

Planning and Design & Access Statement for the demolition of existing
dwelling house and erection of new dwelling.

September 2011



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50 Redington Road

Hampstead London NW3 7RS

1.0 Introduction

This is an owner occupier application to redevelop their existing main residence. The existing property at 50 Redington Road in Hampstead is a two storey detached private dwelling house. The 0.0624 ha oblong shaped site is accessed at its south-west boundary from Redington Road. Because the site slopes steeply from front to rear, the entrance to the house is raised by approximately 2.35 meters above the road level and therefore accessed by a considerable amount of steps. The house is detached with accommodation over ground and first floor. Public perception of the house is of an assortment of roof pitches with the property addressing the street with a double garage door and a curious horizontal dormer window. There is not really any front facade addressing Redington Road and as a consequence the house is at odds with its context within the Redington Frogna Conservation Area, where it is more characteristic to present a formal facade to the street. At the back, the garden extends over 15 metres and is bordered with trees and shrubs along all its edges. The presence of steps as a prerequisite to enter the dwelling makes the house inappropriate for people with temporary or permanent physical or sensory impairment, the elderly as well as households with young children.

This application seeks permission to demolish the existing building and create a new single family dwelling house at 50 Redington Road in Hampstead. By taking advantage of the site's unequal levels, this proposal focuses upon accessing the dwelling from the road level. This introduces a lower ground floor, which leads internally to the upper accommodation and increases the unusable area. The existing side access route leading to the rear garden as well as the rear garden's levels will be retained as existing to ensure that there will be no impact to the adjacent trees and dense vegetation.



Figure 3: Street view showing 50 Redington Road as approaching from the South-West side of the road



Figure 4: Existing property. The entrance is raised around 2.35m above road level and accessed by steps.



Figure 1: Location Plan of 50 Redington Road



Figure 2: Aerial view indicating site location with red

50 Redington Road

Hampstead London NW3 7RS

2.0 Context

No. 50 Redington Road is located within the Redington Frogna Conservation Area, and a short distance from Hampstead Heath. The houses in the vicinity are of differing architectural styles. Redington Road features a wide range of early 20th century architecture along its length and primarily Edwardian or neo-Georgian eight-bedroomed mansions. Despite the diversity, red brickwork, clay tiles, dormer and sash windows are common elements found in most of the houses. During the last few years, more contemporary developments have captured new architectural styles on the road and introduced elements such as large glazed screens, flat roofs and white render surfaces.



Figure 5a,b,c: Redington Road views revealing the different architectural approaches along its length.

The relationship between the residencies and the street varies along the length of Redington Road. Placed behind front boundary walls, some houses are set 6-15 meters back of the pavement, whilst others are set back behind dense vegetation. Moreover, almost all properties present a principal, formal elevation to the street, whereas the existing application property turns its back to the street.



Figure 6a,b,c,d: Redington Road contemporary developments

50 Redington Road

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2.1 Redington Frogna Conservation Area

Situated to the west and south-west of Hampstead, Redington Frogna Conservation Area was designated in 1985. London Borough of Camden, Planning and Communications Committee described it as "an exceptional example of consistently distinguished Victorian and Edwardian architecture".

Redington Road is the longest road in the Conservation Area and constitutes part of the Redington Road & Templewood Avenue sub area, which contains some of the larger houses in the Conservation Area. Houses are mainly detached and semi-detached and demonstrate a wide range of primarily early 20th century domestic architecture.

Of particular interest on Redington Road is the pair of semi-detached houses at Nos. 2 & 4, which were designed by Philip Webb and built in 1876; No 16 designed by Arthur H. Mackmurdo; Nos 35-37 by Horace Field; No 39 by W.W. Bull (fig.7); No. 66 by Dr William Garnett (fig. 8) and Nos 54-56 by Quennell. Nos 71-77 as well as Nos 41-49 by Quennell are examples of a formal neo-Georgian style and suggest that the northern part of Redington Road was the latest to be developed.

