

SITE PROPOSED PLAN 1:200



EXISTING

Key



Lifetime Homes

- 1-Car Parking Width**
There are no designated parking spaces within any of the units.
- 2-Access From Car Parking**
There are no designated parking spaces within any of the units.
- 3-Approach Gradients**
The approach to all entrances are subject to existing conditions. There will be **level** access on ALL new houses 1 to 9.
- 4-Entrances**
All entrances are covered by a canopy with integrated lighting. All front doors will have clear opening width of 800mm and 300mm clear area on the leading edge. All internal doors have 775mm clear opening width and 300mm clear to the side of the leading edge. All Corridor width are 1050mm. The Threshold Upstand does not exceed 15mm.
- 5-Communal Stairs & Lifts**
There are no communal stairs in the units as each unit will be privately owned.
- 6-Doorways & Hallways**
All front doors will have clear opening width of 800mm. All corridors have 1050mm width. All internal doors have clear opening width of 775mm.
- 7-Wheelchair Accessibility**
There is space for turning a wheelchair in all living rooms and kitchens. All stated specifications and dimensions to conform to Life Time House standard. There is a distance of 1200mm between the front edge of kitchen units.
- 8-Living Room**
Room arrangements are flexible. Present design shows kitchen/dining at entrance level.
- 9-Entrance Level Bedspace**
All new living room areas can accommodate a single bed space as a temporary measure.
- 10-Entrance Level WC & Shower Room**
We have in each unit a shower room/WC on the entrance level. There is in excess of 1300mm clear space from the front of the WC pan to the wall. There is a clear 700mm to one side of the WC. The centre line of the WC is 450mm from the wall. All entrance WCs have a shower provision. Entrance door opens outwards and has 300mm space to leading edge.
- 11-Bathroom & WC Walls**
All walls will be constructed to allow handrails for future use.
- 12-Stair Lift/Through-Floor Lift**
There is 940mm clear distance between the stair wall and the edge of the opposite handrail/balustrade to allow the provision of future stairlift. All houses meet requirement for a through-the-floor lift from ground to the first floor to a main bedroom.
- 13-Tracking Hoist Route**
A removable panel between the bathroom and bedroom is provided in all houses.
- 14-Bathroom Layout**
The bathroom is designed to incorporate ease of access to the bath, WC and wash basin. There is 1027mm clear space from the front of the WC bowl. There is a clear 988mm to one side of the WC and one side of the bath. There is 1157mm clear space from the front of the wash basin.
- 15-Window Specification**
All existing windows are subject to existing conditions. New windows at entrance level will be mechanically operated and all roof lights will be operated mechanically for ventilation.
- 16-Controls, Fixtures & Fittings**
Switches, sockets, service controls will be at a height usable by all (i.e. between 450mm and 1200mm from the floor). All existing windows are manually operated.

