



Design and Access Statement for
Removal of First Floor Partitions
31 Great Queen Street, London WC2

Including:

Listed Building Appraisal
Access Statement

June 2010



Hardwood partition with fluted glazing

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View of freestanding/front room partition from office entrance door

1.0 Introduction

1.1 Purpose of this statement

This document supports a Listed Building Consent Application by the Royal Masonic Trust for Girls and Boys, which seeks planning permission to remove certain screen and partition walls on the first floor of 31 Great Queen Street, a Grade II Listed Building.

The document includes an appraisal of the proposals in relation to the context presented by the Listed Building.

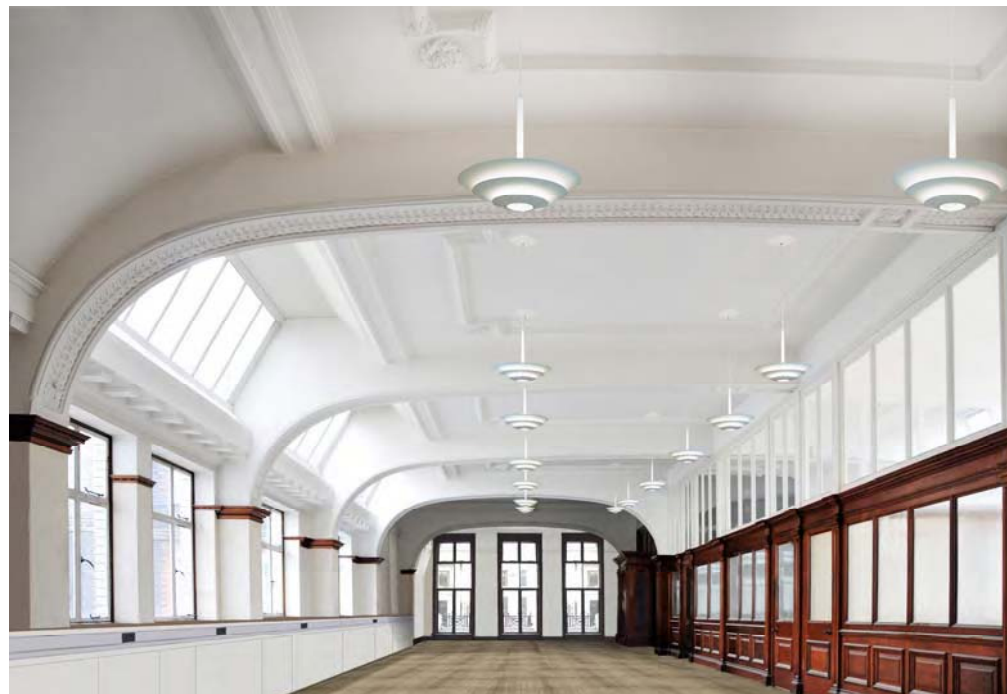
1.2 Scope of the report

The report offers a brief description of the building, in particular the first floor, and a detailed account of the proposals.

The report also refers to a supporting letter from Dr James Campbell, a Conservation Architect at the University of Cambridge, and a Standing Building Assessment by the Museum of London, originally produced to support a Listed Building Consent application made in 2008 (ref. 2008/4347/L).



