

Decorative plaster ceiling moulding to underside of arch obscured by high level glazing

High level softwood timber framing (painted white) to transparent glazed panels

Panelled hardwood partition with fluted glazing panels

Part of hardwood partition projects into front room

Plastered blockwork partition

Painted plaster finish

Later addition "borrowed light window"

Plastered finish to arch

Opening in wall

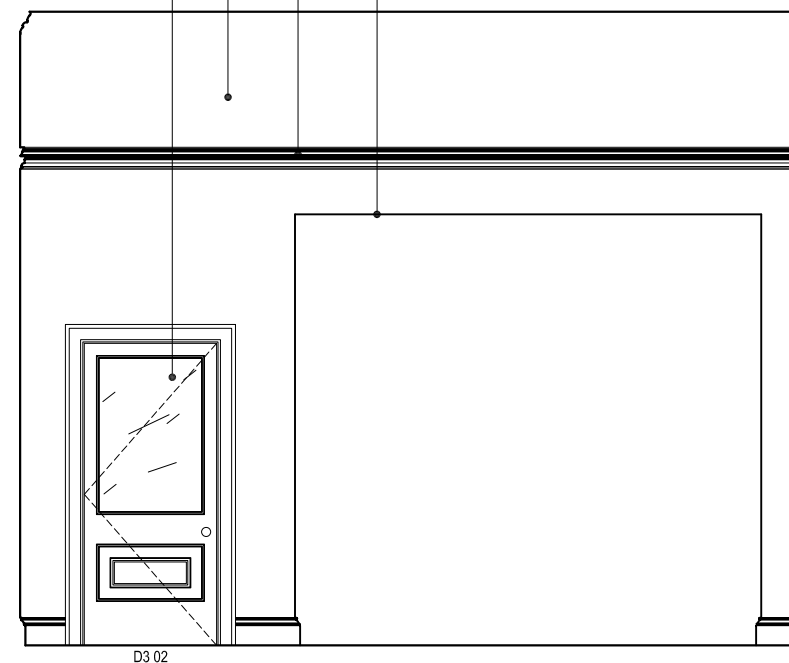
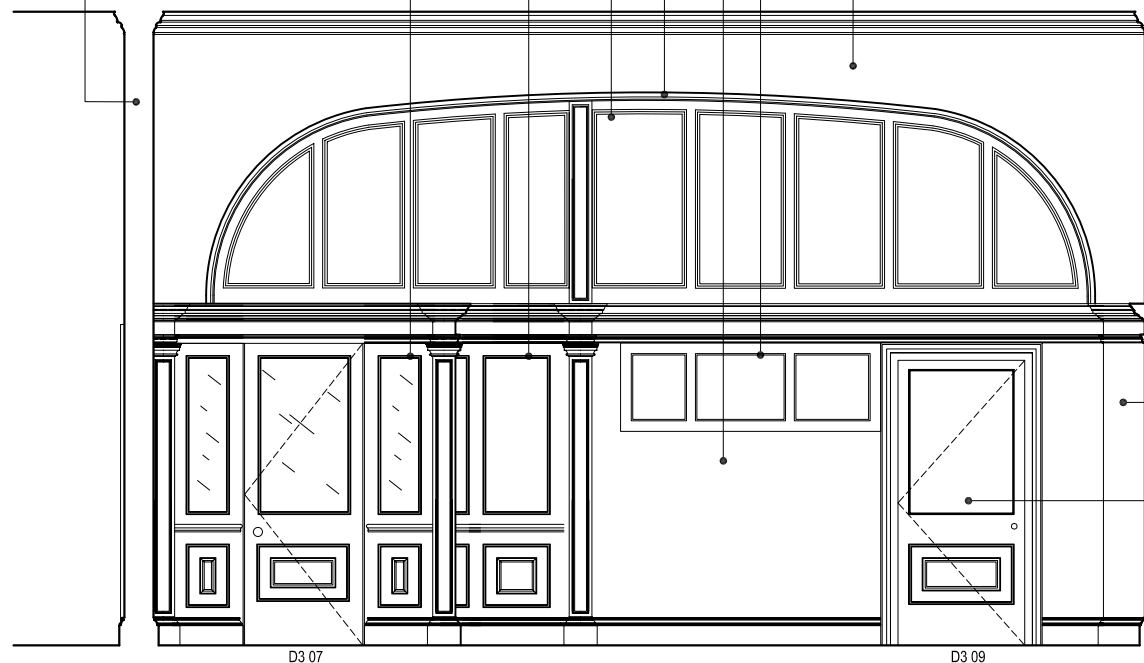
Painted timber picture rail

Painted plaster finish to blockwork wall

Hardwood panelled door with fluted glazed top panel

Plastered pier to base of arch

Hardwood panelled door with fluted glazed top panel



0727 ELEVATION 09
0812 PARTITION TO FRONT ROOM

0727 ELEVATION 12
0812 PARTITION TO FRONT ROOM



P07 PHOTOGRAPH
VIEW OF ELEVATION ABOVE FROM OPPOSITE SIDE



P08 PHOTOGRAPH
VIEW OF ELEVATION ABOVE FROM OPPOSITE SIDE



P09 PHOTOGRAPH
PLASTER MOULDING TO UNDERSIDE OF ARCH OBSCURED BY HIGH LEVEL TIMBER FRAMING



P10 PHOTOGRAPH
PLASTER MOULDING TO UNDERSIDE OF ARCH OBSCURED BY HIGH LEVEL TIMBER FRAMING

The areas on the drawing have been measured directly from a CAD drawing and have no tolerances added or subtracted.

The areas have been calculated in accordance with the RICSISVA Code of Measuring Practice, 4th Edition, 1993 using the stated options N/A, G/A, GEA. They are approximate and relate to the likely areas of the building at the current state of the design. Any decisions to be made on the basis of these predictions, whether as to project viability, pre-letting, lease agreements and the like, should make allowance for the following:

- Design development
- Accurate site survey, site levels and dimensions need to be fully evaluated
- Allowance for construction methods and building tolerances.
- Local authority consents

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project
31 GREAT QUEEN STREET, WC2

title
FIRST FLOOR INTERNAL WALL ELEVATIONS:
FRONT ROOM ELEVATIONS 09 & 12
AS EXISTING

scale	date	drawn
1:50@A3	14/05/10	SD

drawing No	revision	status
0727-0812	.	P