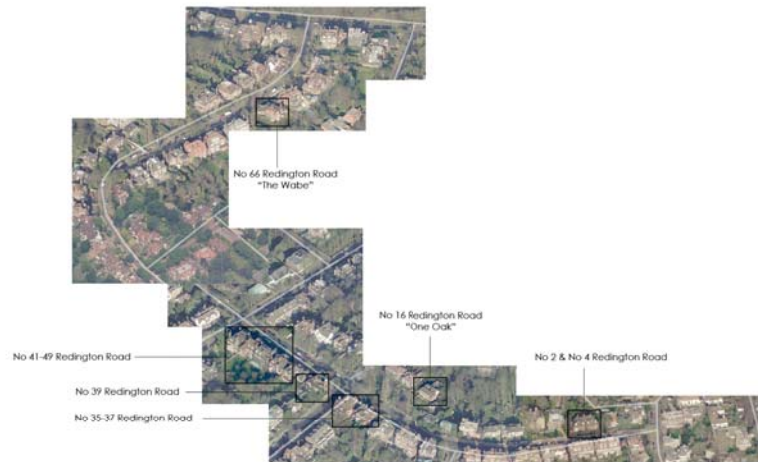
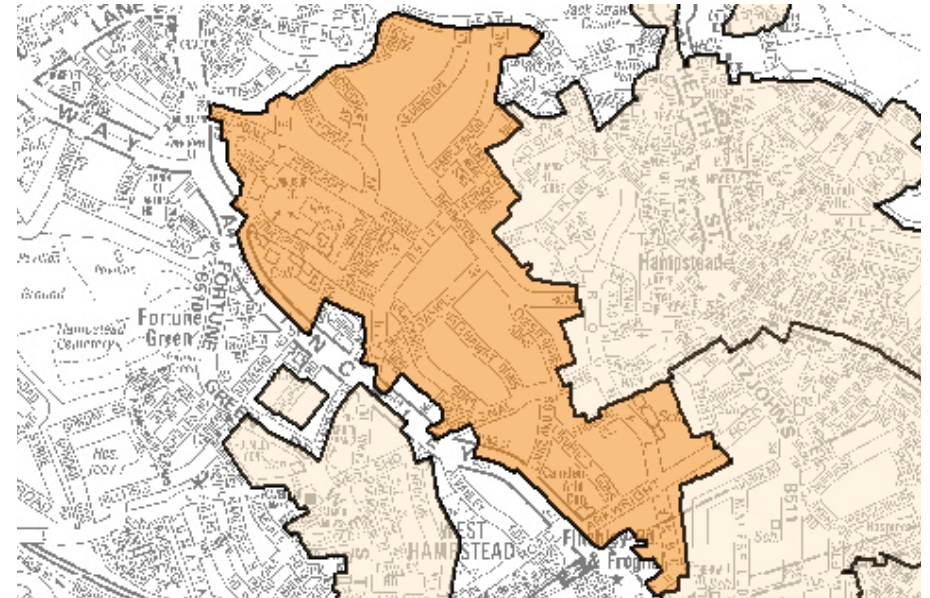


Figure 9: Aerial view of Redington Road indicating houses of particular interest along its length



The main elements that form the special character of the area can be found below:

- Front boundary walls
- Mature trees and dense vegetation
- Contours and slopes
- Original pavement materials
- Clay tiled roofs
- Dormer and sash windows



Figure 7: 39 Redington Road



Figure 8: 66 Redington Road

50 Redington Road

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2.2 Neighbouring Properties

No 48 Redington Road

The neighbouring property at No. 48 is a three-storey detached dwelling house built in red brick with clay tiled roof and areas of tile hanging. Its front elevation is set behind a low brick wall with mature trees and dense vegetation that define the property's boundary. The garage is directly adjacent to the northwest boundary and the facing flank wall has a few windows that correspond to the staircase and bathrooms with no right to light.

The planning history of No 48 includes a range of consented applications including extensions (ref. 9501421 & 9401692) and refurbishments during the last 45 years. In February 1994 got permission to erect a single storey rear extension.

No 52 Redington Road

The southeast boundary of 52 Redington Road serves as the rear garden and is characterized by dense vegetation along its boundary and lawn beyond. However, the planning history shows permission granted on September 1990 (ref. PL8804157R2) for the change of use to three self-contained flats and the erection of a single family dwellinghouse and garage at the rear and southeast. The works have not been implemented but since then a number of renewals have been granted with the latest on March 2003 (ref. PWX0302259). Amendments of the application and landscape works were approved in 2008 (ref. 2007/6115/P & 2007/6119/P) , 2009 (ref. 2009/3291/T) and 2010 (ref. 2009/5588/T & 2009/5592/T).



Figure 11: Aerial of 52 Redington Road.