As existing perspective view of partitions from rear of main office space



Proposed perspective view with freestanding and front room partition removed

2.0 Schedule of Proposals

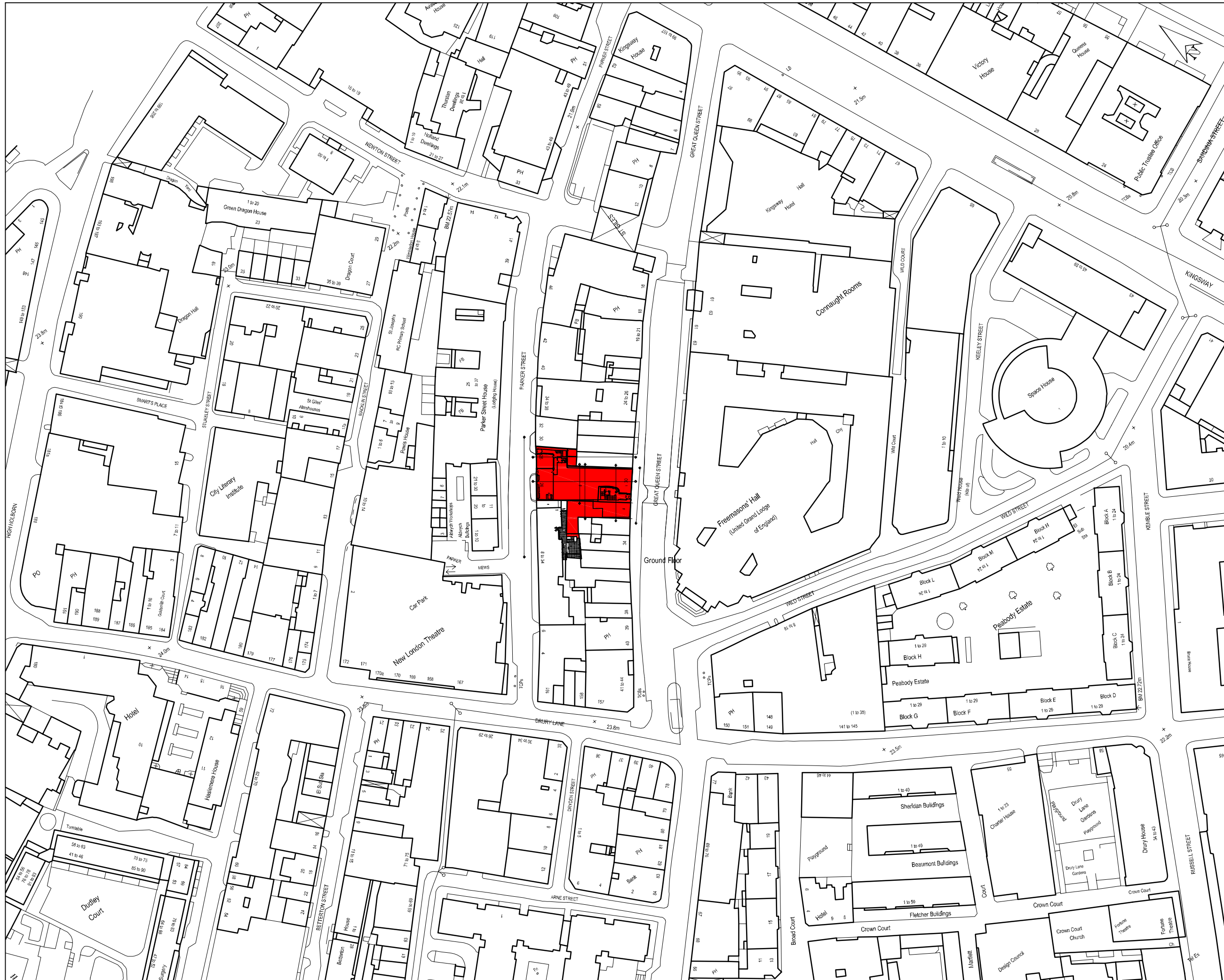
The proposals relate entirely to the first floor of the building:

- 2.1 Removal of the freestanding (partial height) timber and glass partition immediately inside the entrance doors from the main staircase to the main first floor offices, including the return sections at either end forming doorways to adjacent spaces.
- 2.2 Removal of the full height timber, glass and plastered partition separating the main office space from the front south-east office.
- 2.3 Retention and restoration of abutting partitions and the ceiling arch mouldings to the front south-east office.
- 2.4 Removing an existing doorway to the south-west front office and widening the existing opening in the masonry wall to provide a grander opening and more symmetrical arrangement between the two rooms.

