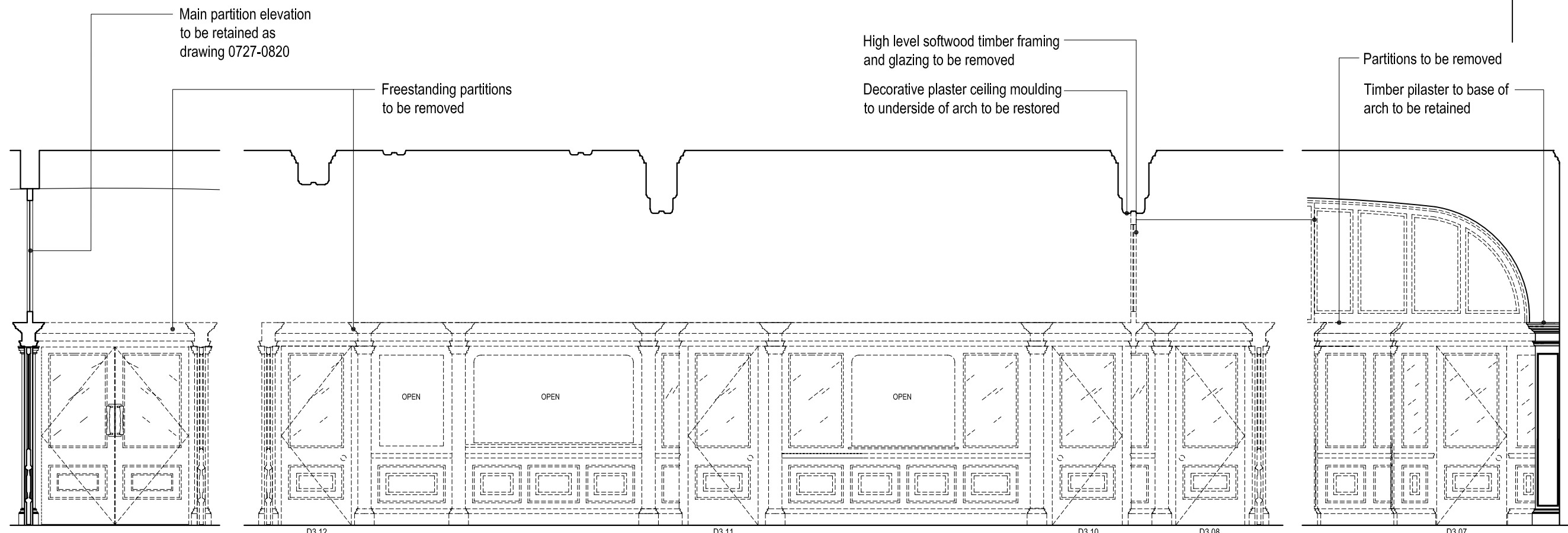


The areas on the drawing have been measured directly from a CAD drawing and have no tolerances added or subtracted.

The areas have been calculated in accordance with the RICS/BSA Code of Measuring Practice, 4th Edition, 1993 using the stated options NIA, GIA, GEA. They are approximate and relate to the likely areas of the building at the current state of the design. Any decisions to be made on the basis of these predictions, whether as to project viability, pre-letting, lease agreements and the like, should make allowance for the following:

- Design development
- Accurate site survey, site levels and dimensions need to be fully evaluated
- Allowance for construction methods and building tolerances.
- Local authority consents

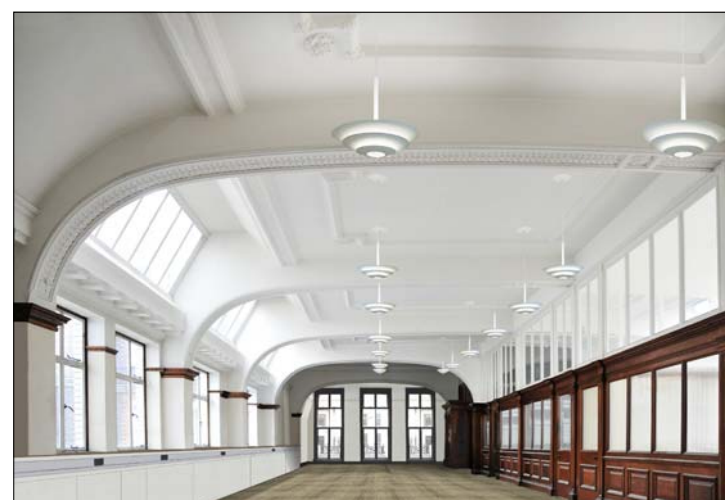
rev	date	description
/	25.05.10	First Issue



ELEVATION 14a
RETURN ELEVATION

0727
0811 ELEVATION 14
FREESTANDING TIMBER PARTITION

ELEVATION 14b
RETURN ELEVATION



PE1 PERSPECTIVE
VIEW OF MAIN OFFICE SPACE WITH FREESTANDING AND FRONT ROOM PARTITIONS REMOVED

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project 31 GREAT QUEEN STREET, WC2		
title FIRST FLOOR INTERNAL WALL ELEVATIONS: FREESTANDING PARTITIONS ELEVATION 14 AS PROPOSED		
scale 1:50@A3	date 17.05.10	drawn SD
drawing No 0727-0821	revision .	status P