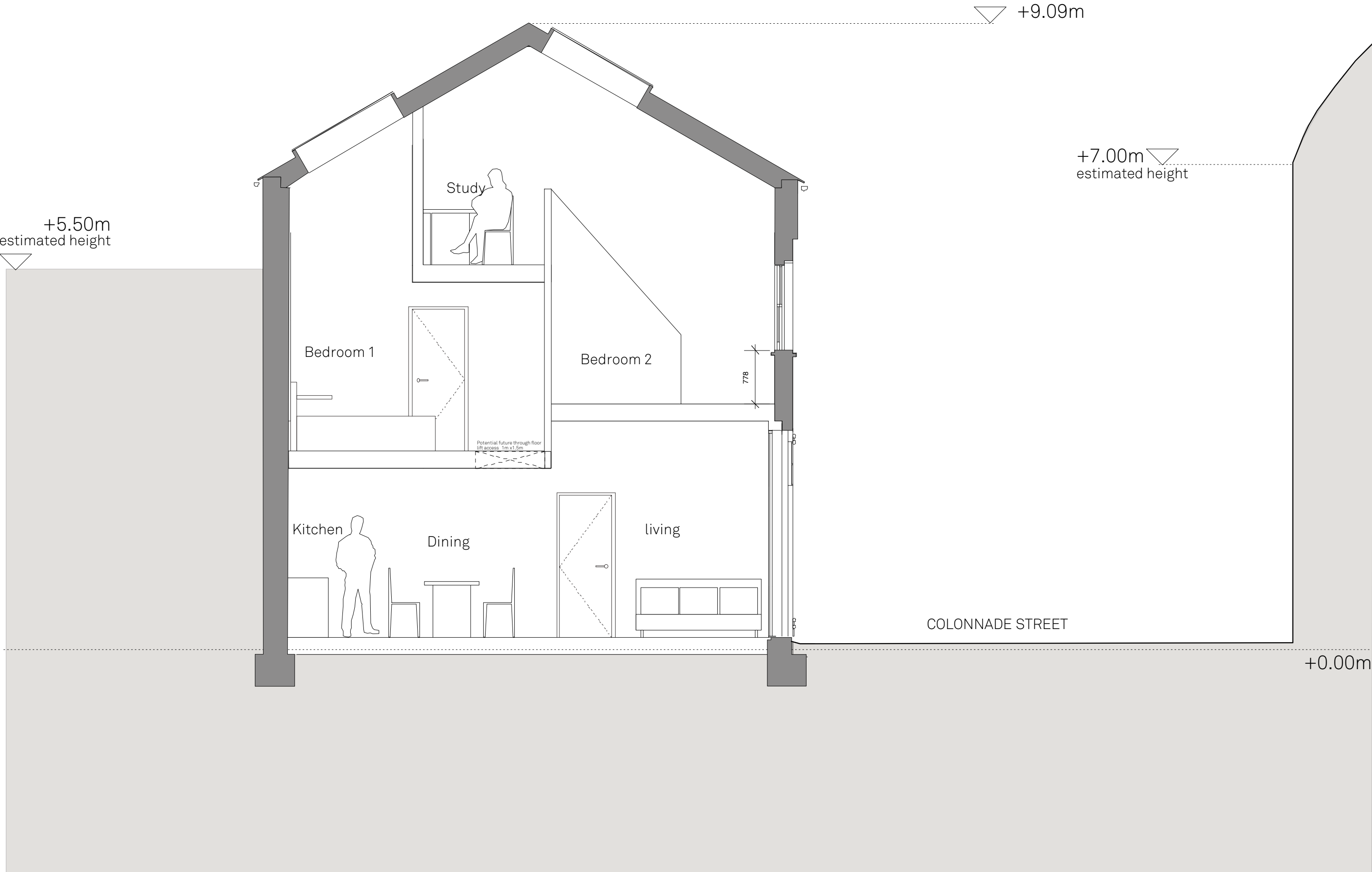
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All dimensions to be checked on site

