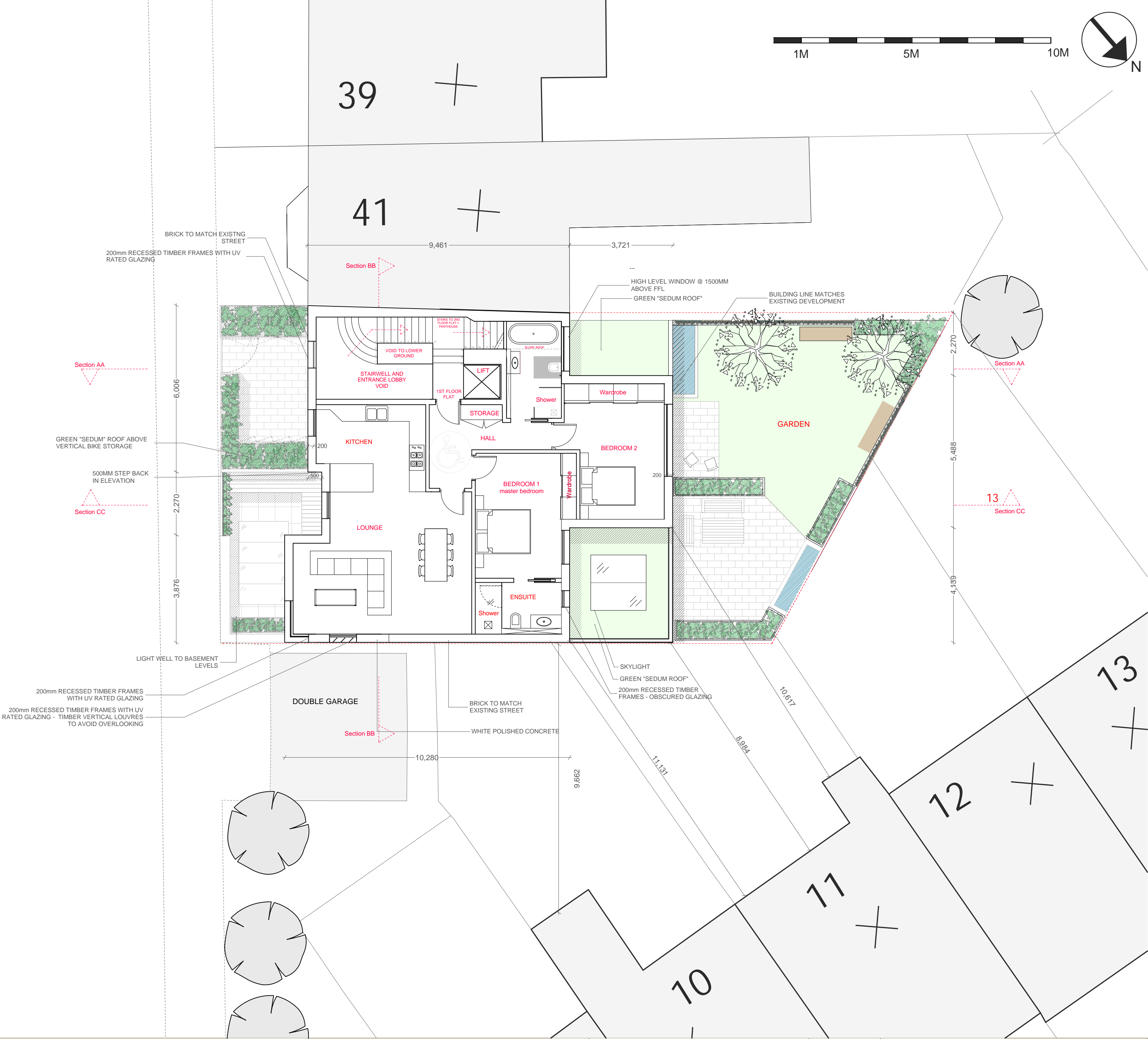
Sub Basement	-	99 m2
Lower Ground	-	178 m2
Ground	-	117 m2
First	-	120 m2
Second	-	111 m2
Penthouse	-	51 m2

Total Internal Area - 676 m2

Existing Net Internal Areas - m2:

Lower Ground	-	121 m2
Ground	-	99 m2
First	-	89 m2
Second	-	89 m2

Total Internal Area - 398m2



Proposed Second GA

Net Internal Area = 111m2

**Proposed Net Internal Areas - m2:**

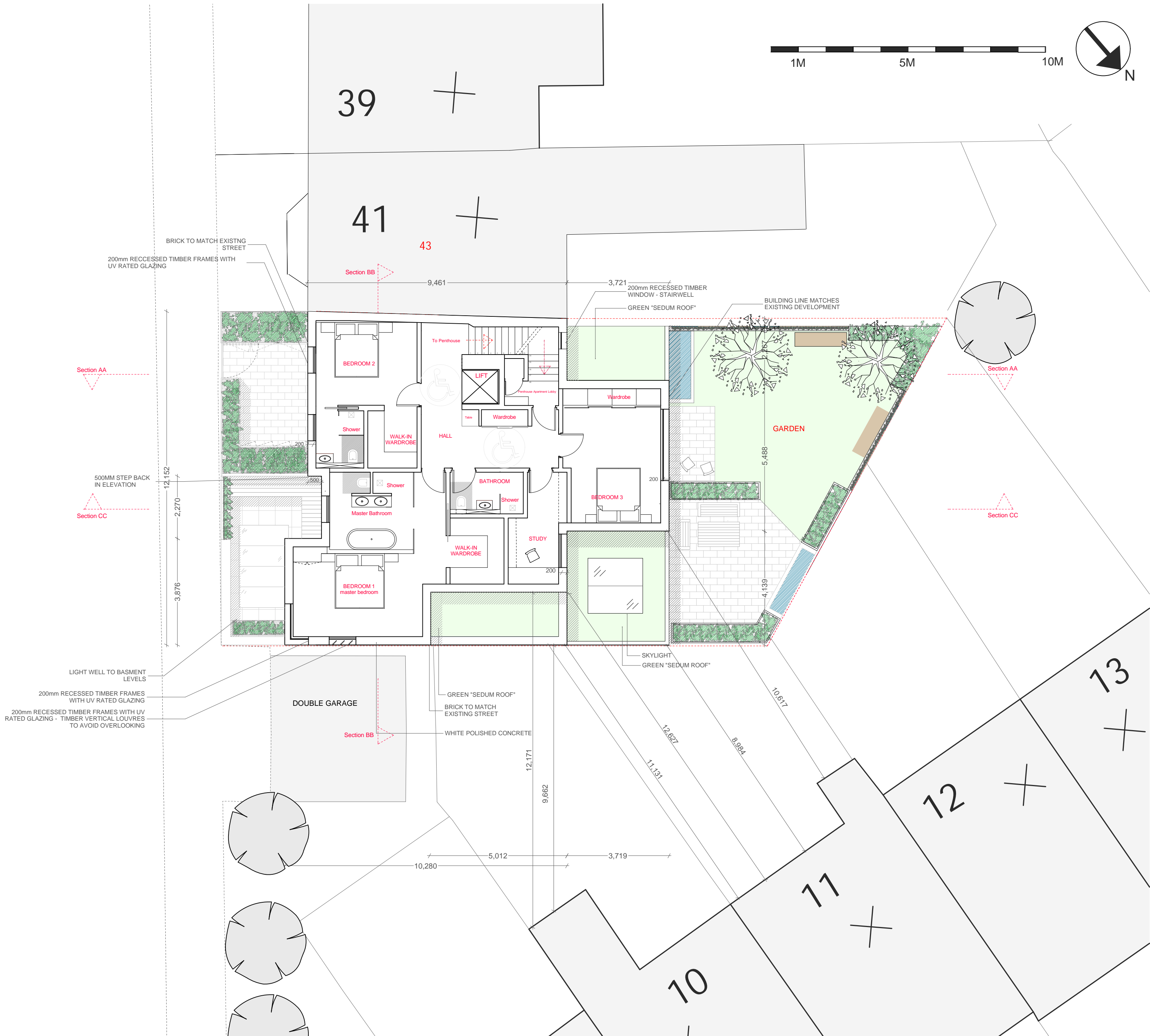
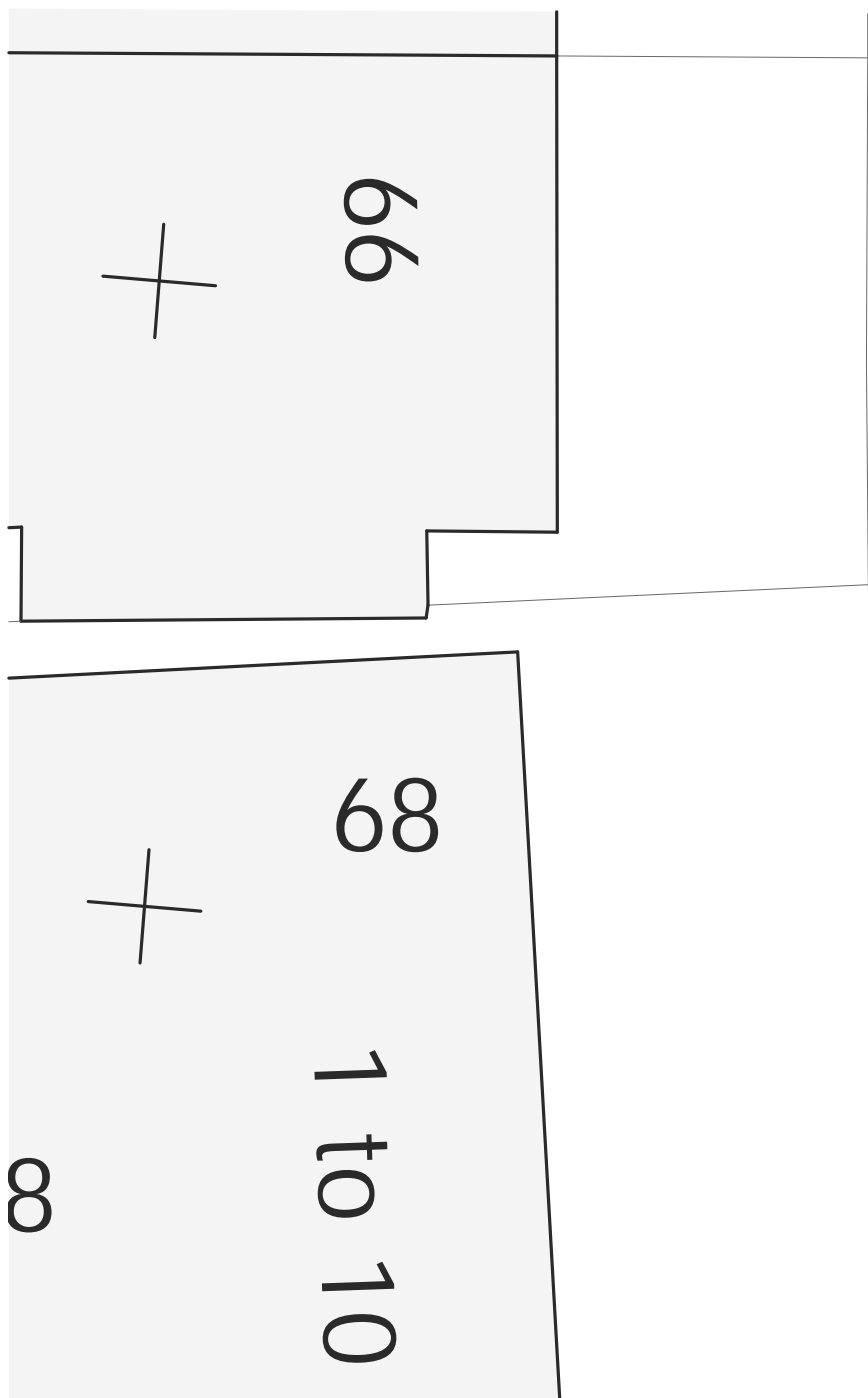
Sub Basement	-	99 m2
Lower Ground	-	178 m2
Ground	-	117 m2
First	-	120 m2
Second	-	111 m2
Penthouse	-	51 m2

Total Internal Area - 676 m2

**Existing Net Internal Areas - m2:**

Lower Ground	-	121 m2
Ground	-	99 m2
First	-	89 m2
Second	-	89 m2

Total Internal Area - 398m2



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Revisions

**Proposed Second GA @ A2**

SCALE:  
1:200 @ A3 1:100 @ A2

PROJECT: 45 PILGRIMS LANE  
DRAWING NO.: 2006-154/2-111  
DRAWN: P.Fry

REV:

CHECKED: R. Shaw

CLIENT: DAVID HUDALY  
STATUS: D  
DATE: NOV 09

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Company number 3499361

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Proposed Penthouse GA

Net Internal Area = 51 m2

**Proposed Net Internal Areas - m2:**

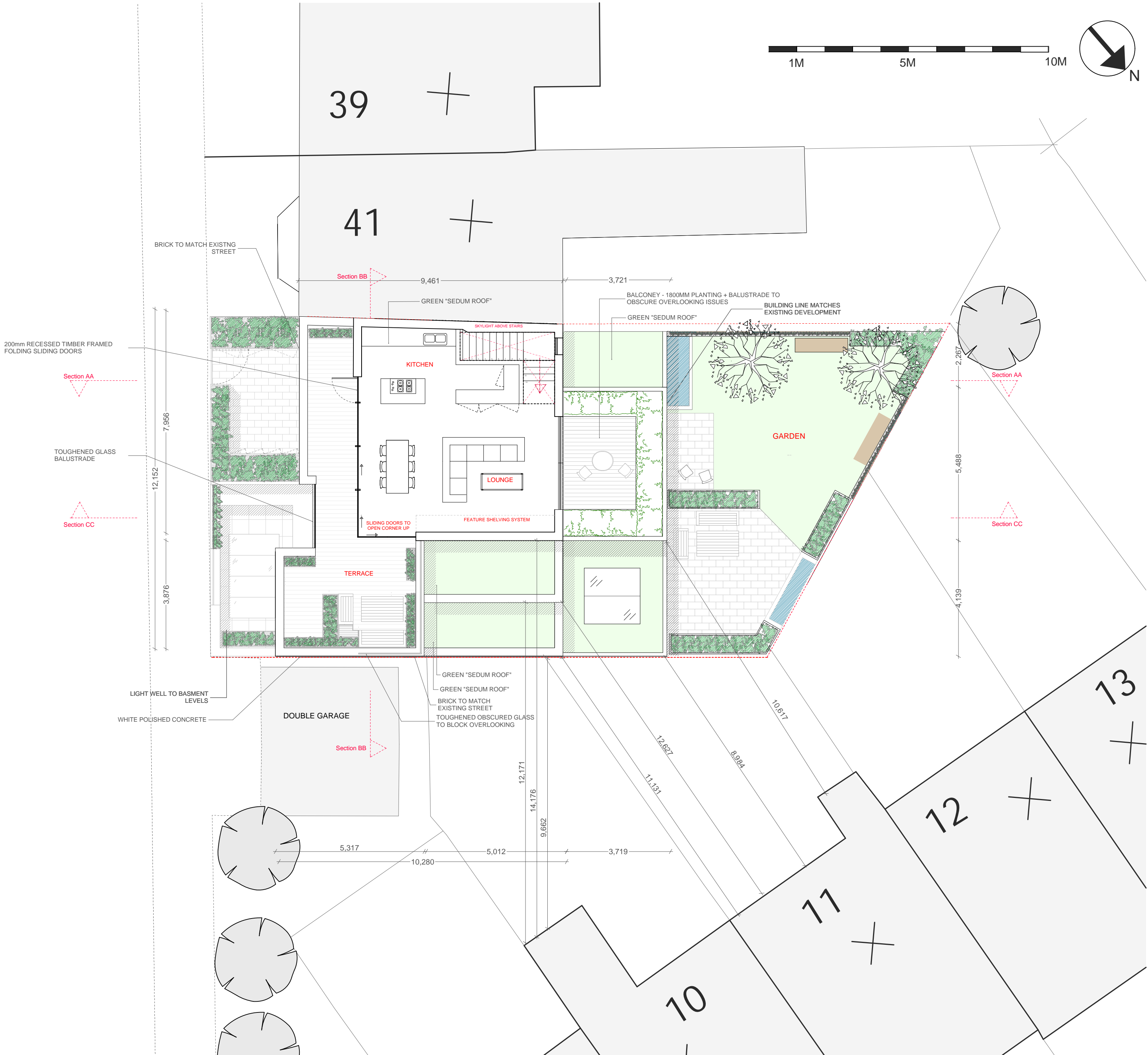
Sub Basement	-	99 m2
Lower Ground	-	178 m2
Ground	-	117 m2
First	-	120 m2
Second	-	111 m2
Penthouse	-	51 m2

**Total Internal Area - 676 m2**

**Existing Net Internal Areas - m2:**

Lower Ground	-	121 m2
Ground	-	99 m2
First	-	89 m2
Second	-	89 m2

**Total Internal Area - 398m2**



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Revisions

**Proposed Penthouse GA @ A2**

SCALE:  
1:200 @ A3 1:100 @ A2

PROJECT:	45 PILGRIMS LANE	CLIENT:	DAVID HUDALY
DRAWING NO.:	2006-154/2-112	REV:	
DRAWN:	P.Fry	CHECKED:	R. Shaw
DATE:	NOV 09	STATUS:	D

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Company number 3499361

Pilgrims Rev B PF.pltK:\0000 Crawford Partnership Project\2006-154 (45 pilgrims lane)\000.15.dwg\0 Planning Resubmission Nov 09\Arch CAD\Pilgrims Rev B PF.plt