Figure 12: 52 Redington Road. Relation with 50 Redington Road



Figure 9: 48 Redington Road.
Dense vegetation & boundary wall to front



Figure 10: 48 Redington Road.
Relation with 50 Redington Road

3.0 Design & Residential Provisions

The design of the proposed property follows the Camden Planning Guidance and is in accordance with London Borough of Camden Replacement Unitary Development Plan (UDP). For further details on the planning policies and how they have been addressed in this scheme please refer to section 8.0 'Planning Policies'.

3.1 Use

The property is an existing single family dwelling house and the proposals set out within this application will maintain this use, to provide a home for the needs of a young and growing family. The proposals also seek to provide an aesthetically pleasing, comfortable and functional property, with careful consideration to the lifetime of the property and retention of the site's attractive landscape features. Great attention has also been given in the dwelling's setting within the street scene, how it addresses the street and respect its neighbours.

3.2 Capacity

With a site coverage of 225m² instead of the old 228m², the proposal benefits from the unequal levels of the site to increase the habitable capacity of the dwelling house. There is an increase from 4 to 5 in total number of bedrooms (of which one serves as a Maid's/ Nanny's room) and provide more living space for dining, entertaining and living. The lower ground floor also contains a single garage within the curtilage of the building line.

The consented extension in April 1994 (ref. 9400464) referred to the erection of a conservatory at rear as shown at the attached plans below (Fig. 13) with an area of 22m². The revised scheme proposed a ground floor area of 250m² which equates to 40% of the site area, 4% more than the current proposed scheme.

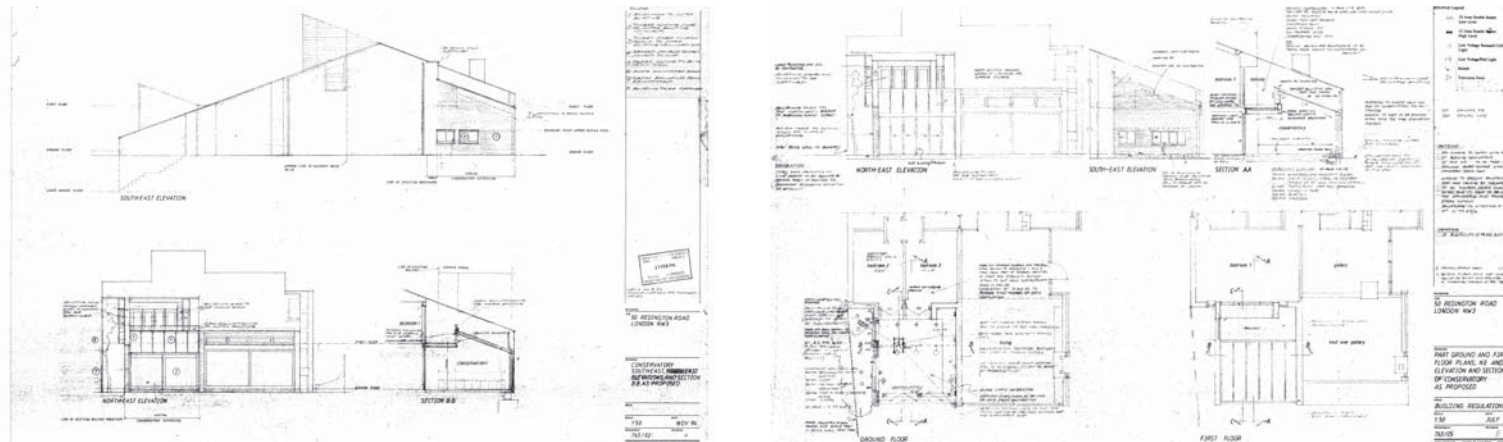


Figure 13: Drawings showing the extend of the consented conservatory extension at the rear garden of 50 Redington Road (ref. No. of application: 9400464)

3.3 Layout

The principle problem with this site and the existing building is that the front door is a full storey above street level. This proposal not only maintains the building line (whilst addressing this access issue) but reinforces the building line and solves this inherent problem with the levels, by using them to the new dwelling advantage by increasing the usable residential within the current site footprint.

At present the current building covers a site area of 228 m². The proposed, enlarged dwelling will have a site coverage of 225 m². In essence we have infilled the shaded, stepped approach to the property by lowering the front door to street level. This is obviously of huge benefit to any occupant - whether that occupant is a mother arriving with her baby in a push chair, or granda turning up in his wheelchair.

