

New window to match existing with trickle ventilators for background ventilation and a minimum u-value 2.0w/m<sup>2</sup>K compliant with Part L of the Building Regulations.

New window location to be opened up fully as trade entrance, second floor to be isolated from rest of house, access via scaffolding to the rear.

**B2003**  
182-09

New wall constructed of 1No. layer 12.5mm plasterboard (vapourcheck board or Tyvek sheeting) on 50x100mm treated SW timber studs, 12mm ply with 25x25mm timber attens with 25x25mm timber counter battens, cladding finish tbc

New wall constructed of 1No. layer 12.5mm plasterboard (vapourcheck board or Tyvek sheeting) on 50x100mm treated SW timber studs, 12mm ply with 25x25mm timber attens with 25x25mm timber counter battens, cladding finish tbc

**Section C-C**  
182-09-4001

New window to match existing with trickle ventilators for background ventilation and a minimum u-value 2.0w/m<sup>2</sup>K compliant with Part L of the Building Regulations.

**Section B-B**  
182-09-4000

**B2004**  
182-09

New Dormer wall constructed of 1No. layer 12.5mm plasterboard (vapourcheck board or Tyvek sheeting) on 50x100mm treated SW timber studs, 12mm ply with 25x25mm timber attens with 25x25mm timber counter battens.

New conservation Velux windows over to match existing

Existing plasterboard ceiling to be removed, its beams to be exposed and treated where necessary. New 12.5mm plasterboard with 25mm Kingspan K10/K11 insulation to be fixed to underside of existing rafters.

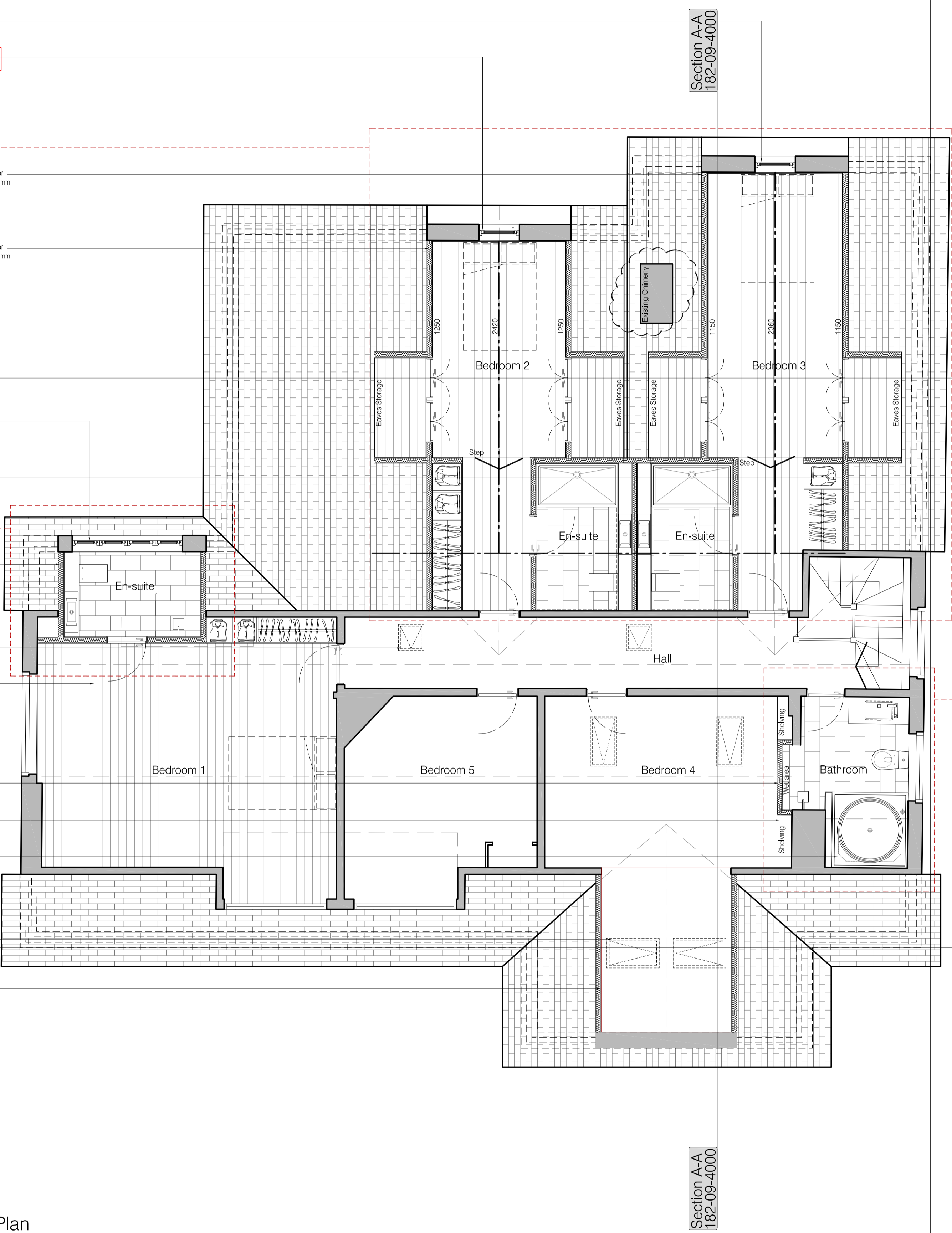
Existing wall to be partially demolished to allow for new shower with wet area.