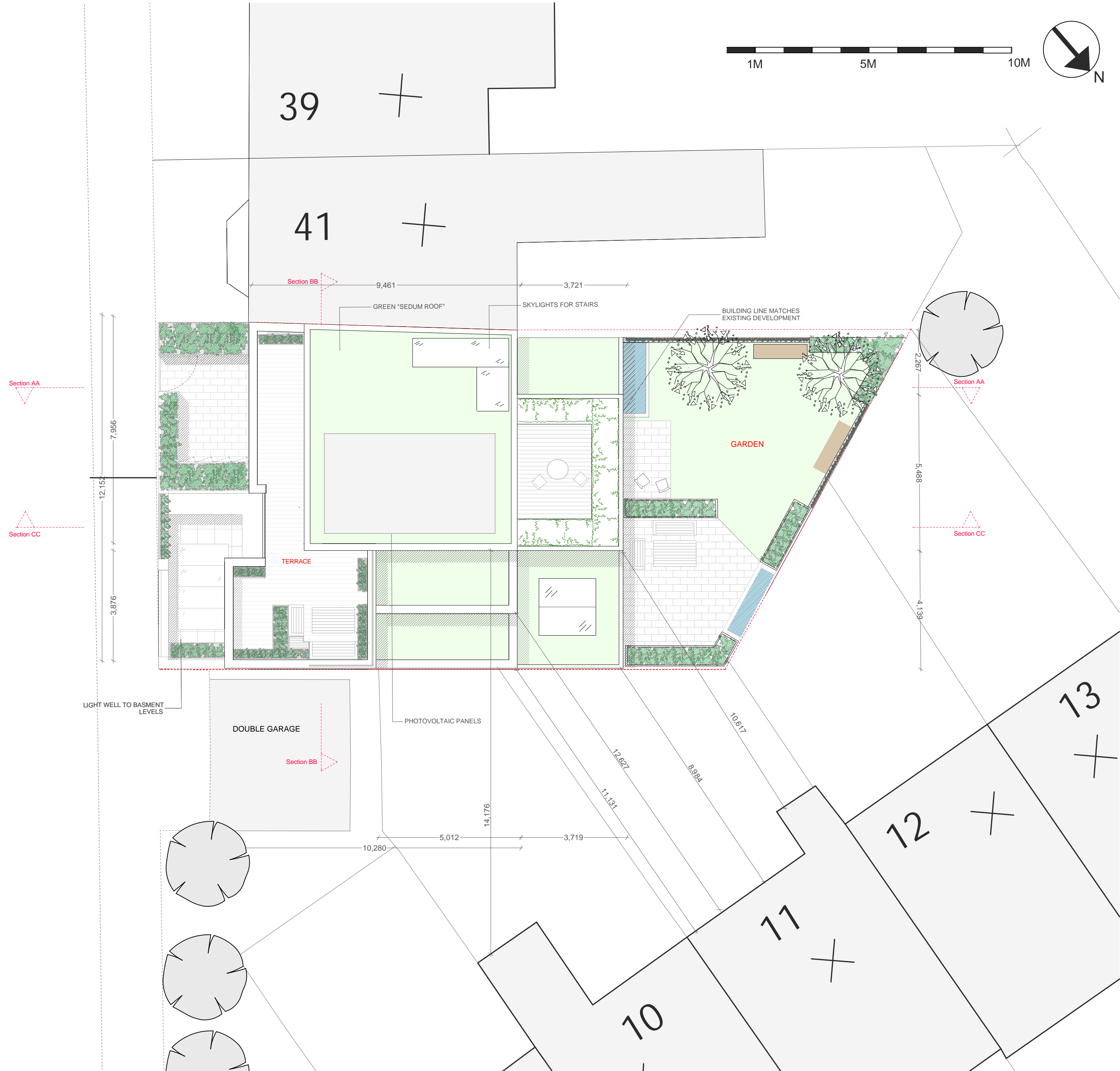
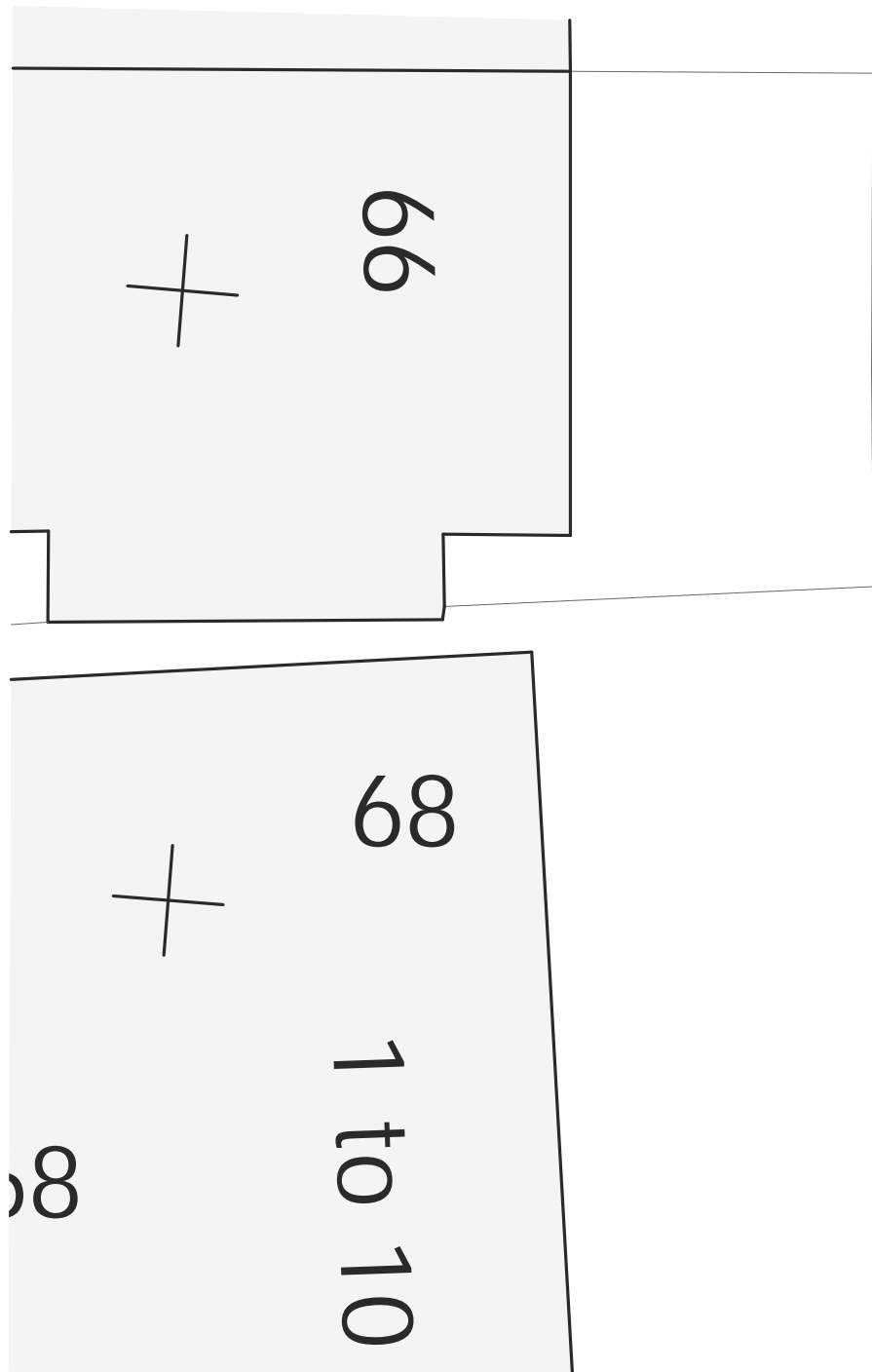
Proposed Roof Plan

Proposed Net Internal Areas - m2:

Sub Basement	-	99 m2
Lower Ground	-	178 m2
Ground	-	117 m2
First	-	120 m2
Second	-	111 m2
Penthouse	-	51 m2
Total Internal Area	-	676 m2

Existing Net Internal Areas - m2:

Lower Ground	-	121 m2
Ground	-	99 m2
First	-	89 m2
Second	-	89 m2
Total Internal Area	-	398m2



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Revisions

Proposed Roof GA

SCALE:  
1:200 @A3 1:100 @ A2

PROJECT:	45 PILGRIMS LANE	CLIENT:	DAVID HUDALY
DRAWING NO.:	2006-154/2-113	REV:	
DRAWN:	P.Fry	CHECKED:	R. Shaw
DATE:	NOV 09	STATUS:	D

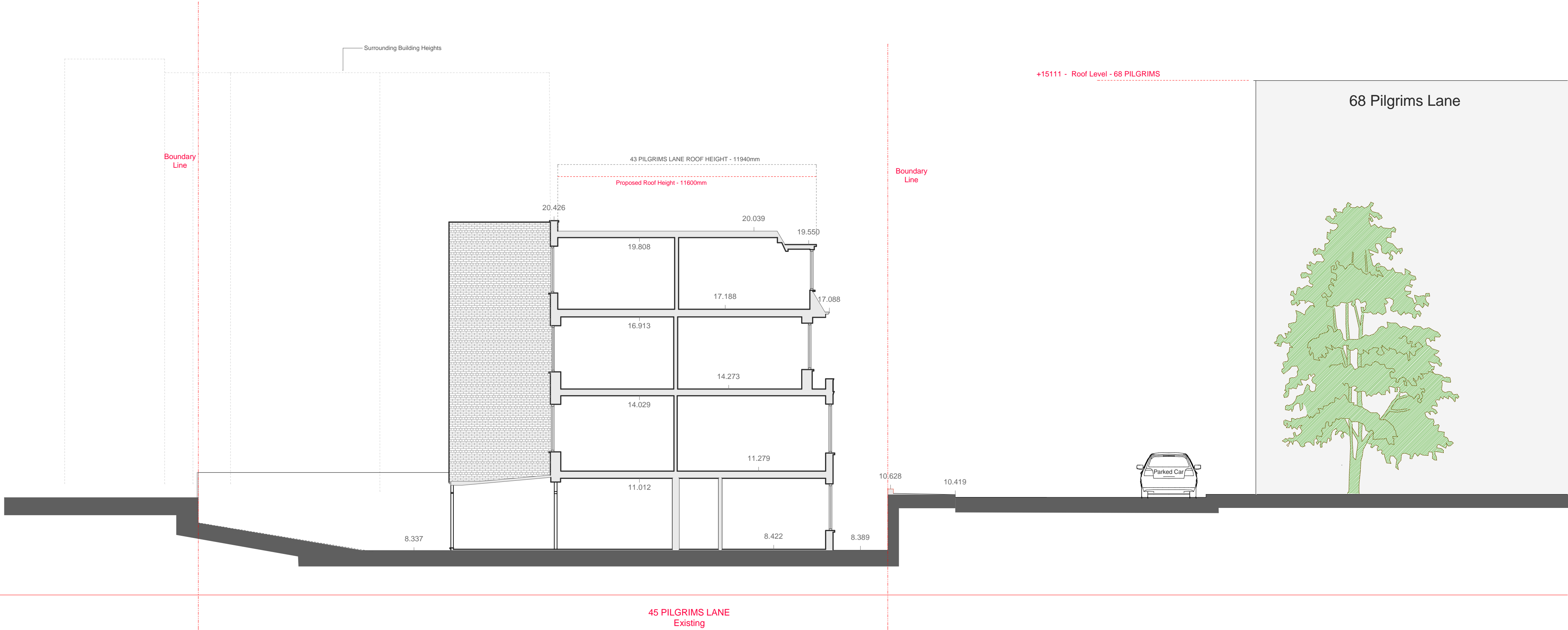
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Existing Section AA



