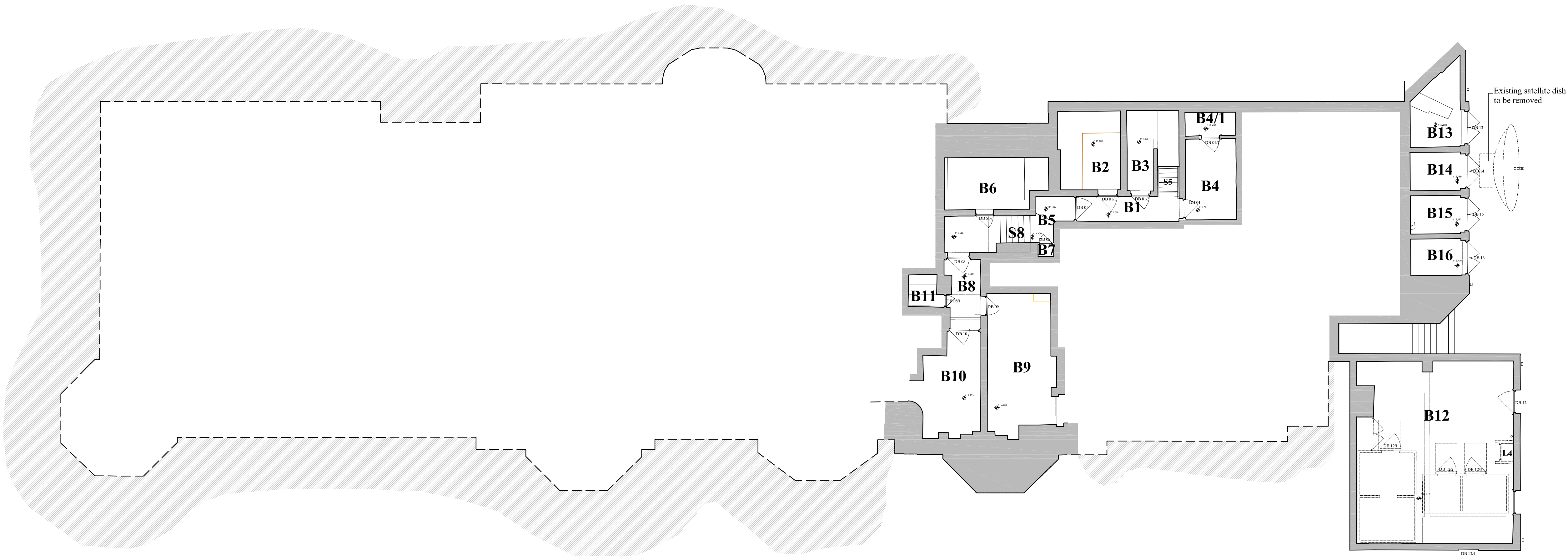
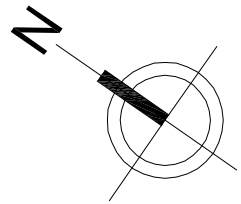


As existing plans and elevations based on measured survey carried out by The Downland Partnership Limited in May 2008.



Key:

- Existing wall
- Walls,doors & items to be removed
- Existing doors

LBC2	07/09/10	EXISTING SATELLITE DISH ADDED TO DWG	
Rev.	Date	Reason For Issue	Chk

Status  
**LISTED BUILDING  
CONSENT**



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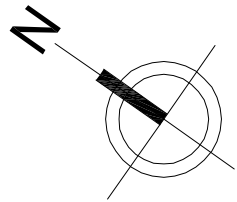
Client  
HANLEY LIMITED