3.0 Application Drawings

The drawings included in the subsequent pages are listed below: -

- 0727-0001 rev.A Site Location Plan
- 0727-050 Historic Drawings 1926 First and Second Floor Plan
- 0727-1112 rev.D First Floor Plan - consented drawing from Listed Building Consent Ref. 2008/4347/L
- 0727-0800 First Floor Plan as Existing
- 0727-0801 First Floor Plan as Proposed
- 0727-0810 First Floor Internal Wall Elevation – Main Elevations 01 & 02 as Existing
- 0727-0811 First Floor Internal Wall Elevation – Freestanding Partitions Elevation 14 as Existing
- 0727-0812 First Floor Internal Wall Elevations – Front Room Elevations 09 & 12 as Existing
- 0727-0820 First Floor Internal Wall Elevation – Main Elevations 01 & 02 as Proposed
- 0727-0821 First Floor Internal Wall Elevation – Freestanding Partitions Elevation 14 as Proposed
- 0727-0822 First Floor Internal Wall Elevations – Front Room Elevations 09 & 12 as Proposed
- 0727-1460 First Floor Perspective – Showing Freestanding Partitions Retained
- 0727-1461 First Floor Perspective – Showing Freestanding Partitions Removed



The areas on the drawing have been measured directly from a CAD drawing and have no tolerances added or subtracted.

The areas have been calculated in accordance with the RICS/SIVA Code of Measuring Practice, 4th Edition, 1993 using the stated options N/A, GIA, GFA. They are approximate and relate to the likely areas of the building at the current state of the design. Any decisions to be made on the basis of these predictions, whether as to project viability, pre-letting, lease agreements and the like, should make allowance for the following:

- Design development
- Accurate site survey, site levels and dimensions need to be fully evaluated
- Allowance for construction methods and building tolerances.
- Local authority consents