**NOTES:**  
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All build over agreements with utility companies to be agreed and approved prior to works on site.

Revisions

Existing Section AA @ A2				SCALE: 1:200 @A3 1:100 @ A2	
PROJECT:	45 PILGRIMS LANE	CLIENT:	DAVID HUDALY		
DRAWING NO.:	2006-154/2-200	REV:		STATUS:	D
DRAWN:	P.Fry	CHECKED:	R. Shaw	DATE:	NOV 09

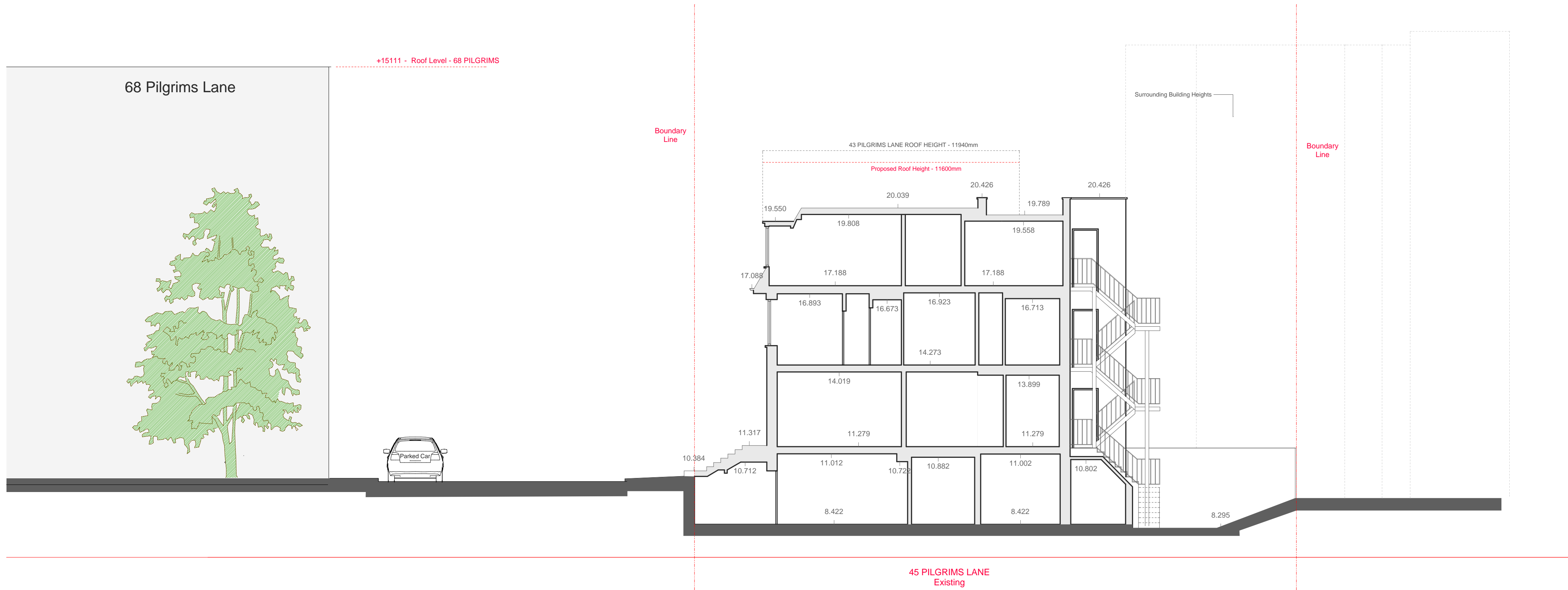


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Company number 3499361

## Existing Section CC



**NOTES:**

Report all errors and discrepancies promptly to architects before proceeding with the works.

Do not scale drawing. Figured dimensions to be worked to in all cases.

The Contractor is responsible for checking dimensions, tolerances and references.

All structural information to be taken from engineers drawings.

All relevant party wall agreements are to be entered into and agreed between owners prior to commencement of works.

All build over agreements with utility companies to be agreed and approved prior to works on site.