revision

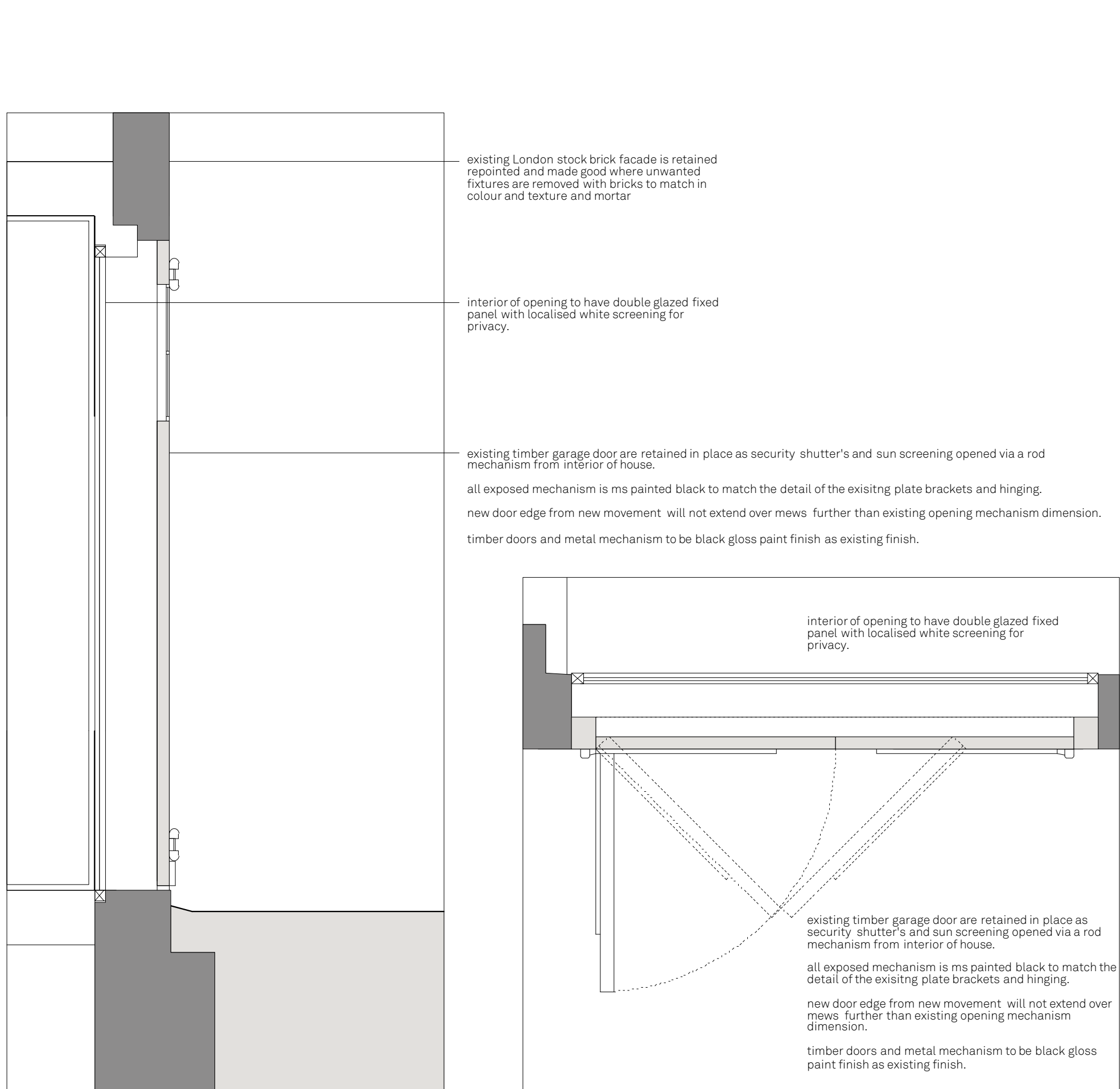
- | | |
|--|--|
| A
- Amendments to general arrangements to comply with Lifetime Homes Standard 4, 6, 9, 10, 12, 13.
- Incorporated internal refuge storage for waste bin and Recycle bins. | |
| B
- Removal of all entrance level canopies | |
| | |
| | |

PLANNING

revision	
description	drawing
Proposed site plan	2008-02-P-100 B
scale	date
1:200 @ A1	14th Sept 2009
project	client
REFURBISHMENT	Ockham Management LTD
address	Ockham House
11-23 Colonnade Mews	Silver Hill
WC1 LONDON	Hurst Green
	TN19 7QE