The lower ground floor accommodates a central corridor which gives direct access to the central, open stair, which rises vertically through the full height of the property. Also at this level are the garage, maid's /nanny's room with potential for independent entrance, ancillary space, gym, one bedroom and recreation room, with the last two surrounding a lightwell. The lightwell in this north-east corner not only provides daylight to the two habitable rooms, but it also acts as a buffer zone, ensuring that this proposed new, enlarged property does not expand in a manner that may possibly reduce the privacy of the neighbours (at 48) but instead actually slightly improves the current, existing condition. This lower ground floor lightwell then rises up into the rear garden, along the party fence wall with 48 Redington Road. This lightwell, therefore, not only enables the lower ground floor to be extended from 227m² to 243m², but it creates direct access from the front door/street to the garden and reduces the proximity of the property's rear building line to its neighbour at 48, which actually improves the neighbourly situation between the two properties.

The ground floor level will accommodate all the common areas for the family as well as a study room. The common areas include an everyday lounge, a combined 'formal' lounge and dining with access to the rear garden and the kitchen with an adjoining family space, which also opens directly into the rear garden. First floor accommodates 2 bedrooms with ensembles and dressing areas and a master bedroom with a private lounge area incorporated to one side.

The configuration of the rooms complies with the required turning circles as set out within standards of 'Lifetime Homes' and the layout of the floor ensures the lifetime of the property. Please refer to section 5.0 for further details on the accessibility.

The over-riding factor in the design of this house is to allow the pre-existing topography to influence the design without restricting or compromising it. This proposal acknowledges the many positives of this site - location, dense vegetation, seclusion, mature trees and steep slope through the depth of the site - and seeks to use them to its advantage without compromising the setting (and its mature vegetation) whilst increasing and improving the quality of the family home that will be realised at the site.

3.4 Scale

The scale of the property as seen from the front elevation sits easily within the streetscape. The building line has been set back by 0.8 m. to achieve level entrance access. The proposed roofline has been lowered by approximately 1.4 m and when seen next to the roofline and windows of no.48, appears to sit quite comfortably.

The proposed site plan (drawing E10-030/P04) shows the proposed roof plan, within the context of the neighbouring properties. The footprint is of a similar size to the existing and is more sympathetic towards its immediate surroundings than the existing condition, in terms of massing and positioning within the site.

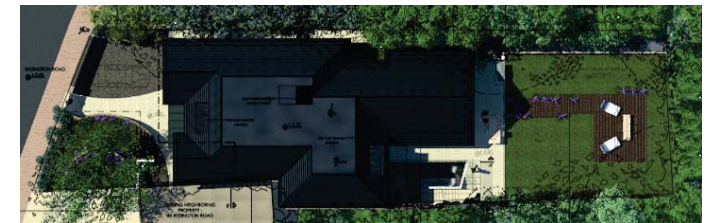


Figure 14: Site Plan of the Proposed Property

3.5 Appearance & Materials

The proposed property will have a traditional aesthetic quality, using handmade brickwork with a pitched slate roof, combined with dark grey casement windows and warm colour timber elements within the front and rear elevations.

The design of the front elevation features the basic elements that characterise Redington Froggnal Conservation Area and is organized in a loosely symmetrical manner. The erection of a front boundary wall with lush vegetation behind is important as it corrects the current, open, informal condition, which is incongruous within the Conservation Area. The clear definition of the site front boundary not only compliments Redington Road's streetscape but also increases on-site security.

At the lower ground floor the pair of timber garage doors with open-able glazed top sections as well as the distinctive timber canopy over the entrance (fig. 15b) create a warm and welcoming appearance. The general elevational arrangement along with the presence of the barge boards, dormer window and central bay window establish a formal character well acknowledged in the vicinity, analogous to the style of the dwellinghouses along the Street.

The rear elevation is more informal in a way that allows for more contemporary elements to be introduced. Recurrently, a dormer window and the steep roof with the barge board maintain the traditional frame with respect to the front elevation. However, the large frameless glazed box in front of the kitchen area, the opening at dining area and the lightwell at lower ground floor adhere the qualities of a more lightweight and contemporary architecture.



Figure 15a,b,c,d,e: Computer Generated Images showing proposed elements and materials: a) view of the lightwell, b) entrance view, c) opening at master bedroom's lounge, d) kitchen, e) canopy over entrance and bay window above

3.6 Sustainability

The sustainability approach to the scheme will meet Code Level 4. Apart from the efficient deep plan which reduces the potential heat loss, the following will also be applied: adoption or application of materials from a sustainable source, retention of existing vegetation to ensure shading, incorporation of water butts to recycle rainwater for the garden, underfloor heating, sanitaryware and white goods for water efficiency and low energy use. Moreover, the staircase with the rising void through the entire building is expected to act as a passive stack ventilation system able to cool the dwelling during the summer months.