Project  
BEECHWOOD HOUSE  
RESTORATION AND IMPROVEMENTS

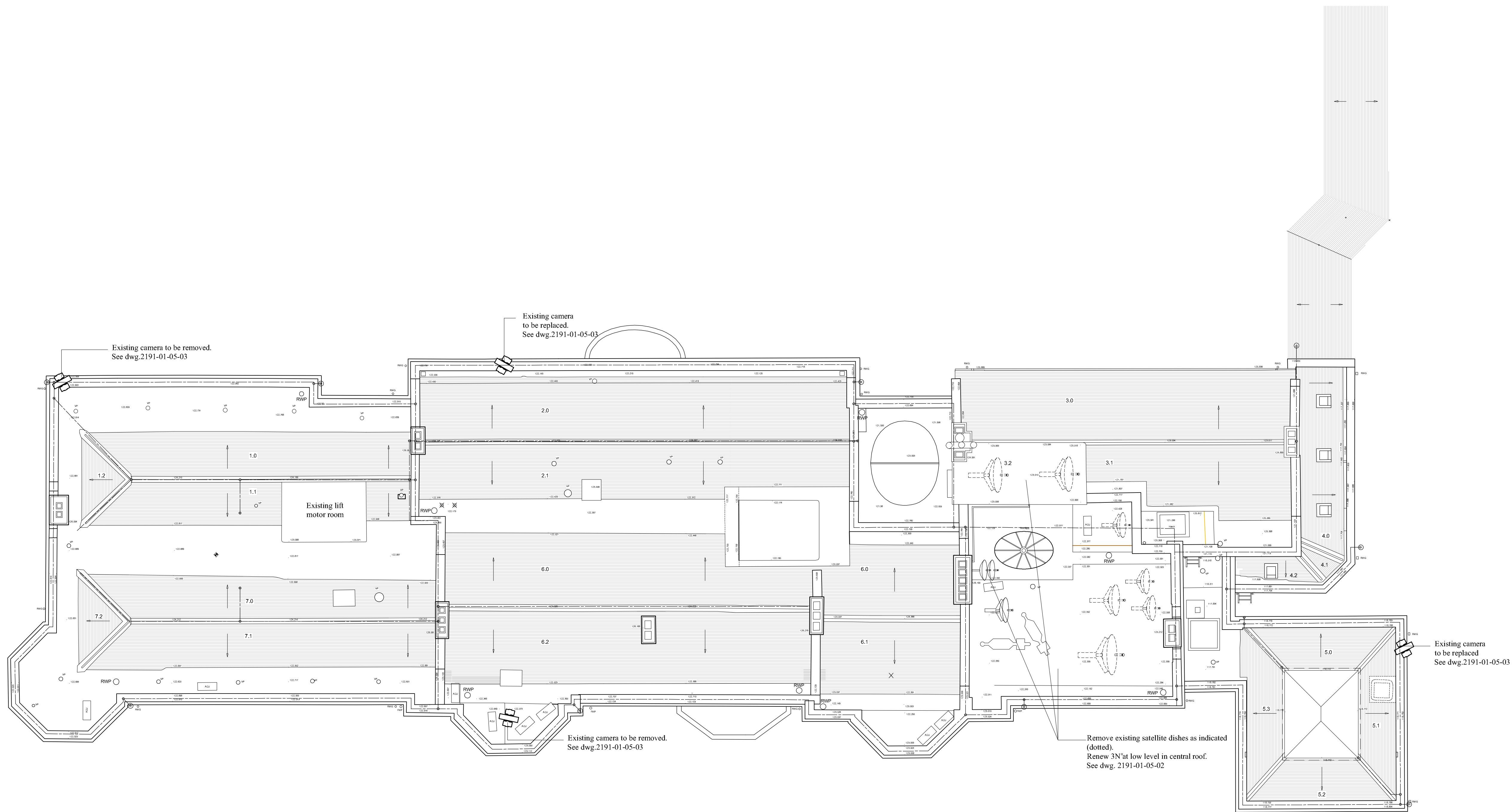
Title  
BASEMENT PLAN  
AS EXISTING

Date	Aug 2008	Scale	1/100@A1
Checked By	VS	Drawn By	PC

Drawing Number	Revision
<b>2191-01/00/01</b>	<b>LBC2</b>



As existing plans and elevations based on measured survey carried out by The Downland Partnership Limited in May 2008.



Key:

- Existing wall
- Walls, doors & items to be removed
- Existing doors

LBC3	07-09-10	location of existing satellite dishes amended	
LBC2	31-08-10	location of existing satellite dishes & security cameras	
Rev.	Date	Reason For Issue	Chk

Status  
**LISTED BUILDING  
CONSENT**

**M**  
**A**  
**A**  
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Client  
**HANLEY LIMITED**

Project  
**BEECHWOOD HOUSE  
RESTORATION AND IMPROVEMENTS**

Title  
**ROOF PLAN  
AS EXISTING**

Date	Aug 2008	Scale	1/100@A1
Checked By	VS	Drawn By	PC
Drawing Number	<b>2191-01/00/04</b>	Revision	<b>LBC3</b>