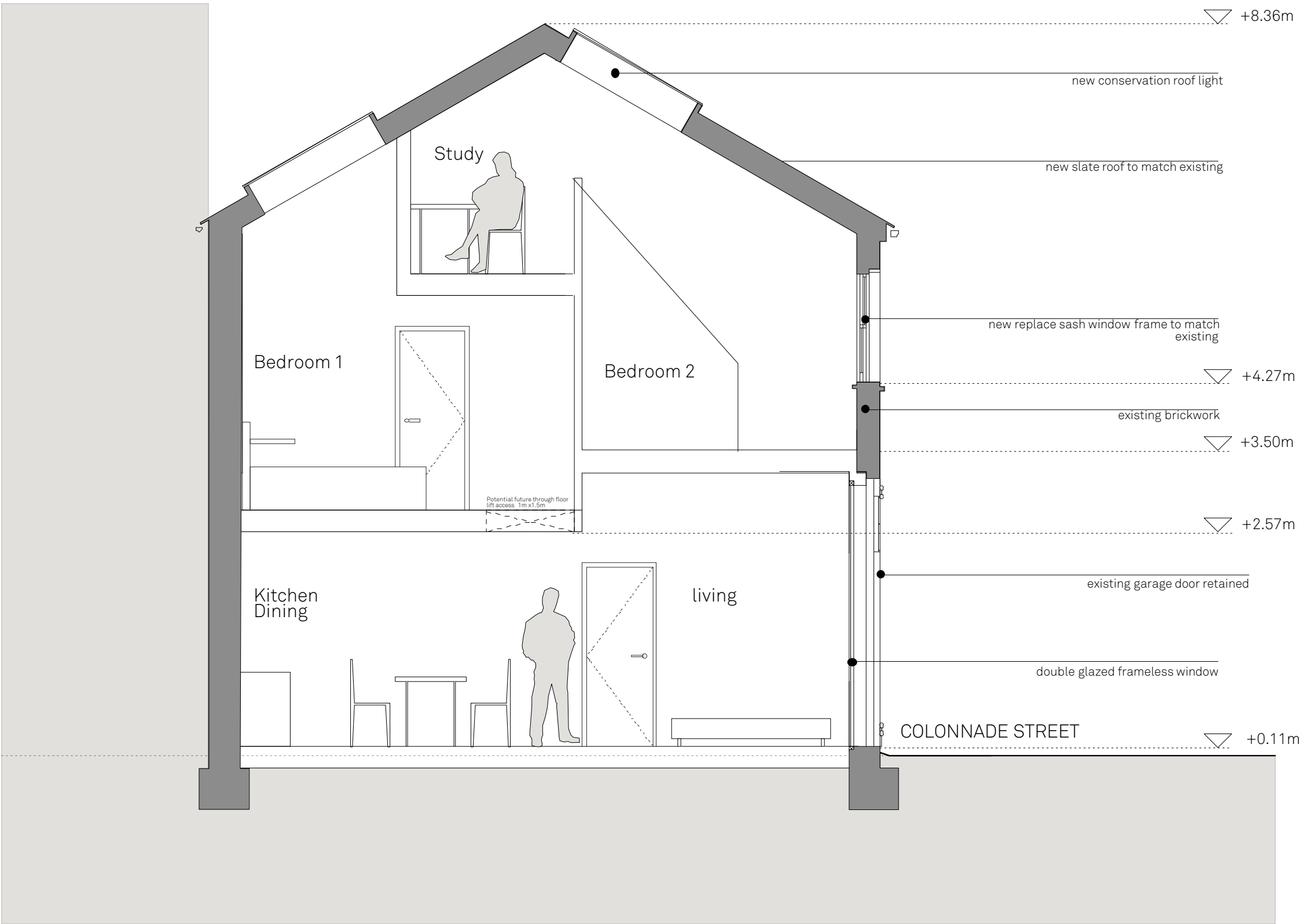


SECTION EE

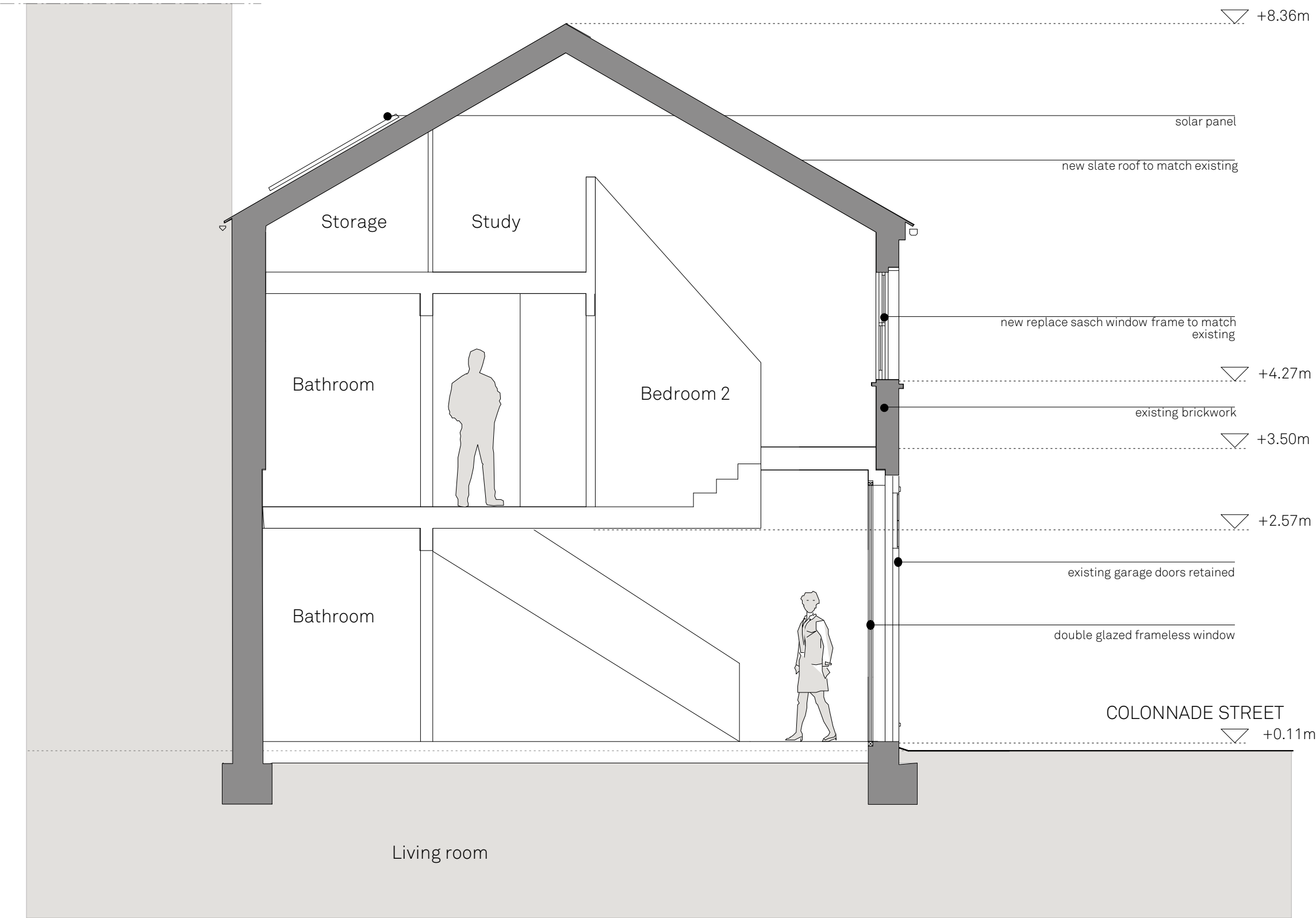


DETAIL GARAGE DOOR SECTION 1:20

DETAIL GARAGE DOOR PLAN 1:20



SECTION DD

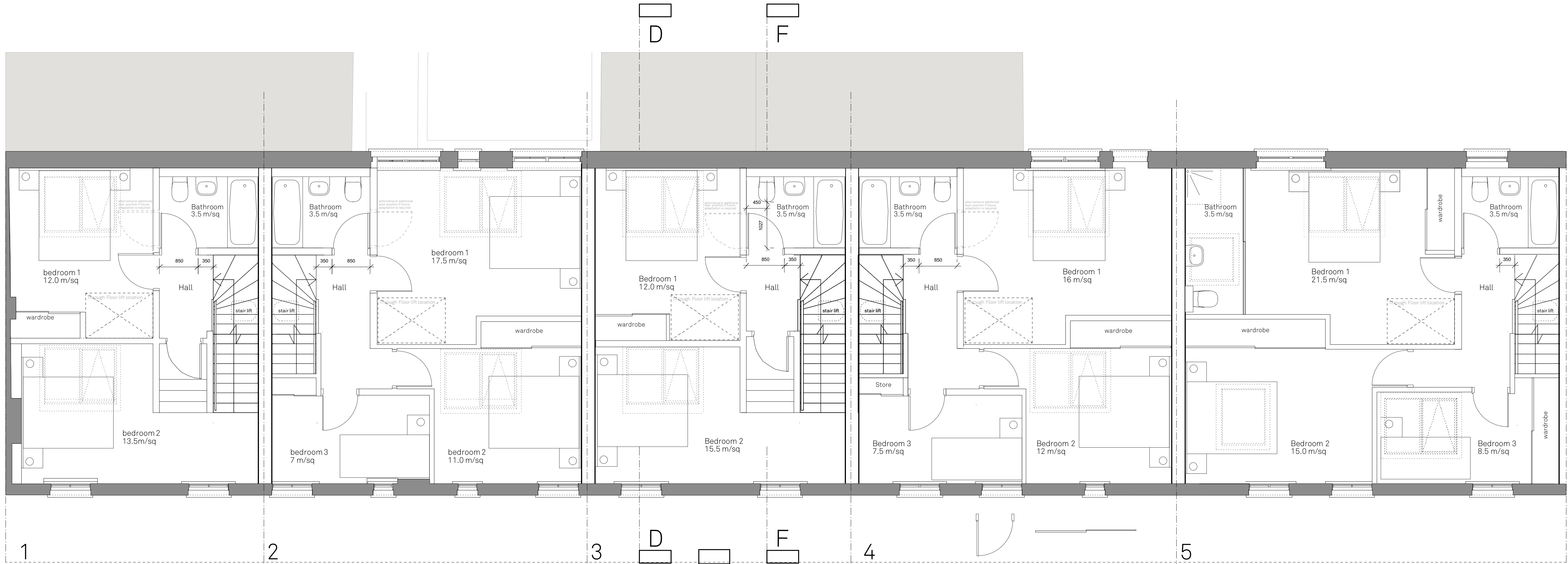


SECTION FF

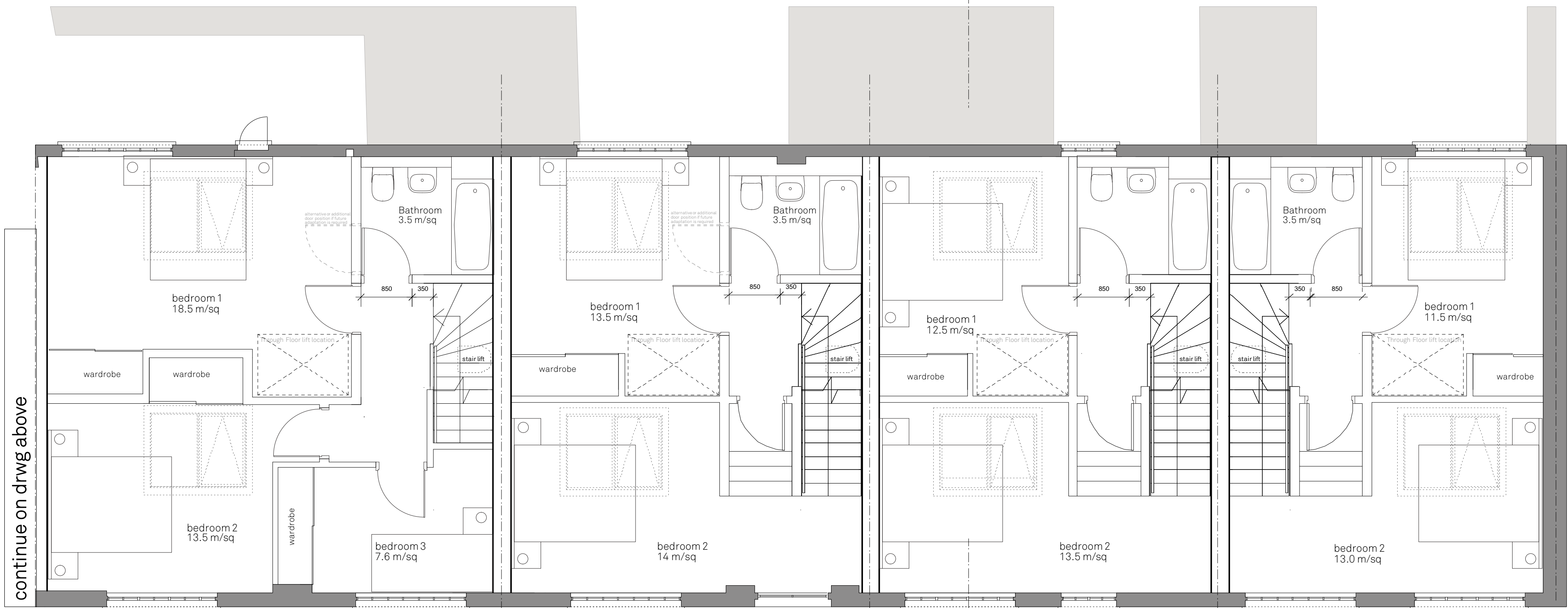
- Notes**
- Lifetime Homes**
- 1-Car Parking Width**
There are no designated parking spaces within any of the units.
- 2-Access From Car Parking**
There are no designated parking spaces within any of the units.
- 3-Approach Gradients**
The approach to all entrances are subject to existing conditions. There will be **Level** access on ALL new houses 1 to 8.
- 4-Entrances**
All entrances are covered by a canopy with integrated lighting. All front doors will have clear opening width of 800mm and 300mm clear area on the leading edge. All internal doors have 775mm clear opening