4.0 Landscape

Front Garden

The front landscaping will propose two differing surfaces of stone setts and soft/green landscaping to the south-east and north-west boundaries similar to the existing arrangement. The two poor yew trees to the south-east boundary will be removed (refer Arboricultural Report, Impact Assessment and Method Statement) in order to help the oak tree on the south-east corner to thrive. As is characteristic of the Conservation Area, a brick wall will be erected to the front boundary with vegetation behind it and a pair of timber gates and entrance door will define the site boundary. The vehicular gate will be automated and sliding. The clear delineation between public and private space combined with the provision of appropriate entry lights will also increase the on-site security.

Rear Garden

The rear garden extends over 15m from the house and is level approximately 3m. above street level. The proposed development looks to maintain the existing level as well as proportions of soft and hard landscape. Therefore, paving will be provided only around the proposed dwelling. The rest of the rear garden will be left as lawn with a path and small lounge area covered by lightweight timber decking. Drawing E10-030/P02 illustrates the design intent for the proposed landscaping to the front and rear. The raised planting area along the northwest side of the garden will be retained and levels will be maintained as existing.

All of these proposals will ensure that the health of the existing mature vegetation is maintained and allowed to thrive in accordance with the advice and recommendations contained within the Arboricultural Report, Impact Assessment and Method Statement.

Side Walls

The boundary walls will be retained and repaired as necessary, with appropriate replacement or addition of foliage for privacy where necessary. Exceptional attention was given to tree protection. Please refer to Arboricultural Report, Impact Assessment and Method Statement for further details on the protection of tree roots.



Figure 16: View of the proposed rear elevation and garden

5.0 Accessibility

The design of the new house is compliant with Part M of the Building Regulations and Lifetime Homes Standards. The brief description below explains how the requirements have been accomplished.

Parking

The proposed parking space is adjacent to the entrance of the house and has 4100mm wide parking space. The distance from the car parking space to the dwelling entrance is kept to the minimum and is level.

Approach

The entrance of the dwelling is approached through a gentle slope, which has a gradient of 1:16. Before the entrance door a 3 meters long landing allows for easier approach. The entrance is covered, illuminated and has a clear opening width of more than 900mm.

Layout

All movement in hallways and through doorways at the entrance level are of a width to be convenient to all (min 900 mm), including those using mobility aids or wheelchairs, and those moving furniture or other objects. Entrance level contains a spacious living space, two permanent bedrooms and accessible bathrooms. As part of Lifetime Homes requirements, one of the bedrooms includes a small kitchenette providing the ability for usage as a kitchen/ dining room in the future if necessary. In this case the gym area could be converted to a temporary bed-space in order to house a possible carer.

As entrance level contains living accommodation, kitchen, a double bedroom and a bathroom, there is no need for potential lift installation. However, a stair lift could be installed without significant alterations. Windows in the principal living space as well as in the bedrooms allow people to see out when seated.



Figure 17: View of the proposed front elevation and main entrance

6.0 Refuse & Storage

Internal storage for waste and recycling will be provided with an under sink pull out bin unit for daily disposal in the kitchen area. Bin will include one compartment general waste and one compartment mixed recyclables.

External storage will be stored in the front yard of the proposed house with the collection from Redington Road. The general waste bin and separate recyclable containers will have capacity for weekly storage and be unroofed. The side and rear walls will be handmade brick to match the front elevation and boundary wall.

7.0 Parking Provision

The current site configuration and existing property allow for the provision of 2 car parking spaces (in the designed garage area and externally at the front garden). The proposal looks to maintain the car parking spaces as existing to avoid altering on-street parking conditions. Therefore parking requirements will be met on-site as follows:

Car Parking

Provision of 2 in total car parking spaces, of which one will be in the designed garage area adjacent to the entrance door and the other externally at the front garden as shown in drawing E10-030/P01.

Cycle storage

Storage for cycles is provided within the dwelling. The storage area close to the entrance at the lower ground floor level has been designed to include cycle storage. Furthermore, the 4.2 m. width of the garage allows for additional cycle storage.