## Revisions

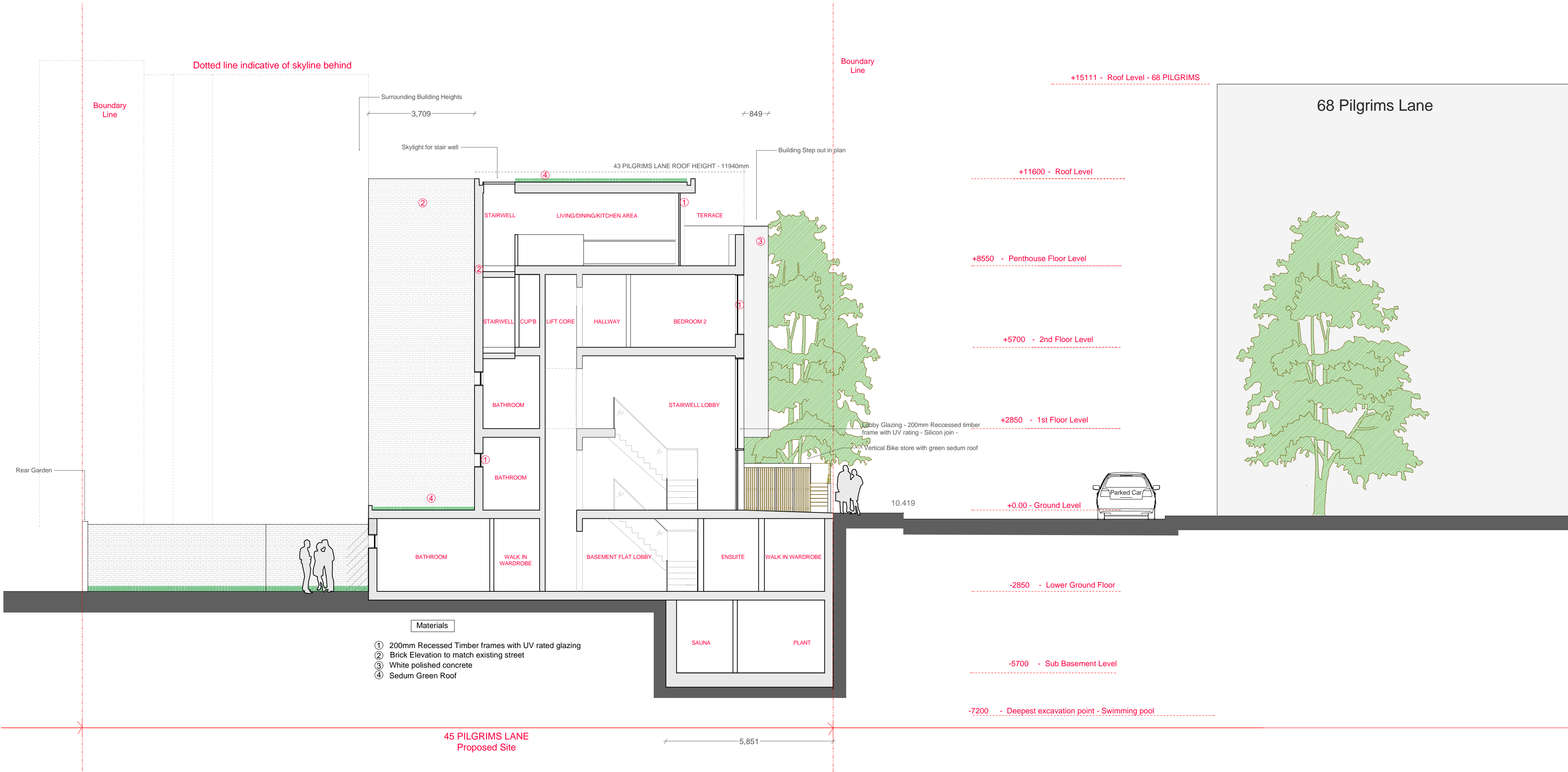
Existing Section CC @ A2				SCALE: 1:200 @ A3   1:100 @ A2
PROJECT:	45 PILGRIMS LANE		CLIENT:	DAVID HUDALY
DRAWING NO.:	2006-154/2-201		STATUS:	D
DRAWN:	P.Fry	CHECKED:	R. Shaw	DATE: NOV 09



Pilgrams Rev B PF.plnk\0000 Crawford Partnership Projects\2006-154 (45 pilgrims lane)\000.15.drawings\Planning Resubmission Nov 09\Archi CAD\Pilgrams Rev B PF.p



Proposed Section AA



**NOTES:**  
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Revisions

Proposed Section AA @ A2

SCALE:  
1:200 @ A3 1:100 @ A2

PROJECT:	45 PILGRIMS LANE	CLIENT:	DAVID HUDALY
DRAWING NO.:	2006-154/2-202	REV:	D
DRAWN:	P.Fry	CHECKED:	R. Shaw
DATE:	NOV 09		

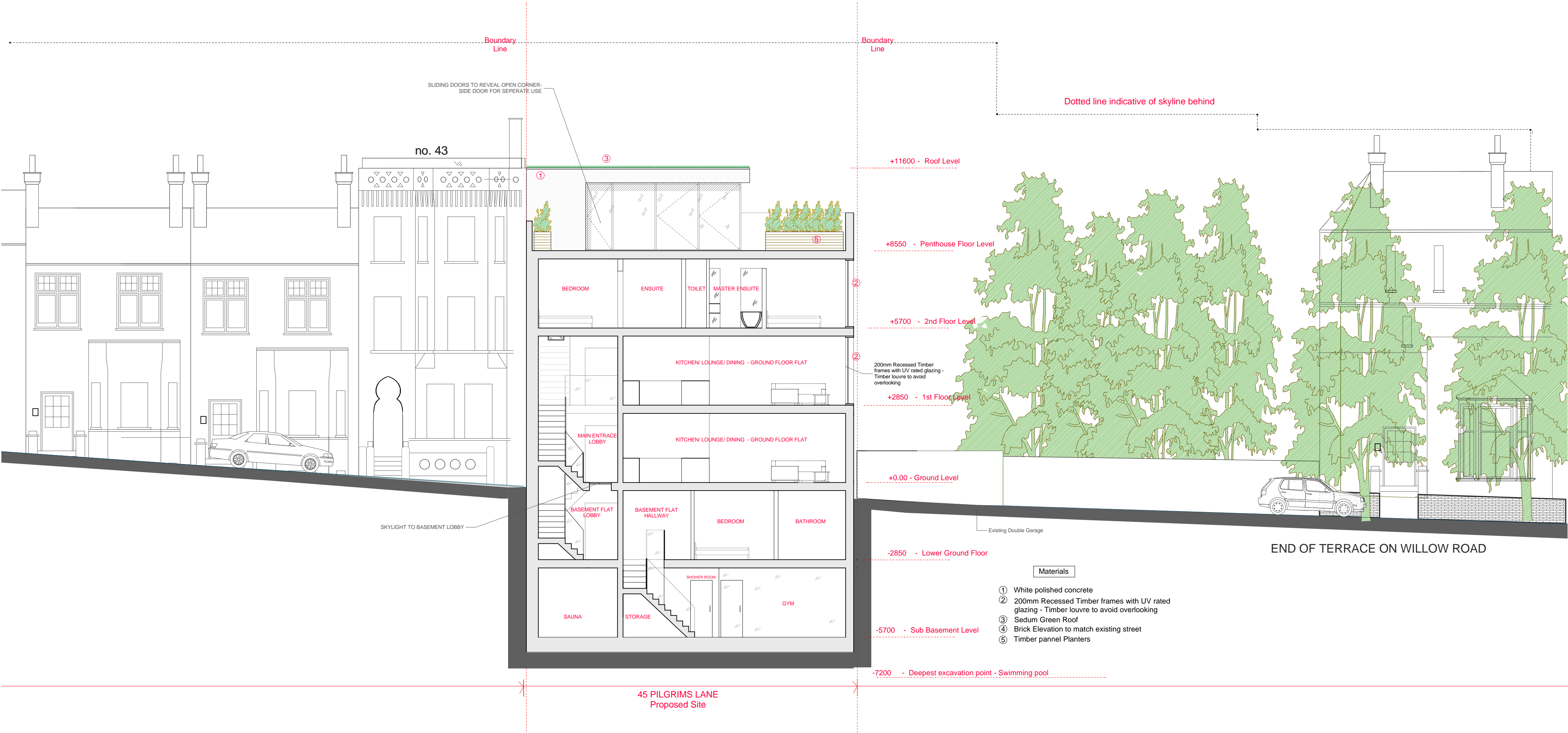
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Company number 3499361

Proposed Section BB

1M 5M 10M



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All build over agreements with utility companies to be agreed and approved prior to works on site.