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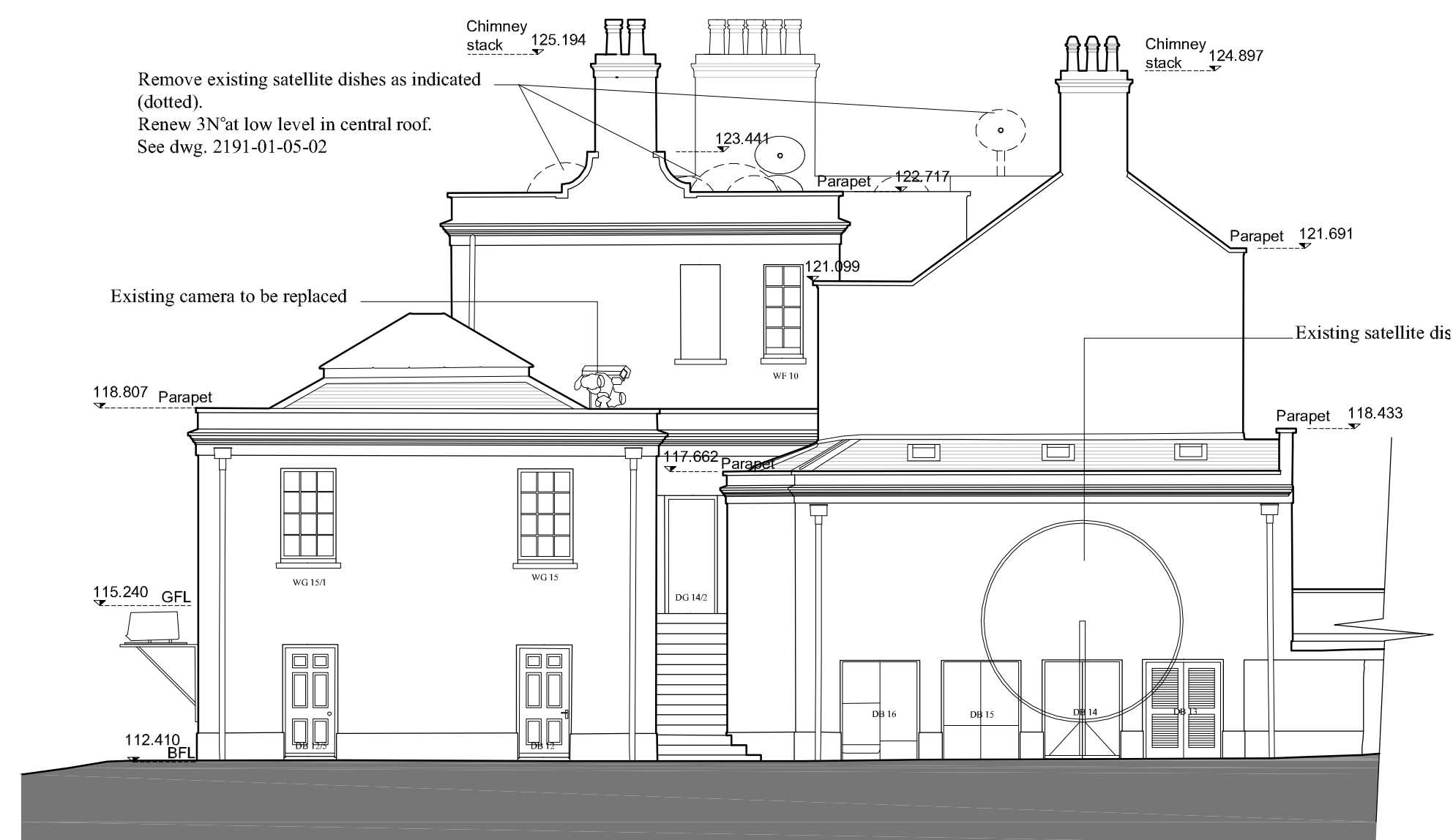
As existing plans and elevations based on  
measured survey carried out by The Downland  
Partnership Limited in May 2008



NORTH EAST ELEVATION



SOUTH WEST ELEVATION



SOUTH EAST ELEVATION



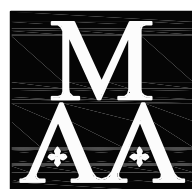
NORTH WEST ELEVATION

Key:

— — —	Walls,doors & items to be removed
-------	-----------------------------------

LBC3	07-09-10	location of existing satellite dishes amended	
LBC2	31-08-10	location of existing satellite dishes & security cameras	.
Rev.	Date	Reason For Issue	Chk

Status **LISTED BUILDING  
CONSENT**



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Client  
HANLEY LIMITED

Project  
BEECHWOOD HOUSE  
RESTORATION AND IMPROVEMENTS

Title  
EXTERNAL ELEVATIONS  
AS EXISTING

Date	Aug 2008	Scale	1/100@A1
Checked By	VS	Drawn By	PC
Drawing Number			Revision
2191-01/00/05			LBC3

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As existing plans and elevations based on measured survey carried out by The Downland Partnership Limited in May 2008.