8.0 Planning Policies

This application seeks to meet Camben Council's policies as set out in the LDF, UDP and supplementary documents. In particular the following policies have been referred to and implemented within the design proposals.

Policy DP6 – Lifetime homes and wheelchair housing

"All housing development should meet lifetime homes standards. 10% of homes developed should either meet wheelchair housing standards, or be easily adapted to meet them."

Policy H7 - Lifetime homes and wheelchair housing

"The Council will encourage all new housing developments, including changes of use and conversions, to be accessible to all. All new housing should be built to 'Lifetime Homes' standards and ten per cent of new housing should be designed to be wheelchair accessible, or easily adaptable for residents who are wheelchair users. The Council will grant planning permission for proposals designed to improve existing properties to make them suitable for people with disabilities."

The design of the property has encompassed the guidance for Lifetime Homes, providing the acceptable calculated slope to the front drive, as well as a level access into the property and shelter to the front door. A suitably sized living room, bedroom, bathroom and small kitchenette at ground floor have been incorporated to serve people with disabilities if necessary. The layout at ground floor is also largely open plan, providing easy manoeuvring for any wheelchair user, as well as design of the stairs to Part M of the building regulations. For further details of accessibility refer to section 5.0 'Accessibility'.

Policy DP22 – Promoting sustainable design and construction

"The Council will require development to incorporate sustainable design and construction measures. Schemes must:

a) demonstrate how sustainable development principles, including the relevant measures set out in paragraph 22.5 below, have been incorporated into the design and proposed implementation; and b) incorporate green or brown roofs and green walls wherever suitable.

The Council will promote and measure sustainable design and construction by:

c) expecting new build housing to meet Code for Sustainable Homes Level 3 by 2010 and Code Level 4 by 2013 and encouraging Code Level 6 (zero carbon) by 2016.;

d) expecting developments (except new build) of 500 sq m of residential floorspace or above or 5 or more dwellings to achieve "very good" in EcoHomes assessments prior to 2013 and encouraging "excellent" from 2013;

e) expecting non-domestic developments of 500sqm of floorspace or above to achieve "very good" in BREEAM assessments and "excellent" from 2016 and encouraging zero carbon from 2019.

The Council will require development to be resilient to climate change by ensuring schemes include appropriate climate change adaptation measures, such as:

f) summer shading and planting; g) limiting run-off; h) reducing water consumption; i) reducing air pollution; and j) not locating vulnerable uses in basements in flood-prone areas."

Please refer to subsection 3.6 'Sustainability' for further details on sustainable design.

Policy DP24 – Securing high quality design

"The Council will require all developments, including alterations and extensions to existing buildings, to be of the highest standard of design and will expect developments to consider:

a) character, setting, context and the form and scale of neighbouring buildings;

Please refer to section 2.0 'Context' and 3.0 'Design & Residential Provisions' for details of how this criteria has been addressed.

b) the character and proportions of the existing building, where alterations and extensions are proposed;

Please refer to section 1.0 'Introduction' and 3.0 'Design & Residential Provisions'

c) the quality of materials to be used;

Please refer to subsection 3.5 'Appearance & Materials'

d) the provision of visually interesting frontages at street level;

Please refer to subsection 3.5 'Appearance & Materials' and 4.0 'Landscape'

e) the appropriate location for building services equipment;

Please refer to subsection 3.3 'Layout'

f) existing natural features, such as topography and trees;

Please refer to section 4.0 'Landscape & Amenity Space' and to the 'Arboricultural Report, Impact Assessment & Method Statement' for further details on the natural features.

g) the provision of appropriate hard and soft landscaping including boundary treatments;

h) the provision of appropriate amenity space; and

Please refer to section 4.0 'Landscape & Amenity space'

i) accessibility."

Please refer to section 5.0 'Accessibility'

Policy H1 - New housing

"The Council will seek to meet and exceed the strategic housing target for the Borough. The Council will grant planning permission for development that increases the amount of land and floorspace in residential use and provides additional residential accommodation, provided that the accommodation reaches acceptable standards. The Council will seek to secure the fullest possible residential use of vacant and underused sites and buildings, and may require suitable sites to be developed for primarily or wholly residential use."

The existing residential floor space is increased whilst maintaining the existing building lines and usable amenity area and improving the quality of accommodation provided on this site.

N5 - Biodiversity

In assessing planning applications, the Council will expect development schemes to have considered conserving and enhancing biodiversity, including by creating wildlife habitats.