New recessed shelving

Blue Moon Square Bathub with wooden in-fill by Duravit, ref code #700143 and 790652 00 0 00 0000

New conservation Velux windows over

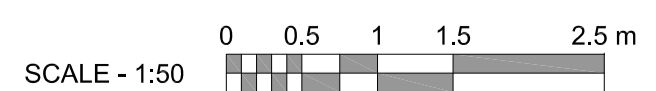
New Dormer wall constructed of 1No. layer 12.5mm plasterboard (vapourcheck board or Tyvek sheeting) on 50x100mm treated SW timber studs, 12mm ply with 25x25mm timber attens with 25x25mm timber counter battens.



Proposed Second Floor Plan

**Notes:**  
Survey information provided by Mark Newman Surveys.  
All dimensions to be checked on site prior to manufacture.  
All materials to be recycled where possible.

This drawing is to be read in conjunction with drawings D2001, B2003, B2004, 4000, 4001 3000, 3001, 3002, 3003, 3004 Specifications C20, K10, M60



Lighting	
	Recessed Stainless floor light - Aurora - AU-WU021
	Pendant Fitting - 450mm Ø Tom Dixon Copper Shade
	LV Spot Light - Client to Approve
	LV Moisture Resistant Spot Light - Client to Approve
	Combined Downlight and Extract Fan - Provides 30ltrs/sec with 15min overrun

Electrical	
	Single Socket Outlet
	Double Socket Outlet
	Shaver Point
	Fused Switch Spur
	Light Switch
	Two way Light Switch
	Television aerial outlet
	Telephone point
	Consumer Control Unit
	Smoke Detector
	Heat Detector
	Telephone Entry
	Thermostat

Note: All Lighting within ceiling zone to have intumescent hood with minimum 30mins fire resistance

Floor Finishes	
	Internal Tiling: TBC
	Internal Timber: tbc
	Internal: Carpet Finish - TBC

Sanitary	
	Wc: Catalano 'Verso' wall mounted wc with soft close seat Pushplate: Cistern:
	Washbasin: Catalano 'Verso' - 75 wall mounted washbasin Tap: Bristan - TBC
	Washbasin: Catalano 'Verso' - 65 wall mounted washbasin Tap: Bristan - TBC
	Shower tray: Catalano Verso - 150 flush shower tray Screen: 12mm toughened clear frameless glass Shower Valve: TBC Shower Head: Bristan - TBC
	Blue Moon Square Bathub with wooden in-fill by Duravit.

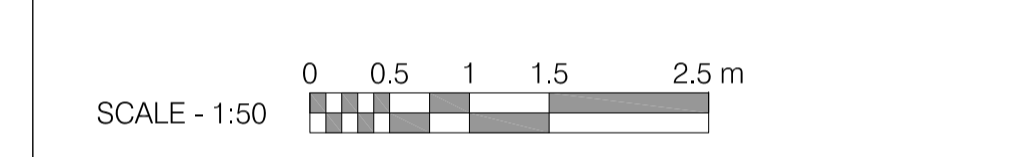
Fittings	
	Fitted wardrobe - refer to interior package