GENERAL NOTES:

- Proposed works to external fabric of the building are largely to essential repairs to windows, render and subsequent redecoration. Limited roof repairs to existing slate roofs and replacement of 'failed' asphalt; parapet gutters and flat roof areas are being carried out to maintain a weather tight structure. No alterations to existing setting and landscaping of the House are proposed.
- Proposed improvements to the external fabric are noted on the drawings and principally involve the replacement of the secondary entrance corridor and store rooms at the east end of the House to provide new service accommodation for the existing Kitchen.
- Where repairs allow, the opportunity to improve details or provide essential new facilities will be taken with provision of a 'fall arrest' system and a more discrete lightning protection installation.
- Renewal of building services should allow the improvement of the external appearance by the removal of modern external drainage pipework, roof mounted ventilation ductwork and plastic trunking associated with the Chiller pipework.
- The existing heating and electrical installations have partially failed, need to be replaced and will be carefully stripped out throughout the building.
- Light fittings will be retained wherever appropriate to the character of the building interiors and will be refurbished as required.
- Existing modern fan coil radiator casings are being removed and replaced with new sympathetically designed joinery and furniture pieces.
- Existing service and drainage routes will be used wherever possible with a presumption of minimum intervention with the historic fabric in all instances.
- These proposals do not envisage any significant structural alterations to the existing fabric, with all new partitions being formed as non-load-bearing plaster and lath studwork partitions within existing internal spaces.
- Generally existing floor finishes (carpet on plywood) are being replaced with new hardwood or stone floors to give a more appropriate finish and appearance subject to approval of sample.
- All bathrooms will be provided with stone tile surfaces with under-floor heating which will overlay existing flooring (strengthened) where necessary.
- A number of the modern 'dropped' suspended plasterboard ceilings are being replaced (consequence of removal of internal services ductwork and pipe runs) and will be replaced with new fibrous plaster ceilings and cornices, reinstated closer to their original room height.
- Existing panelled door leaves, where no longer required are generally being re-used in alternative locations, while the modern glass door leaves will be discarded.
- Existing door linings will be retained, with a number of doors indicated for handing and re-hanging within existing openings.
- Modern architraves and pre-fabricated skirtings will generally be replaced with a more appropriately detailed timber section. Refer to details No. 2191-01/03/20 + 21.
- Modern replacement ironmongery will generally be replaced with better quality, historically appropriate fittings throughout to approved samples.
- Existing 'dated' and poor quality internal decorations are being renewed with an emphasis on paint schemes that reinforce the more relevant and significant 'Regency' character of the house.

Key:

- Existing wall
- Proposed walls and alterations
- Walls, doors & items to be removed
- Existing doors
- New doors

LBC3	07-09-10	location of existing satellite dishes amended	
LBC2	31-08-10	location of proposed satellite dishes & security cameras	
Rev.	Date	Reason For Issue	Chk