Revisions

Proposed Section BB @ A2

SCALE:  
1:200 @ A3 1:100 @ A2

PROJECT:	45 PILGRIMS LANE	CLIENT:	DAVID HUDALY
DRAWING NO.:	2006-154/2-203	REV:	
DRAWN:	P.Fry	CHECKED:	R. Shaw
DATE:	NOV 09	STATUS:	D

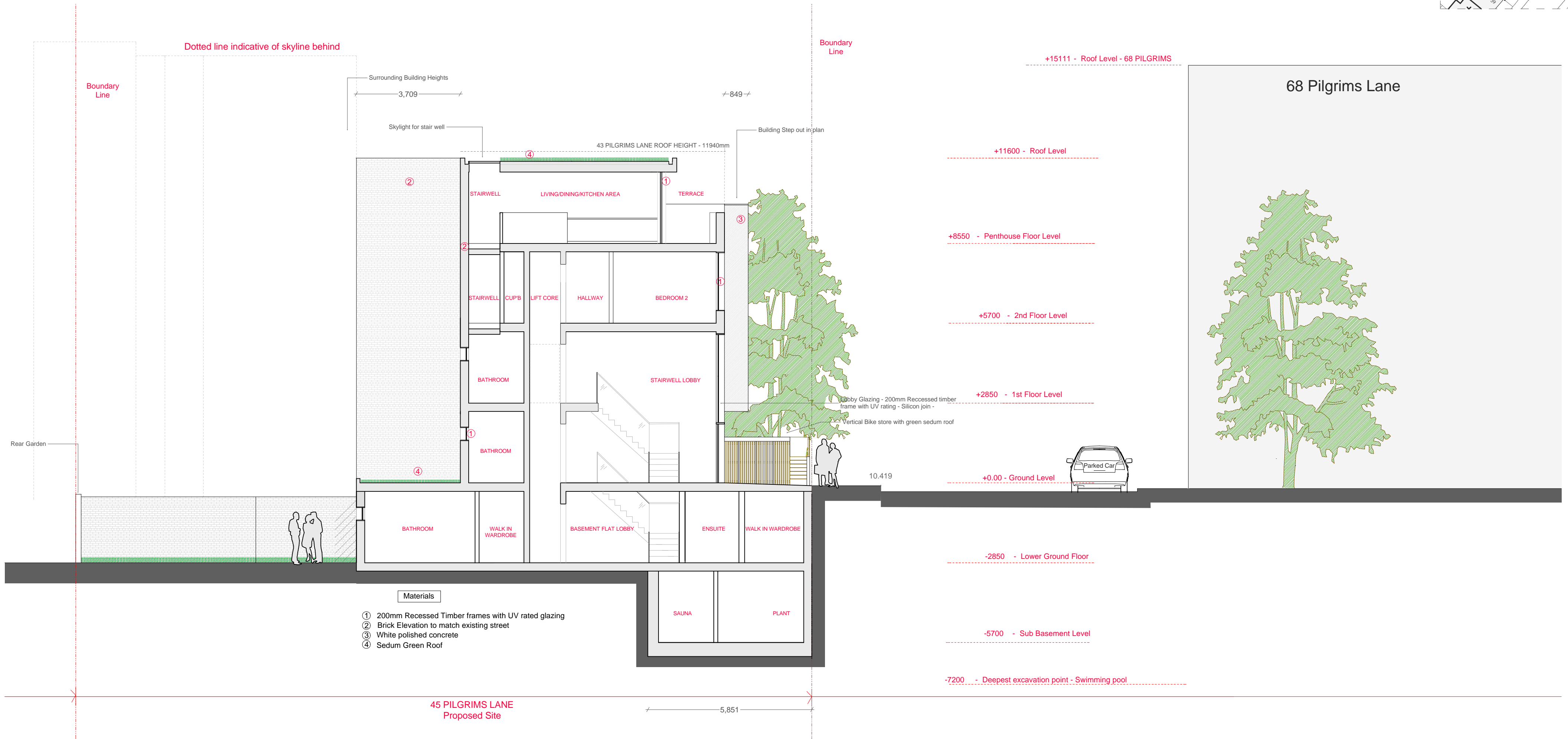
**crawford partnership**

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info@crawfordpartnership.co.uk  
www.crawfordpartnership.co.uk  
Company number 3499361



## Proposed Section CC



**NOTES:**

Report all errors and discrepancies promptly to architects before proceeding with the works.

Do not scale drawing. Figured dimensions to be worked to in all cases.

The contractor is responsible for checking dimensions, tolerances and references.

All structural information to be taken from engineers drawings.

All relevant party wall agreements are to be entered into and agreed between owners prior to commencement of works.

All build over agreements with utility companies to be agreed and approved prior to works on site.

## Revisions

<b>Proposed Section CC @ A2</b>				<b>SCALE:</b> <b>1:200 @A3   1:100 @ A2</b>	
<b>PROJECT:</b> 45 PILGRIMS LANE		<b>CLIENT:</b> DAVID HUDALY			
<b>DRAWING NO.:</b> 2006-154/2-204		<b>REV:</b>		<b>STATUS:</b> D	
<b>DRAWN:</b> P.Fry		<b>CHECKED:</b> R. Shaw		<b>DATE:</b> NOV 09	



Pilgrims Rev B PF.plnK:\0000 Crawford Partnership Projects\2006-154 (45 pilgrims lane)\000.15.drawings\Planning Resubmission Nov 09\Archi CAD\Pilgrims Rev B PF.pln