width and 300mm clear to the side of the leading edge. All Corridor width are 1050mm. The Threshold upstand does not exceed 15mm.
- 5-Communal Stairs & Lifts**
There are no communal stairs in the units as each unit will be privately owned.
- 6-Doorways & Hallways**
All front doors will have clear opening width of 800mm. All corridors have 1050mm width. All internal doors have clear opening width of 775mm.
- 7-Wheelchair Accessibility**
There is space for turning a wheelchair in all living rooms and kitchens. All stated specifications and dimensions to conform to Life Time House standard. There is a distance of 1500mm between the front edge of kitchen units.
- 8-Living Room**
Room arrangements are flexible. Present design shows kitchen/dining at entrance level.
- 9-Entrance Level Bedspace**
All new living room areas can accommodate a single bed space as a temporary measure.
- 10-Entrance Level WC & Shower Room**
We have in each unit a shower room/WC on the entrance level. There is a recess of 1200mm clear space from the front of the WC pan to the wall. There is a clear 700mm to org side of the WC. The centre line of the WC is 450mm from the wall. All entrance WCs have a shower provision. Entrance door opens outwards and has 300mm space to leading edge.
- 11-Bathroom & WC Walls**
All walls will be constructed to allow handrails for future use.
- 12-Stair Lift/Through-Floor Lift**
There is 900mm clear distance between the stair wall and the edge of the opposite handrail/balustrade to allow the provision of future stairlift. All houses meet requirement for a through-the-floor lift from ground to the first floor to a main bedroom.
- 13-Tracking Hoist Route**
A removable panel between the bathroom and bedroom is provided in all houses.
- 14-Bathroom Layout**
The bathroom is designed to incorporate ease of access to the bath, WC and wash basin. There is 1077mm clear space from the front of the WC pan to the wall. There is a clear 2400mm to one side of the WC and one side of the bath. There is 1167mm clear space from the front of the wash basin.
- 15-Window Specification**
The building is in a conservation area and all existing windows in the facade have to be retained with their existing heights. New windows at entrance level will be mechanically operated and all roof light will be opened mechanically for ventilation.
- 16-Controls, Fixtures & Fittings**
Switches, sockets, sensor controls will be at a height usable by all (i.e. between 450mm and 1200mm from the floor). All existing windows are manually operated.