Status  
**LISTED BUILDING  
CONSENT**

**M**  
**A**  
**A**

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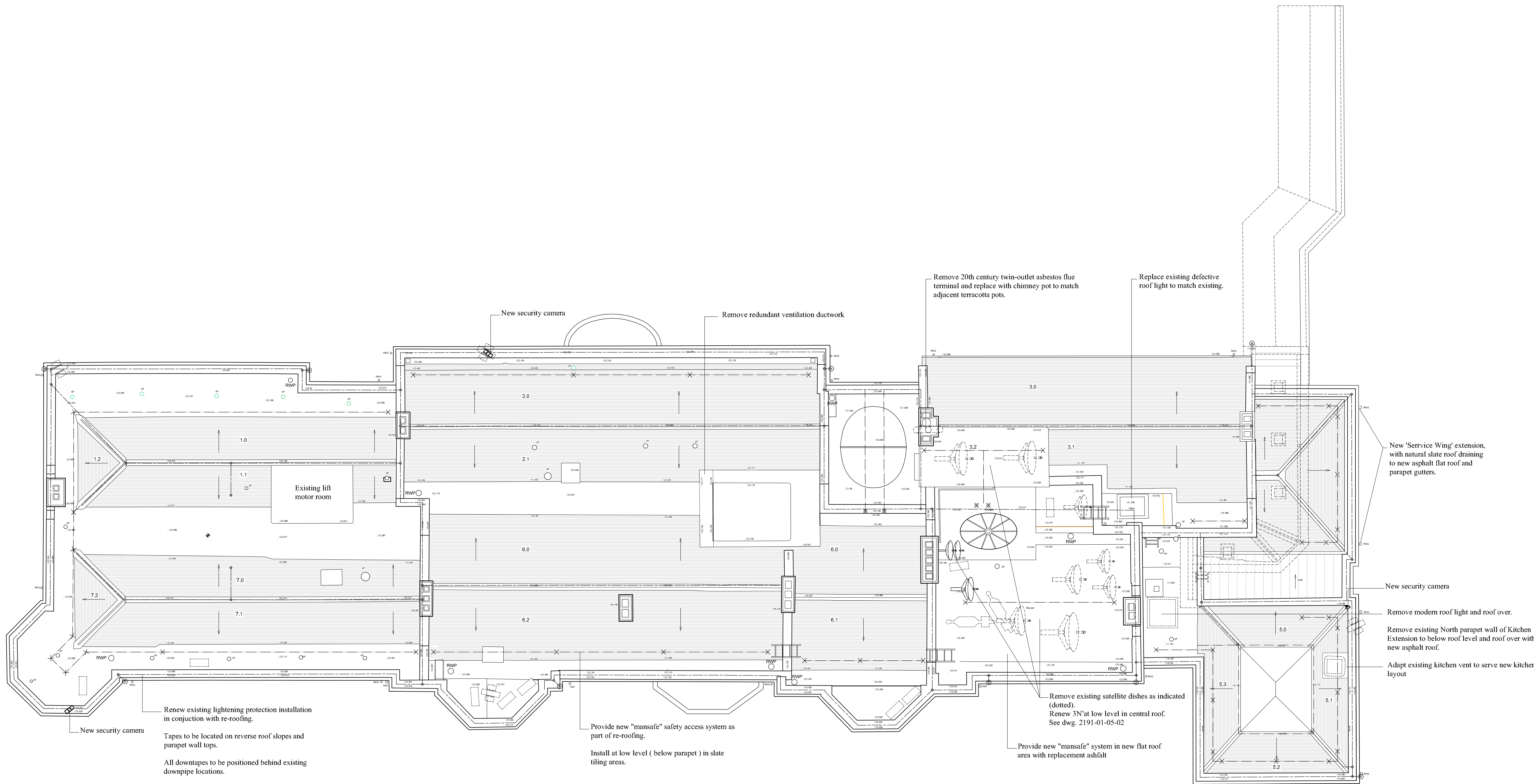
Client  
**HANLEY LIMITED**

Project  
**BEECHWOOD HOUSE  
RESTORATION AND IMPROVEMENTS**

Title  
**ROOF PLAN  
AS PROPOSED**

Date	Aug 2008	Scale	1/100@A1
Checked By	VS	Drawn By	PC
Drawing Number	<b>2191-01/01/04</b>	Revision	<b>LBC3</b>

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0 1000 2000 5000 10 000mm



As existing plans and elevations based on measured survey carried out by The Downland Partnership Limited in May 2008.

GENERAL NOTES:

- Proposed works to external fabric of the building are largely to essential repairs to windows, render and subsequent redecoration. Limited roof repairs to existing slate roofs and replacement of 'failed' asphalt parapet gutters and flat roof areas are being carried out to maintain a weather tight structure. No alterations to existing setting and landscaping of the House are proposed.
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- Existing door linings will be retained, with a number of doors indicated for handling and re-hanging within existing openings.
- Modern architraves and pre-fabricated skirtings will generally be replaced with a more appropriately detailed timber section. Refer to details No. 2191-01/03/20 + 21.
- Modern replacement ironmongery will generally be replaced with better quality, historically appropriate fittings throughout to approved samples.
- Existing 'dated' and poor quality internal decorations are being renewed with an emphasis on paint schemes that reinforce the more relevant and significant 'Regency' character of the house.

Key:

--- Walls, doors & items to be removed

LBC3	07-09-10	location of existing satellite dishes amended	
LBC2	31-08-10	location of proposed satellite dishes & security cameras	
Rev.	Date	Reason For Issue	Chk