Proposed Section CC

1M 5M 10M



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Revisions

Existing Section BB

SCALE: 1:200 @ A3 1:100 @ A2

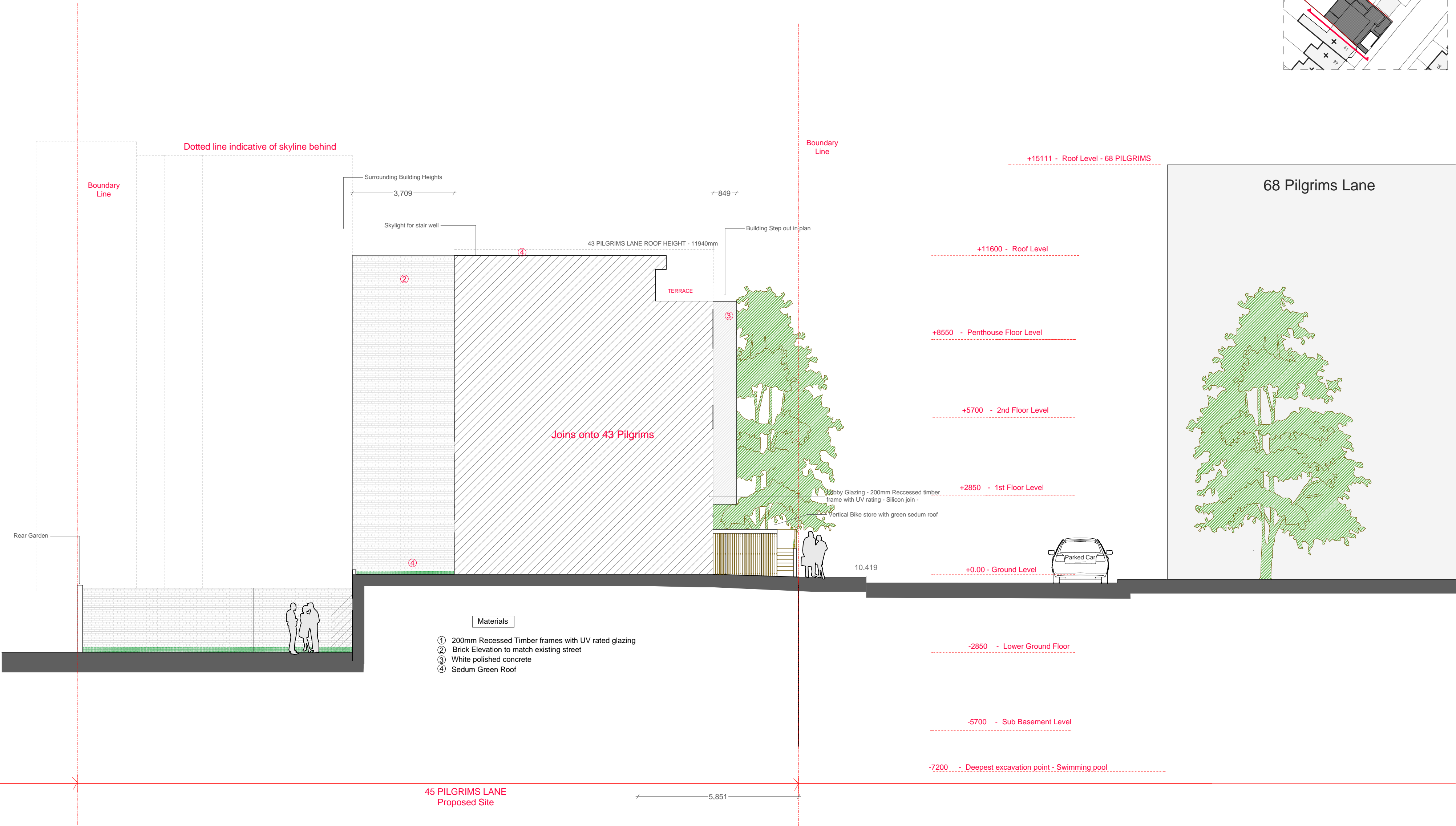
PROJECT:	45 PILGRIMS LANE	CLIENT:	DAVID HUDALY
DRAWING NO.:	2006-154/-2-205	REV:	D
DRAWN:	P.Fry	CHECKED:	R. Shaw
DATE:	NOV 09		



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Proposed West Elevation



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All build over agreements with utility companies to be agreed and approved prior to works on site.

Revisions

Boundary

Proposed West Elevation				SCALE:
PROJECT:	45 PILGRIMS LANE	CLIENT:	DAVID HUDALY	1:800, 1:100 @ A2
DRAWING NO.:	2006-154/-2-306	REV:	STATUS: D	
DRAWN:	P.Fry	CHECKED:	R. Shaw	DATE: NOV 09



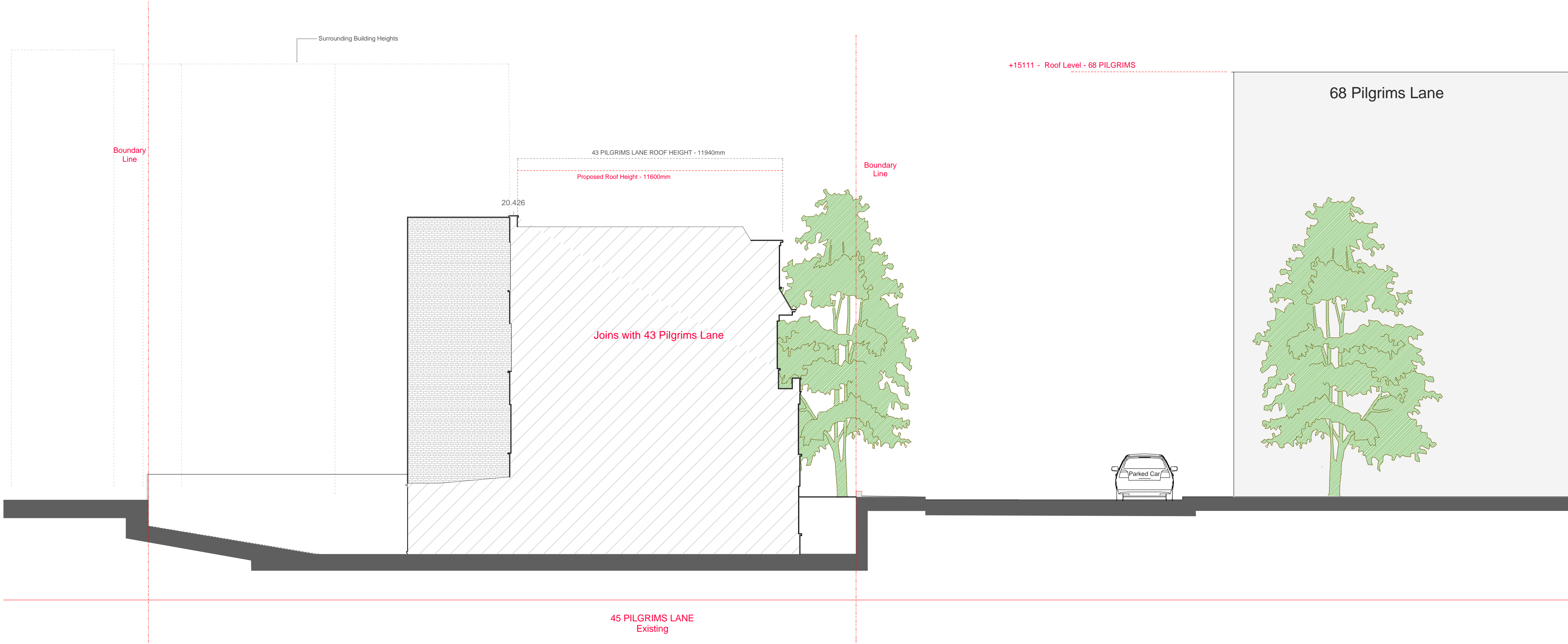
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Existing East Elevation



**NOTES:**  
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All build over agreements with utility companies to be agreed and approved prior to works on site.

Revisions

Existing West Elevation

SCALE:  
1:800, 1:100 @ A2

PROJECT:	45 PILGRIMS LANE	CLIENT:	DAVID HUDALY
DRAWING NO.:	2006-154/2-307	REV:	
DRAWN:	P.Fry	CHECKED:	R. Shaw
		DATE:	NOV 09



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