The proposal recognises the biodiversity importance of the site's trees and hedge rows. This has ensured that the proposal maintains and conserves existing habitats for years to come.

Policy B7 - Conservation areas

"A - Character and appearance

The Council will only grant consent for development in a conservation area that preserves or enhances the special character or appearance of the area. The Council will not grant planning permission for development outside of a conservation area that it considers would cause harm to the conservation area's character, appearance or setting.

B - Demolition of unlisted buildings

The Council will not grant conservation area consent for the total or substantial demolition of an unlisted building that makes a positive contribution to the character or appearance of a conservation area, unless exceptional circumstances are shown that outweigh the case for retention."

50 Redington Road is not included in the buildings or groups of buildings that make a positive contribution to the Conservation Area as listed in Redington Frogna Conservation Area Audit. Please refer to subsection 3.5 'Appearance & Materials' for details of how these proposals respond to the character of the conservation area.

Policy N8 - Ancient Woodlands and trees

"B - Protected trees

The Council will not grant consent for works that result in the removal of, or that cause harm to the health and amenity value of, trees protected by a Tree Preservation Order (TPO), unless it can be demonstrated that the tree has a limited safe useful life expectancy or is proven to be damaging to buildings. Six weeks notice in writing is required to be given to the Council of the intention to remove or carry out works to trees over a certain size in a conservation area.

C - Trees

The Council will seek to protect trees within the Borough. The Council may include a planning condition on any planning permission to:

- a) protect trees that make a significant contribution to the biodiversity or appearance of a development site; and/or*
- b) require replacement or new trees to be planted on the development site."*

All required works will be kept outside the Root Protection Areas of trees to be retained. Side walls will follow the footprint of the existing walls and the levels of the rear garden will be retained as existing. Please refer to the 'Arboricultural Report, Impact Assessment & Method Statement' for further details on tree protection.

SD9 C - Use of energy and resources

The Council will seek developments that conserve energy and resources through:

- a) designs for energy efficiency; b) renewable energy use; c) optimising energy supply; and d) the use of recycled and renewable building materials. The Council will require major developments to demonstrate the energy demand of their proposals and how they would generate a proportion of the site's electricity and heating needs from renewables wherever feasible. The Council may use conditions or planning obligations to secure recycling of materials on site and/or use of recycled aggregates in major schemes.*

Please refer to subsection 3.6 'Sustainability' for further details on use of energy and to section 6.0 'Refuse & Storage' for waste recycling.

Policy B1 - General design principles

"The Council will grant planning permission for development that is designed to a high standard. Development should:

- a) respect its site and setting;*
- b) be safe and accessible to all;*
- c) improve the spaces around and between buildings, particularly public areas;*
- d) be sustainable by promoting energy efficiency and efficient use of resources;*
- e) be easily adaptable to changing economic and social requirements;*
- f) provide appropriate high quality landscaping and boundary treatments; and*
- g) seek to improve the attractiveness of an area and not harm its appearance or amenity.*

In assessing how the design of a development has taken these principles into account, the Council will consider:

- h) building lines and plot sizes in the surrounding area;*

Please refer to section 2.0 'Context'

- i) the existing pattern of routes and spaces;*

Please refer to section 3.0 'Design & Residential Provisions'

- j) the height, bulk and scale of neighbouring buildings;*

Please refer to subsection 3.4 'Scale'

- k) existing natural features, such as topography and trees;*

Please refer to section 4.0 'Landscape' and the 'Arboricultural Report, Impact Assessment & Method Statement'

- l) the design of neighbouring buildings;*

Please refer to section 2.0 'Context'

- m) the quality and appropriateness of detailing and materials used;*

Please refer to subsection 3.5 'Appearance & Materials'

- n) the provision of visually interesting frontages at street level;*

Please refer to section 4.0 'Landscape' and subsection 3.5 'Appearance & Materials'

- and o) the impact on views and skylines."*

Please refer to section 3.0 'Design & Residential Provisions'

Each of items a) → g) has been positively addressed by these proposals with specific cross referral to the items set out from h) → o). Please refer to specific sections and subsections mentioned above for further details on each subject.

SD6 - Amenity for occupiers and neighbours

The Council will not grant planning permission for development that it considers causes harm to the amenity of occupiers and neighbours. The factors the Council will consider include: a) visual privacy and overlooking; b) sunlight and daylight levels; c) artificial light levels; d) noise and vibration levels; e) odour, fumes and dust; f) the adequacy of facilities for storage, recycling and disposal of waste; and g) microclimate.