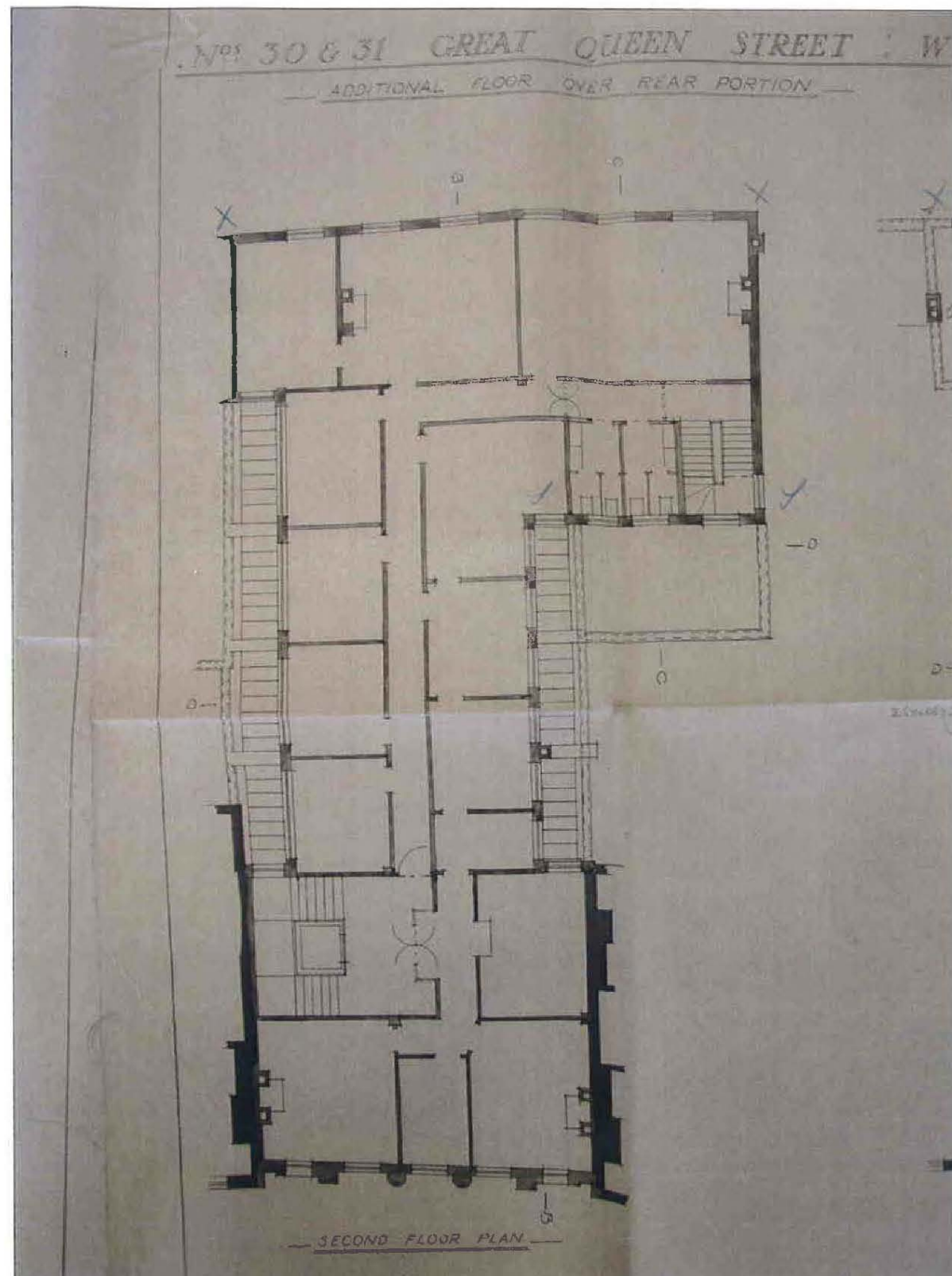
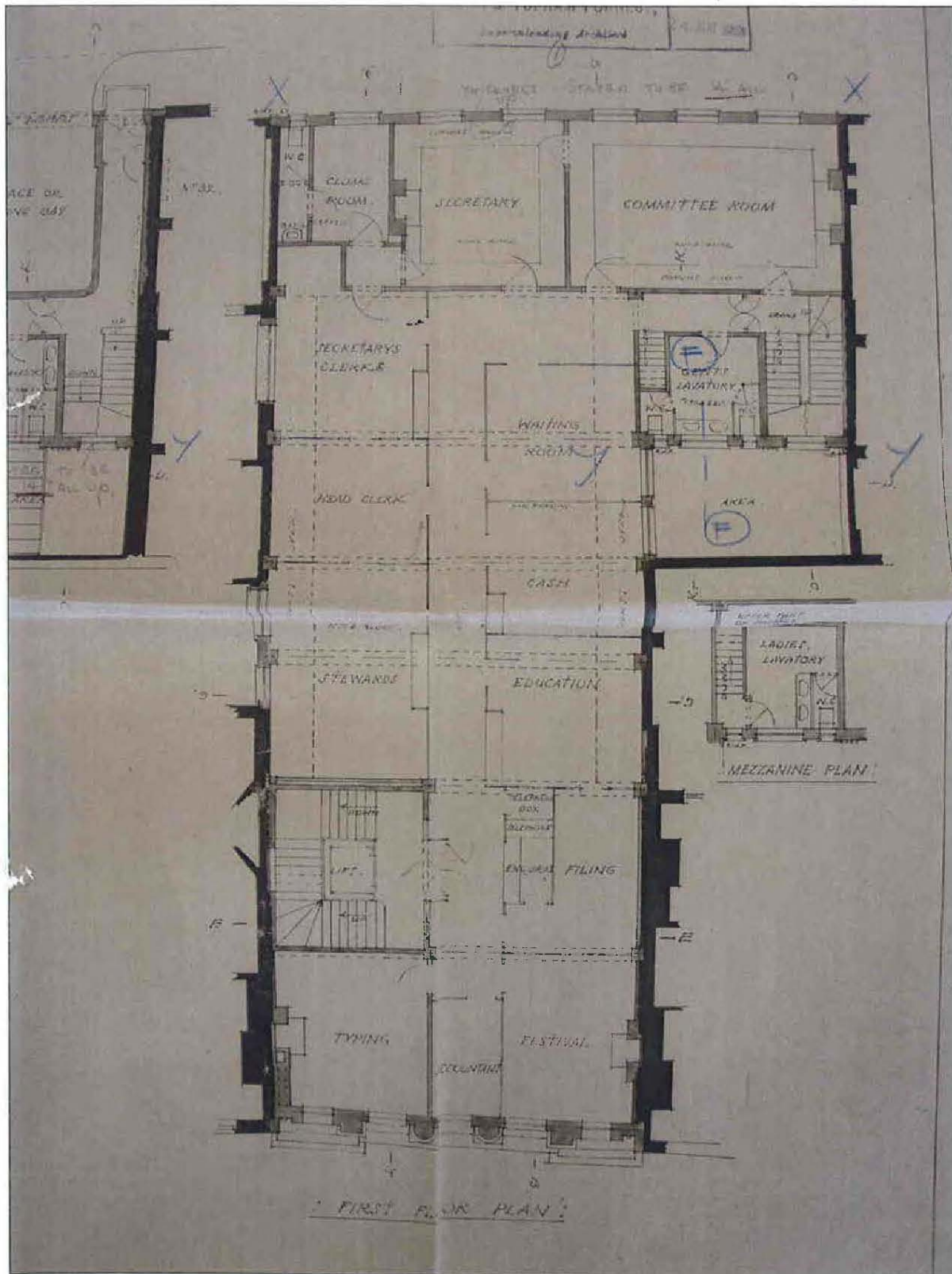
rev	date	description
1	03/08/07	FIRST ISSUE
A	08/08/07	OWNERSHIP BOUNDARY UPDATED