Wall & Floor Specifications (Compliant to Building Regulations Part B, E & L)	
	Dormer External Walls - 1 No. layer 12.5mm Gyproc Soundbloc Plasterboard (either vapourcheck plasterboard or Tyvek sheeting behind board). Plasterboard to be taped and skimmed on 50x100mm timber studs to structural engineers design, details and specification.
	Internal Walls - 1 No. layer 12.5mm Gyproc Soundbloc Plasterboard (moisture resistant to wet areas). Plasterboard to be taped and skimmed on 50x100mm timber studs to structural engineers design, details and specification. 1 No. layer 12.5mm Gyproc Soundbloc Plasterboard. Plasterboard to be taped and skimmed

**Specification Notes:**  
All materials to be installed in accordance with manufacturers recommended guide lines.  
Setting out dimensions to face of structural element, not to Plasterboard face.  
**Electrics:**  
All sockets to be installed between 450mm and 1200mm from floor level to comply with Approved Document M of the Building Regulations and installed by a certified electrician in accordance with Part P of the Building Regulations.  
All sockets and switches type tbc  
Boiler to be supplied by Contractor and are to be installed and tested by a CORGI registered installer. All installation and test certificates are to be submitted to Building Control.  
Boilers to be Condensing type and to have a SEDBUK rating of not less than 88%.

	Indicates minimum 1 hour fire resistant partition. All doors within minimum 1 hour fire resistant partitions are to be FD30S self closing with intumescent smoke seals.
	Indicates minimum 30 minute fire resistant partition. All doors within minimum fire resistant partitions are to be FD30S self closing with intumescent smoke seals.

**Specification Notes Continued:**  
**Fire:**  
All service penetrations are to be suitably fire sleeved/stopped using Rockwool Corofl Firestop or similar or equal approved.  
Surface spread of flame within circulation areas to be to Class 0.  
**U Values:**  
Windows = 2.0 W/m<sup>2</sup>K  
(Note: Proposed U Values have been calculated in accordance with the guide lines in Building Regulation Part L1A and Part L2A for conservation of fuel and power.  
ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO CONSTRUCTION.



Above Ground Drainage	
	100mm Ø PVC Soil Vent Pipe, terminating above roof level
	100mm Ø PVC Stub-Stack, with Durgu Inlet valve
	100mm Ø PVC Internal Rain Water Pipe
	50mm Ø PVC pipe @18mm/m falls for sink/shower/bath/washbasin etc.
	100mm Ø PVC pipe @18mm/m falls for WCs

**Below Ground Drainage - TBC on site with Building Inspector / Contractor**

	Denotes extent of demolition
	Denotes extent of plasterboard ceiling to be removed refer to drawing 500X for details of new ceiling

Rev:	Comments:	By:	Date:
A	Existing Chimney added to drawing	PJC	June 11

**PLANNING**

Client:  
Mr. K. Shakib & Dr S. Neale  
Project Title:  
Refurbishment & extension of Dwelling house,  
No.69 Redington road, Hampstead Garden Suburb, London  
Drawing Title:  
Second Floor  
Existing and Proposed GA

