



Foundation  
architecture

## Full Planning Application with Design & Access Statement, Conservation Area Impact Assessment & Environmental Performance Statement.

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445:

18 STUKELEY STREET, LONDON WC2B 5LR

December 2010



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## II

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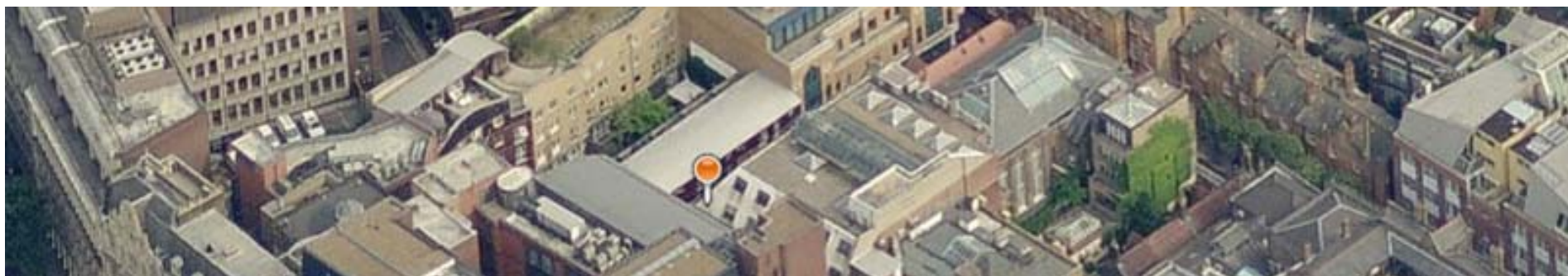
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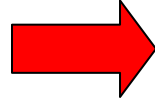
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Image 2. Location Plan



Image 3. Bird's Eye View from the West





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## 1.0 Existing

1.01



Image 5. View of SW Elevation Facing Smarts Place

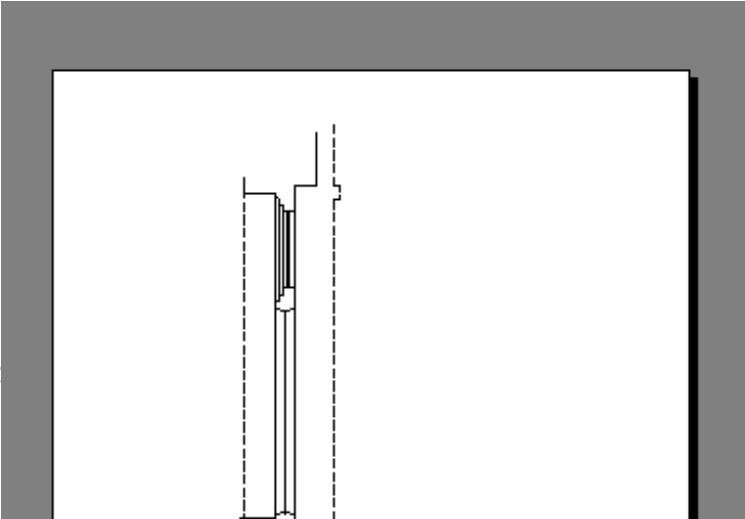
Image 4. View looking South East down Smarts Place

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Image 6. Section through existing window



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Image 7. The existing window arrangement is not original and not well executed.



Images 8 - 11. Examples of similar combined basement / ground floor windows to similar 'manufacturage' buildings in the area - 20-22 Stukeley Street, Newton Street and Emerald Street.



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## 1.02 Site & Scale

The site sits at the South end of Smarts Place, opposite the International House building, and sharing a blank party wall with No. 8 Smarts Place. There is a great range of architectural styles in the area, from late Victorian warehouses, 1930's offices to late 20<sup>th</sup> Century brick and steel and glass offices

The building is located in the Seven Dials ( Covent Garden ) Conservation Area.

At basement and ground plus three storeys, it is at least two stories lower than most of the surrounding buildings. Our proposal to combine the ground and basement windows takes it's cue from various neighbouring 'manufacturage' buildings which have raised ground floor levels.



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### 1.03 Existing Uses



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