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All dimensions to be checked on site

revision	
A	Amendments to general arrangements to comply with Lifetime Homes Standard 4, 6, 8, 10, 12, 13. Incorporated internal refuge storage for waste bin and Recycle bins.
B	10 June 2010 Amendments to comply with Lifetime Homes Standard (12) to allow better access for through floor lift in allocated bedroom by removing wardrobes.
C	Removal of all entrance level canopies.
PLANNING	
revision	
description	drawing
Proposed Sections and details	2008-02-P-216 C
scale	date
1:50 @ A1	1 st August 2009
project	client
REFURBISHMENT	Ockham Management LTD
address	Ockham House
11-23 Colonnade Mews	Silver Hill
WC1 LONDON	Hurst Green
	TN19 7QE
caseyferroarchitects	
Studio 36, Bickerton House, 25 Bickerton Road London N19 5JT	
Tel: 00 44 20 727 2609	



FIRST FLOOR PLAN



6

FIRST FLOOR PLAN

Lifetime Homes

- 1-Car Parking Width**
There are no designated parking spaces within any of the units.
- 2-Access From Car Parking**
There are no designated parking spaces within any of the units.
- 3-Approach Gradients**
The approach to all entrances are subject to existing conditions. There will be level access on ALL new houses 1 to 5.
- 4-Entrances**
All entrances are covered by a canopy with integrated lighting. All front doors will have clear opening width of 800mm and 200mm clear area on the leading edge. All internal doors have 775mm clear opening width and 300mm clear to the side of the leading edge. All Corridor width are 1050mm. The Threshold upstand does not exceed 15mm.
- 5-Communal Stairs & Lifts**
There are no communal stairs in the units as each unit will be privately owned.
- 6-Doorways & Hallways**
All front doors will have clear opening width of 800mm
All corridors have 1050mm width
All internal doors have clear opening width of 775mm.
- 7-Wheelchair Accessibility**
There is space for turning a wheelchair in all living rooms and kitchens.
All stated specifications and dimensions to conform to Life Time House standard
There is a distance of 1200mm between the front edge of kitchen units
- 8-Living Room**
Room arrangements are flexible. Present design shows kitchen/dining at entrance level.
All new living room areas can accommodate a single bed space as a temporary measure.
- 9-Entrance Level Bedspace**
All new living room areas can accommodate a single bed space as a temporary measure.
- 10-Entrance Level WC & Shower Room**
We have in each unit a shower room WC at the entrance level.
There is in excess of 1500mm clear space from the front of the WC pan to the wall.
There is a clear 300mm to one side of the WC.
The centre line of the WC is 450mm from the wall.
All entrance WCs have a shower provision.
Entrance door opens outwards and has 300mm space to leading edge.
- 11-Bathroom & WC Walls**
All walls will be constructed to allow handrails for future use.
- 12-Stair Lift/Through-Floor Lift**
There is 940mm clear distance between the stair wall and the edge of the opposite handrail/balustrade to allow the provision of future stairlift.
All houses meet requirement for a through-the-floor lift from ground to the first floor to a main bedroom.
- 13-Tracking Hoist Route**
A removable panel between the bathroom and bedroom is provided in all houses.
- 14-Bathroom Layout**
The bathroom is designed to incorporate ease of access to the bath, WC and wash basin.
There is 1022mm clear space from the front of the WC bowl.
There is a clear 900mm to one side of the WC and one side of the bath.
There is 1100mm clear space from the front of the wash basin.
- 15-Window Specification**
All existing windows are subject to existing conditions. New windows at entrance level will be mechanically operated and all roof light will be opened mechanically for ventilation.
- 16-Controls, Fixtures & Fittings**
Switches, sockets, service controls will be at a height usable by all (i.e. between 450mm and 1200mm from the floor). All existing windows are manually operated.

Key

- EXISTING BUILDINGS
- EXISTING WALLS
- NEW WALLS

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revision

A	Amendments to general arrangements to comply with Lifetime Homes Standard 4, 6, 9, 10, 12, 13. Incorporated internal storage for waste bin and Recycle bins.	

PLANNING

revision	
description	drawing
Proposed general arrangement	2008-02-P-211 A
scale	date
1:50 @ A1	1 st August 2009
project	client
REFURBISHMENT	Ockham Management LTD
	Ockham House
	Silver Hill
address	Hurst Green
11-23 Colonnade Mews	WC1 London
WC1 LONDON	TN19 7QE

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Studio 36, Bickerton House, 25 Bickerton Road London N19 5JT
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PLANNING

Proposed elevations

2008-02-P-214 A

date	1 st August 2009
client	Ockham Management LTD Ockham House Silver Hill Hurst Green TN19 7QE

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