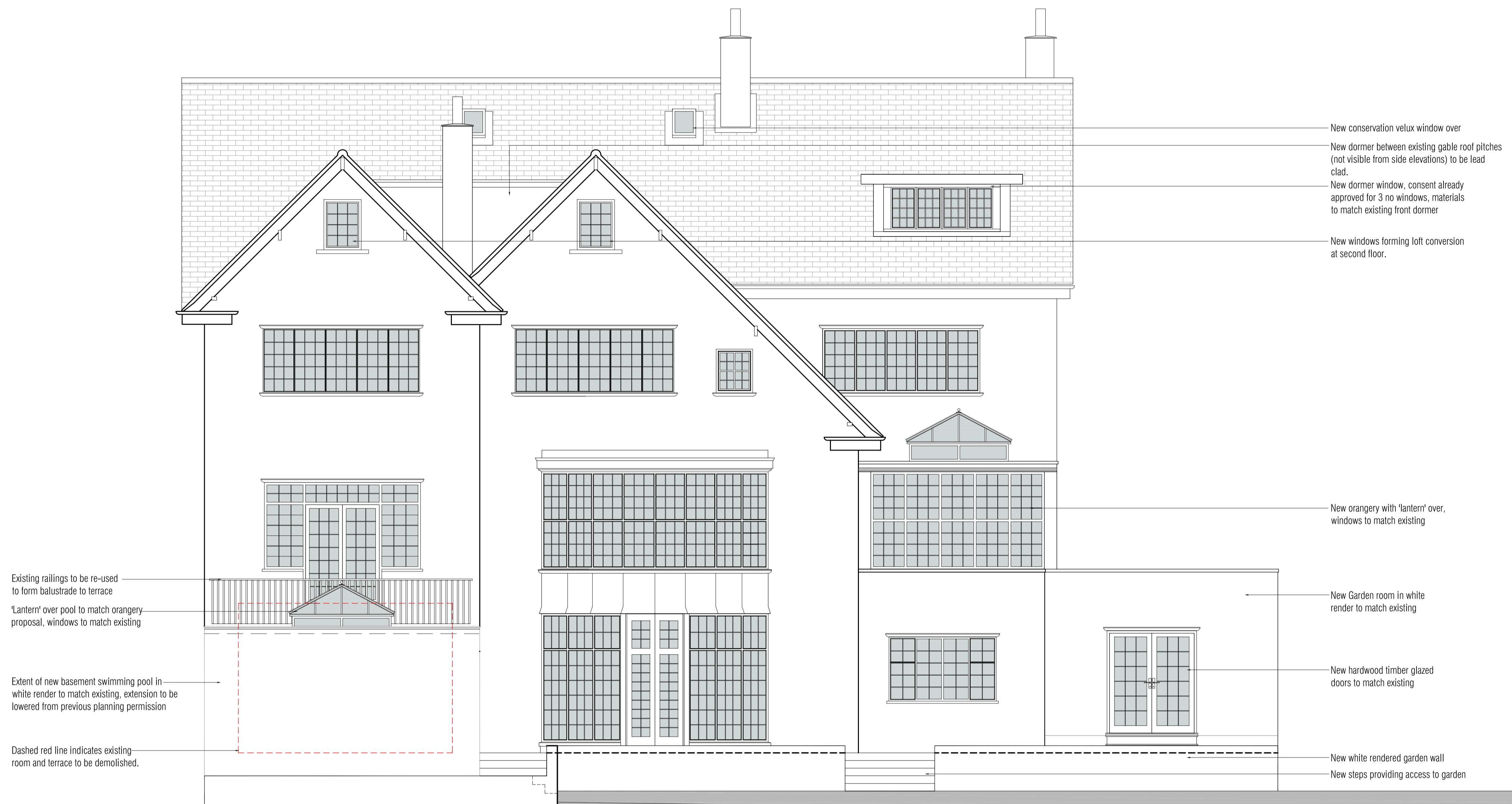
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1:50@A1	JAN 11	PC	SGK

**Studio**  
28 Scrutton Street  
London  
UK  
EC2A 4RP  
T: +44(0) 20 7247 2462  
E: enquiries@kyson.co.uk  
W: www.kyson.co.uk

Project No.:	Drawing No.:	Revision:
182-09	2004	A

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Existing railings to be re-used to form balustrade to terrace  
 "Lantern" over pool to match orangery proposal, windows to match existing

Extent of new basement swimming pool in white render to match existing, extension to be lowered from previous planning permission

Dashed red line indicates existing room and terrace to be demolished.

New conservation velux window over  
 New dormer between existing gable roof pitches (not visible from side elevations) to be lead clad.  
 New dormer window, consent already approved for 3 no windows, materials to match existing front dormer  
 New windows forming loft conversion at second floor.

New orangery with "lantern" over, windows to match existing

New Garden room in white render to match existing

New hardwood timber glazed doors to match existing

New white rendered garden wall  
 New steps providing access to garden

Notes:  
 Survey information provided by Mark Newman Surveys.  
 All dimensions to be checked on site prior to manufacture.  
 All materials to be recycled where possible.

This drawing is to be read in conjunction with specification C20



Rev:	Comments:	By:	Date:
A	Dormer material added	PJC	June 11

**PLANNING**

Client:  
 Mr. K. Shakib & Dr S. Neale  
 Project Title:  
 Refurbishment & extension of Dwelling house,  
 No.69 Redington road, Hampstead Garden Suburb, London  
 Drawing Title:  
 -  
 Rear Elevation