Please refer to section 3.0 'Design & Residential Provisions' and 6.0 'Refuse & Storage' for further details.

T3 - Pedestrians and cycling

The Council will only grant planning permission for development that it considers to make satisfactory provision for pedestrians and cyclists. In assessing development, traffic management and highway alterations, the Council will consider: a) improvements to conditions for the convenience and safety of pedestrians and cyclists, the walking and cycling environment, including design, access and security; b) the need for developments to cater for the walking and cycling demand they create on- and off-site where it cannot be accommodated by the capacity of existing and planned provision, c) the need to link all development to safe, convenient and attractive pedestrian routes and the London Cycling Network, and to add to the Cycling Network where justified by predicted use or safety concerns; d) the need to prevent severance of existing pedestrian links and the London Cycling Network, and to reinstate previously severed links; e) the particular needs of wheelchair users and other people with mobility difficulties, visually impaired people, children, elderly people and other vulnerable users; f) the benefits of facilities for leisure cycling, particularly to less experienced cyclists; g) the need for safe road crossings for pedestrians and cyclists; h) the width of footways and cycle routes; i) the need to thoroughly reinstate all highway surfaces following works to the highway or damage from construction work; j) the need for secure cycle parking in accordance with the Council's Parking Standards, shower facilities and lockers at workplaces, and cycle storage in dwellings; and k) planning obligations that secure measures directly related in scale and kind to the development.

No highway alterations are proposed. The site will retain car parking and cycle storage facilities and will ensure that access and egress from the site are safe and controlled.

T7 - Off-street parking, city car clubs and city bike schemes

The Council will only grant planning permission for development that complies with the Council's Parking Standards. Where off-street parking is permitted in accordance with the standards, the Council will encourage the provision of electric vehicle charging equipment. The Council will encourage the provision of city car clubs and city bike schemes as an alternative to private off-street parking.

Proposals do not include change of current parking provisions.

T9 - Impact of parking

A - Impact of on-street parking

The Council will not grant planning permission for development that would harm on-street parking conditions or add to on-street parking where existing on-street parking spaces cannot meet demand.

B - Impact of off-street parking

The Council will not grant consent for off-street parking that it considers causes harm to highway safety, requires detrimental amendment to existing or proposed Controlled Parking Zones, or harms the setting of a building or the surrounding area. The Council will consider:

- a) any likely obstruction of the pavement;*
- b) sightlines for emerging vehicles;*
- c) the impact on demand on Controlled Parking Zones and on-street parking;*
- d) the contribution the existing forecourt, garden, trees and means of enclosure make to the visual appearance of the area;*
- e) the cumulative visual impact of on-street and off-street parking in the area; and*
- f) the nature and extent of any landscaping, surfacing or other improvement works which may be proposed to offset any adverse visual impact.*

No significant changes are proposed in the pre-existing off-street parking provisions.

9.0 Conclusion

This Design and Access, Planning Statement has been prepared to support our clients proposals to demolish the existing property at No. 50 Redington Road and develop a new, enlarged, single family dwelling house which will be better suited to family living and continued enjoyment not only for the owner occupiers now, but also throughout the family's life as they grow with the building.

The proposed property redresses the present condition, where the existing house 'turns its back' to the road. The new property will present a more formal, well mannered 3 storey elevation to the street, increasing the size of the property whilst retaining the existing building footprint and maintaining protection zones to the many mature trees within the site and along the site's boundaries.

The elevations are designed with extensive reference to materials and compositional elements found throughout the general locality, creating a large modern family home which will sit comfortably with its neighbours within the Redington Frogna Conservation Area.

The proposed new single dwelling house will involve the demolition of the existing property. With accommodation over lower ground entrance level, upper ground garden level and first floor. It is also important to the applicants that there is an improved proposal for considering the lifetime of the property for the existing family as well as being designed in accordance with 'Lifetime Homes' for the longevity of the building and its future users. Importance also lies within the development of the natural elements of the garden to be maintained and improved.

We trust that Camden will support this well considered householder application enabling this young family to continue to reside in this characterful corner of the borough for years to come.

Appendix I . Photos of site and surroundings



Appendix II . 3D Visuals



Image 2: View of the Entrance

Image 1: View of the Front Elevation



Image 4: View of the Kitchen

Image 3: View of the Rear Elevation



Image 5: View of the lightwell