Listed Building Consent

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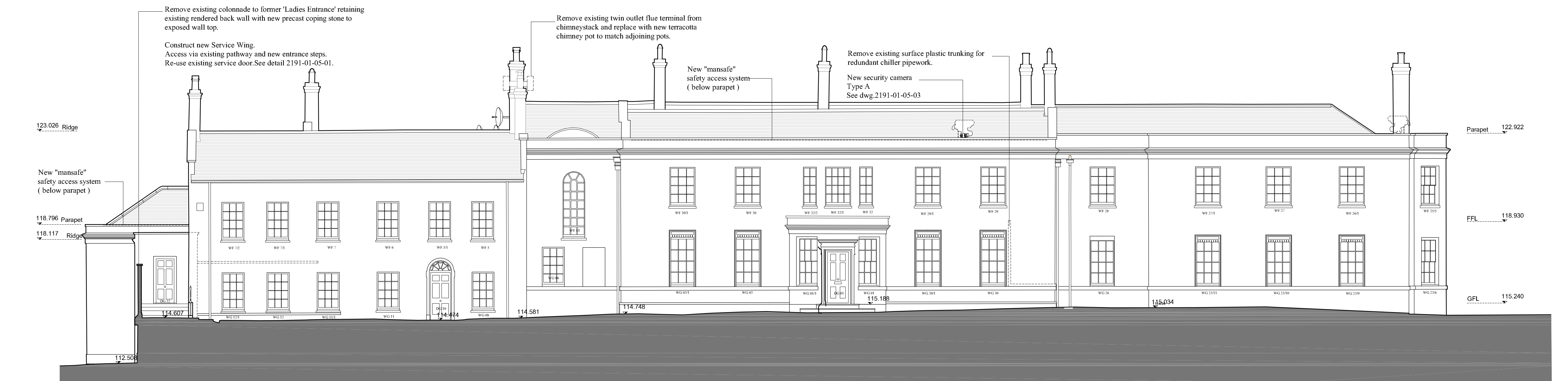
Client  
HANLEY LIMITED

Project  
BEECHWOOD HOUSE  
RESTORATION AND IMPROVEMENTS

Title  
EXTERNAL ELEVATIONS  
AS PROPOSED

Date	Aug 2008	Scale	1/100@A1
Checked By	VS	Drawn By	PC
Drawing Number	2191-01/01/05	Revision	LBC3

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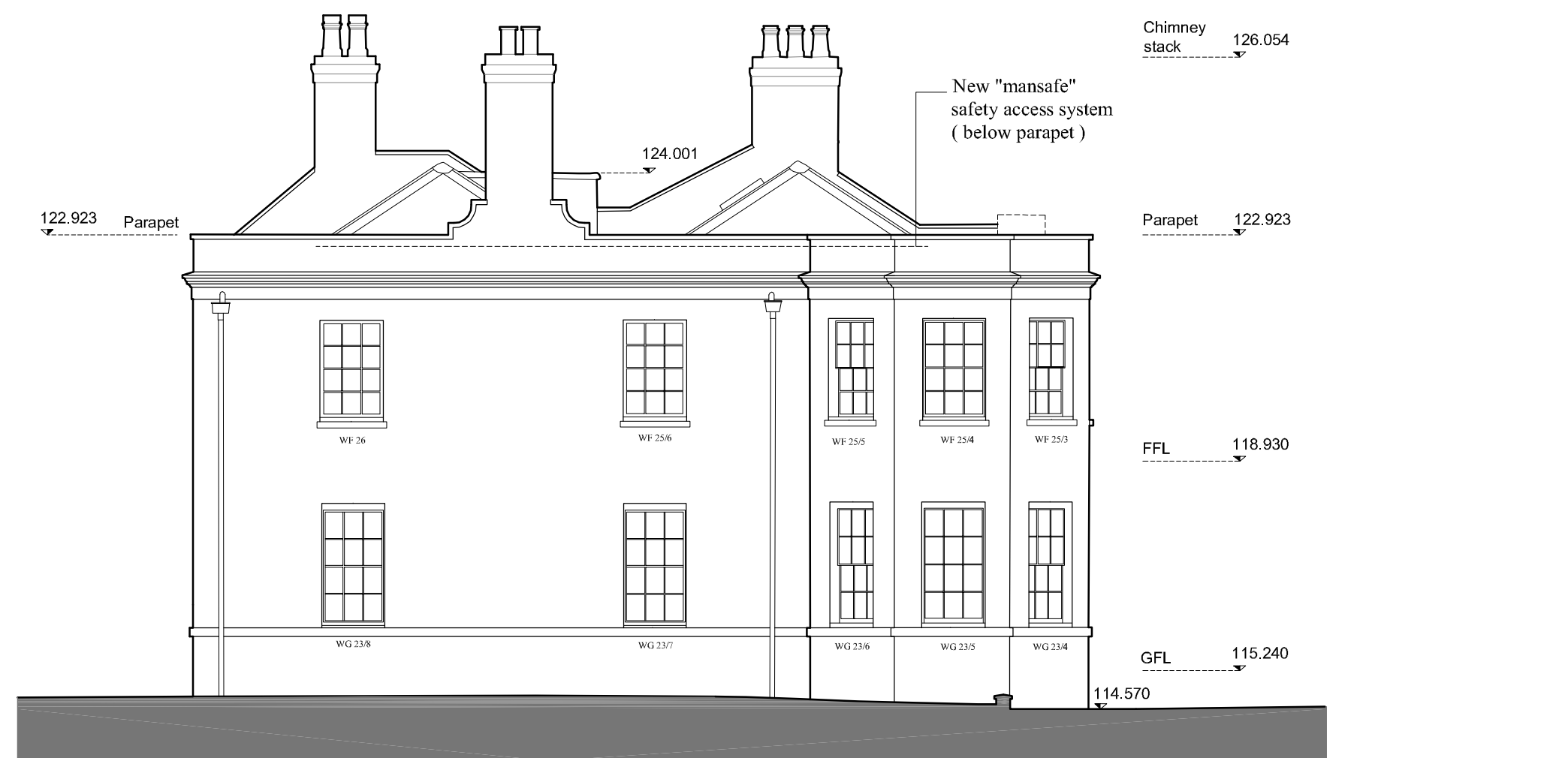
NORTH EAST ELEVATION