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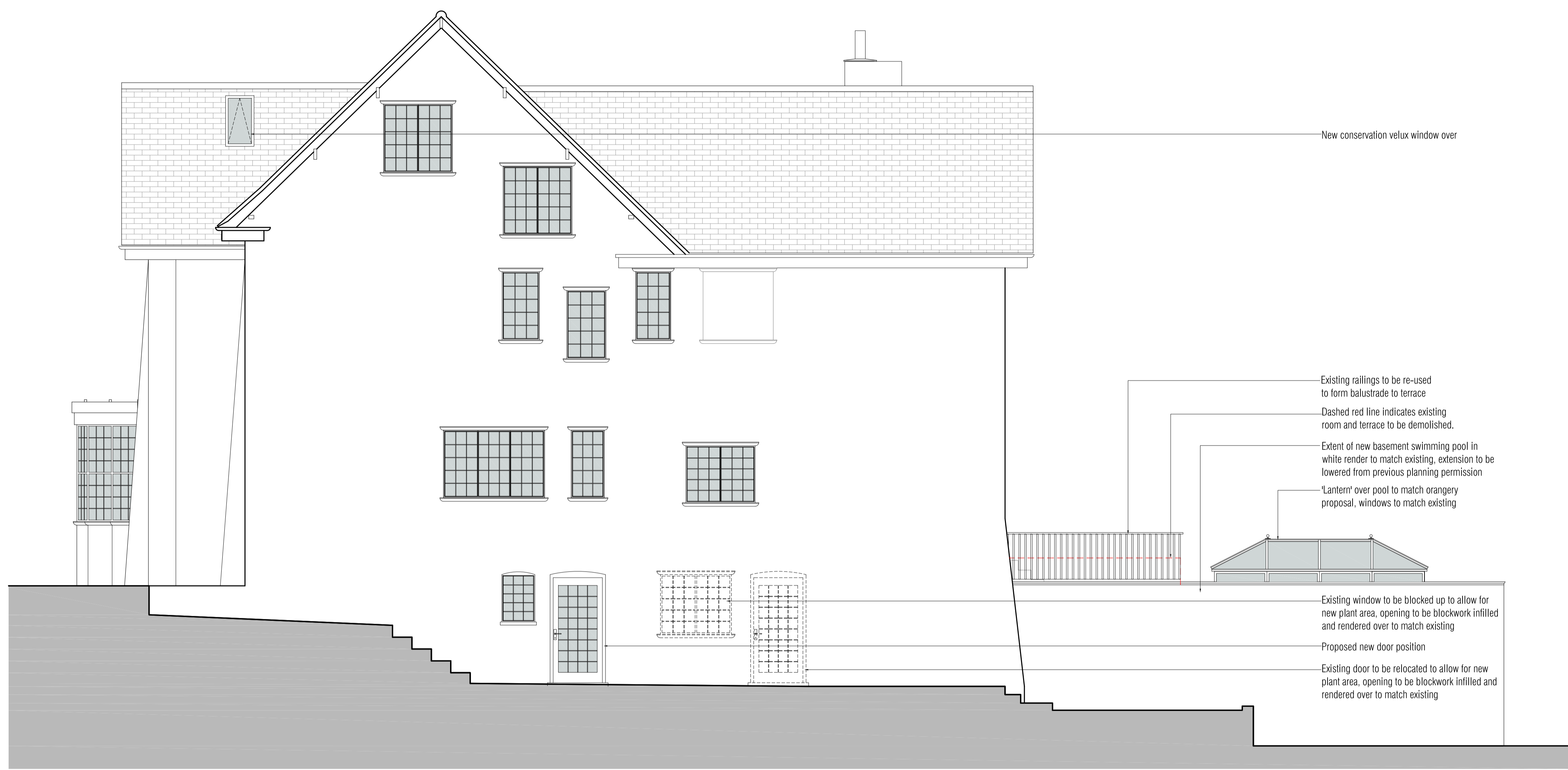
Scale:	Date:	Drawn:	Checked:
1:50@A1	Feb 11	PC	SGK

**Studio**  
 28 Scrutton Street  
 London  
 UK  
 EC2A 4RP  
 T: +44(0) 20 7247 2462  
 E: enquiries@kyson.co.uk  
 W: www.kyson.co.uk

Project No.:	Drawing No.:	Revision:
182-09	3003	A







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SCALE - 1:50

Rev:	Comments:	By:	Date:
A	Drawing corrected to show lantern	PJC	June 11

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**PLANNING**

Client:	Mr. K. Shakib & Dr S. Neale
Project Title:	Refurbishment & extension of Dwelling house, No.69 Redington road, Hampstead Garden Suburb, London
Drawing Title:	Side Elevation
Scale:	1:50@A1
Date:	Feb 11
Drawn:	PC
Checked:	SGK

Studio:	28 Scrutton Street London UK EC2A 4RP
T:	+44(0) 20 7247 2462
E:	enquiries@kyson.co.uk
W:	www.kyson.co.uk
Project No.:	182-09
Drawing No.:	3004
Revision:	A