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project
31 GREAT QUEEN STREET

title
EXISTING LOCATION PLAN
FOR PLANNING

scale	date	drawn
1:1250@A3	04/12/07	P/B/T/C
drawing No	revision	status
0727-0001	A	P



The areas on the drawing have been measured directly from a CAD drawing and have no tolerance added or subtracted.

The areas have been calculated in accordance with the ROSSIVA Code of Measuring Practice, 4th Edition, 1993 using the stated options NA, SA, SEA. They are approximate and relate to the likely areas of the building at the current state of the design. Any decisions to be made on the basis of these predictions, whether as to project viability, pre-letting, lease agreements and the like, should make allowance for the following:

- Design development
- Accuracy of site survey, site levels and dimensions need to be fully evaluated
- Allowance for construction methods and building tolerances
- Local authority constraints

rev date description
/ XXXXXX FIRST ISSUE

Source: London Metropolitan Archives

Please note: Drawings are photographed from original drawings, located at the LMA and are not to scale.

BRIMLOW Mc SWEENEY ARCHITECTS

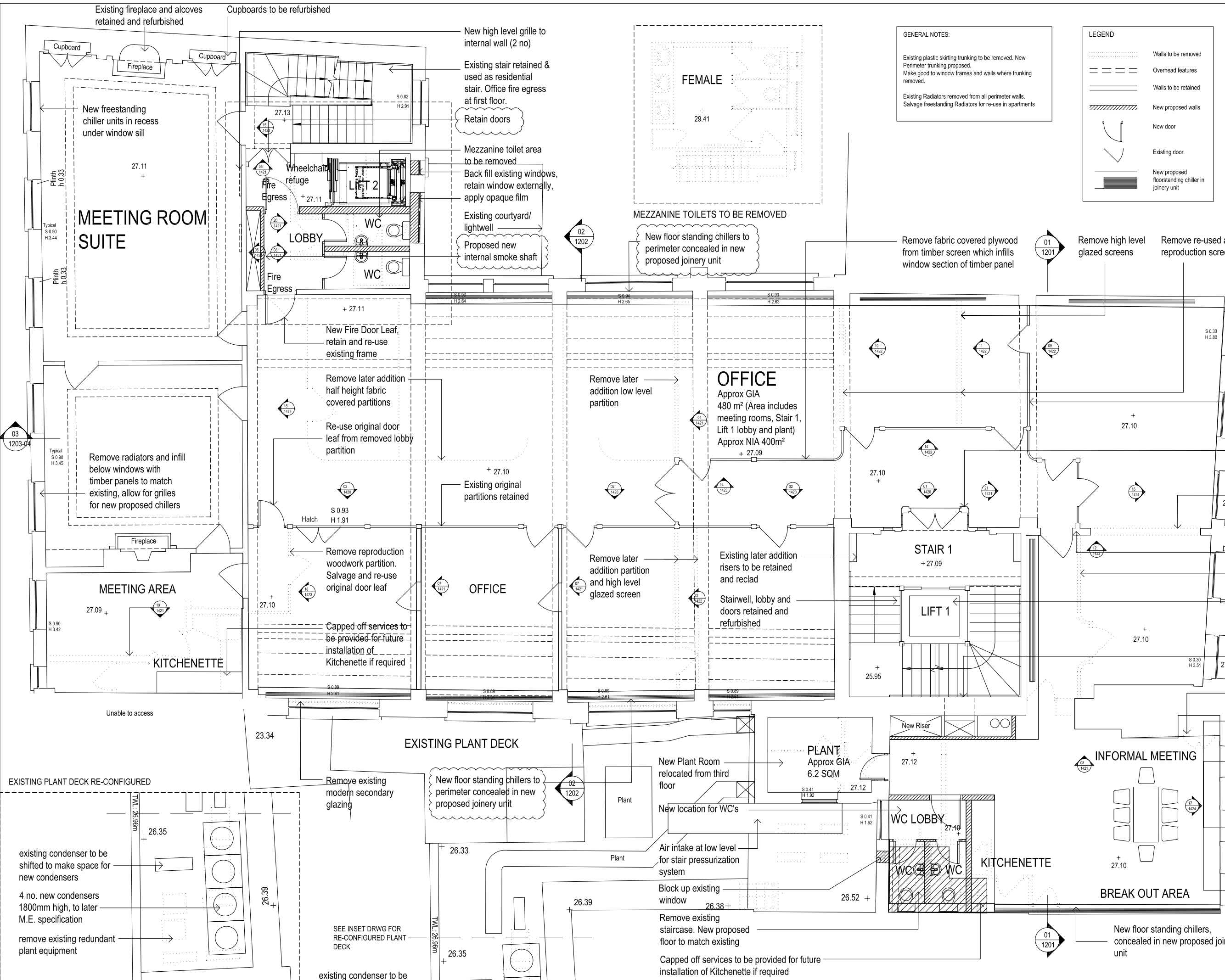
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project
31 GREAT QUEEN STREET

type
HISTORIC DRAWINGS
1926- FIRST AND SECOND FLOOR PLAN

scale	date	drawn
NTS	14/07/08	N/A

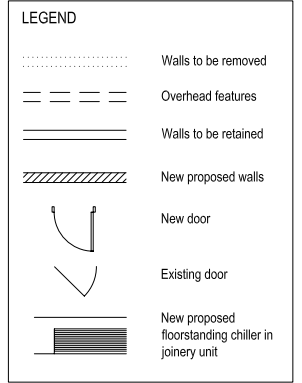
drawing No	revision	status
0727_050



GENERAL NOTES:

Existing plastic skirting to be removed. New Perimeter trunking proposed. Make good to window frames and walls where trunking removed.

Existing Radiators removed from all perimeter walls. Salvage freestanding Radiators for re-use in apartments



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rev	date	description
/	XX/XX/XX	FIRST ISSUE
B	22-08-08	FOR PLANNING
C	10-11-08	ISSUED FOR CONSERVATION OFFICER COMMENT
D	18-11-08	REVISED TO CONSERVATION OFFICER'S COMMENTS, NIA ADDED

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project
31-32 GREAT QUEEN STREET

title
PROPOSED FIRST FLOOR PLAN

FOR REVISED PLANNING

scale	date	drawn
1:100@A3 1:50@A1	06/05/08	AB/ AH

drawing No	revision	status
0727_1112	D	P