SOUTH WEST ELEVATION



SOUTH EAST ELEVATION



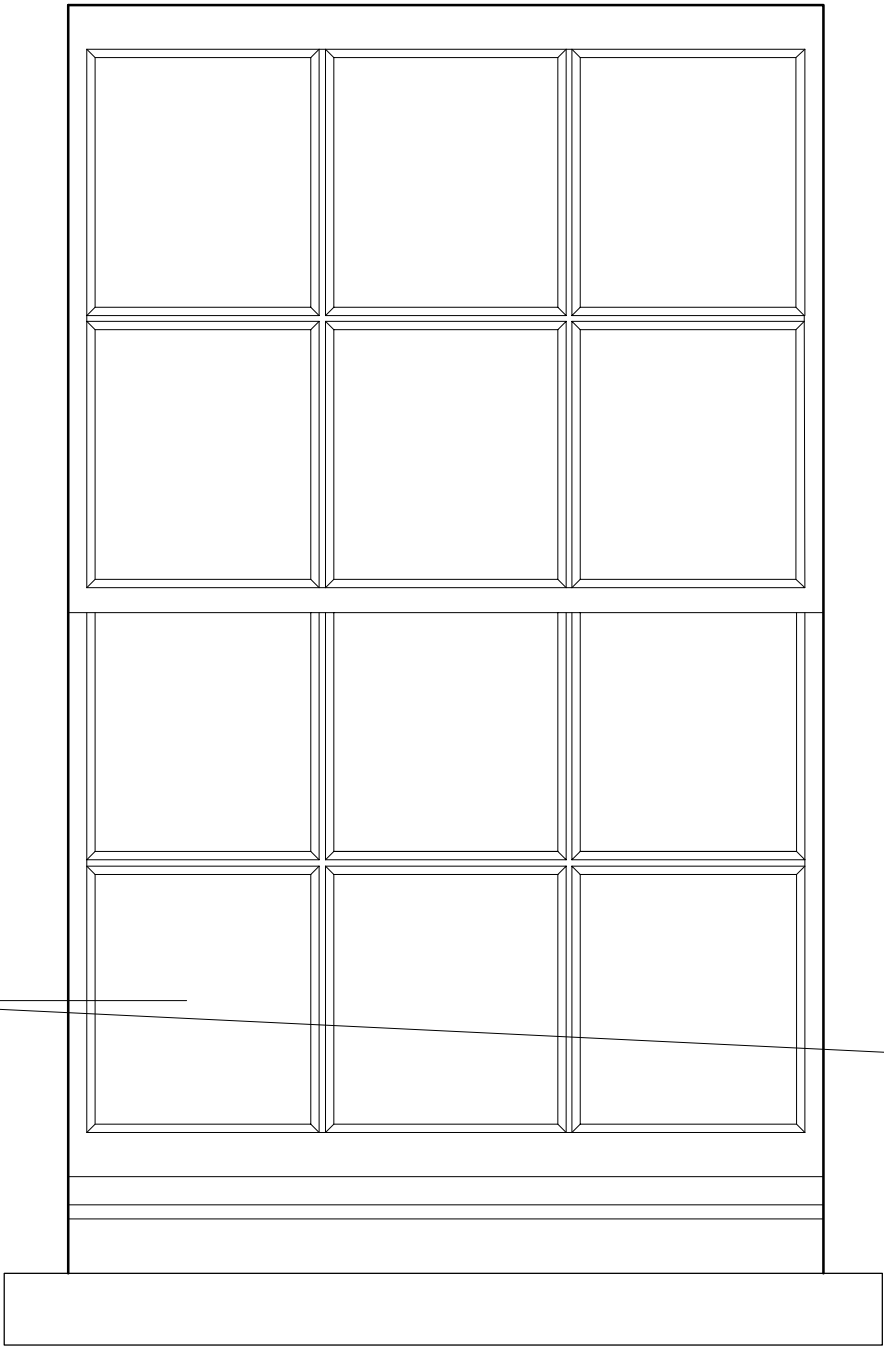
NORTH WEST ELEVATION

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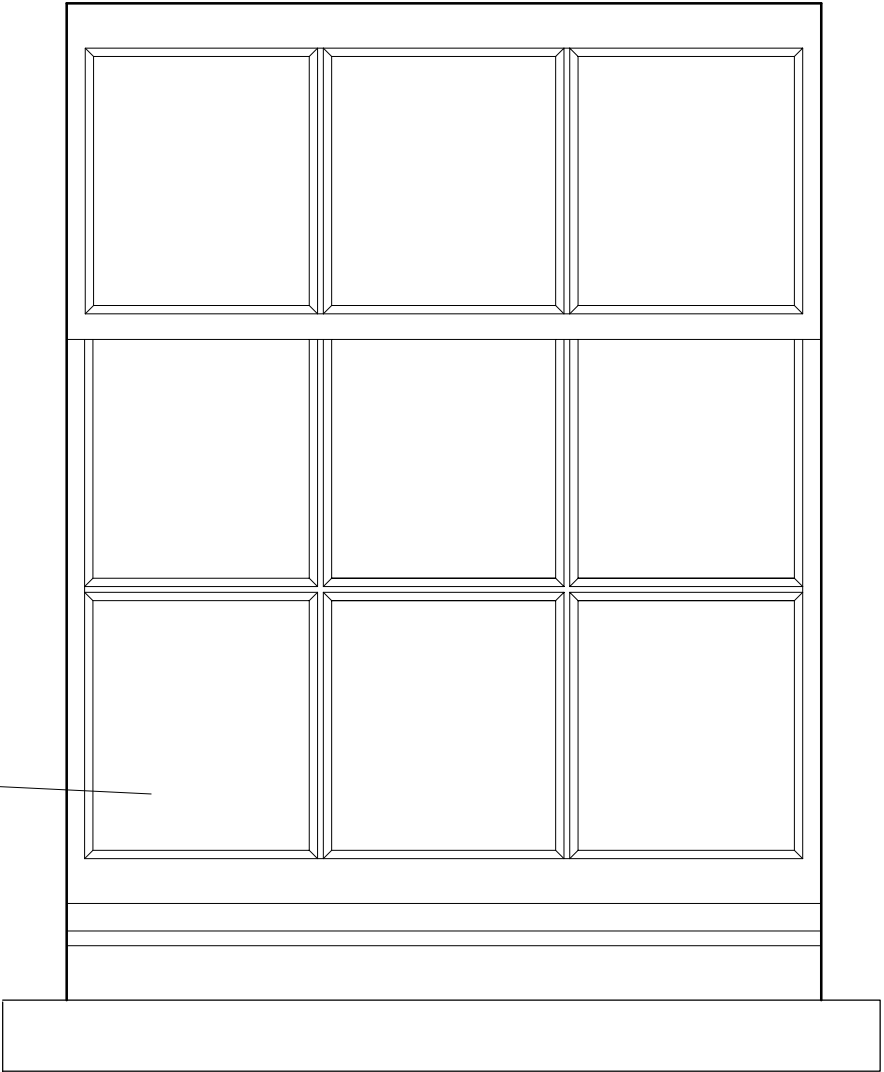


EXISTING WINDOW WG15  
( single glazed )

Single Glazed



PROPOSED WINDOWS WG32  
ALL DETAILS TO MATCH EXISTING WINDOWS WG15 & WG 15/1



PROPOSED WINDOWS WB17 & WB18

- GENERAL NOTES:**
- 1. Do not scale from this drawing. Use figured dimensions only. Contractor to check dimensions on site prior to construction and notify CA of any discrepancy.
  - 2. This drawing is to be read in conjunction with all other relevant contract drawings, specifications & Schedules.
  - 3. If in doubt: Ask
  - 4. Martin Ashley Architects shall be notified in writing of any discrepancies.

**KEY:**

LBC2	07/09/10	NOTE ADDED	
LBC1	31/08/10	FIRST ISSUE	.
Rev.	Date	Reason For Issue	Chk

Status  
**LISTED BUILDING CONSENT**



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Client	HANLEY LIMITED		
Job	BEECHWOOD HOUSE RESTORATION AND IMPROVEMENTS		
Title	EXISTING WINDOW WG15 & PROPOSED WINDOWS WG32, WB17, WB18		
Date	August 2010	Scale	1:10@A3
Drawn By	VS	Checked By	.
Drawing Number	2191-01/05/04		Revision LBC2