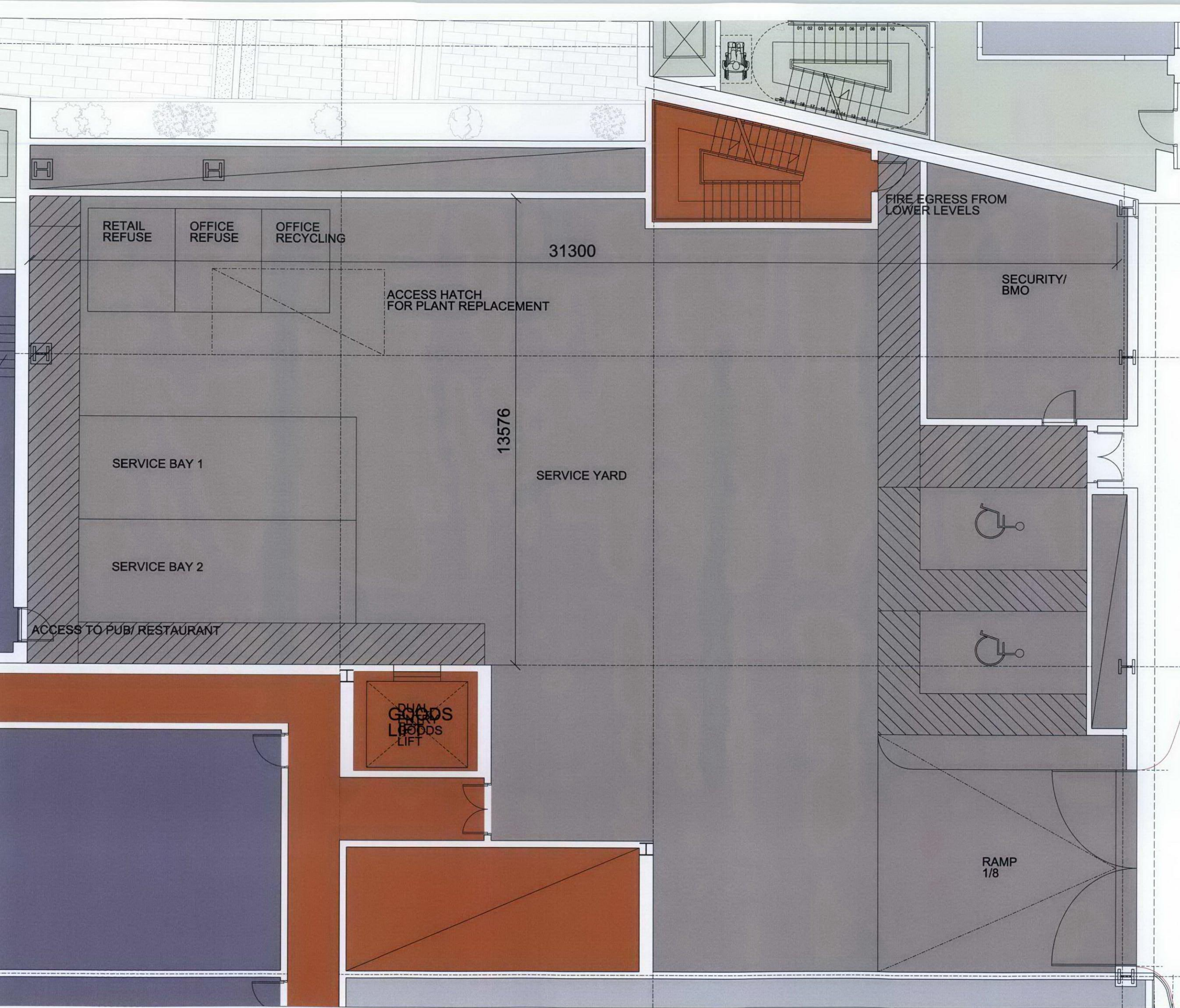




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- NOTES:
- OFFICE AREA
 - OFFICE CORE AREA
 - OFFICE LOBBY/ ATRIUM AREA
 - OFFICE SERVICE/ PLANT AREA
 - RETAIL AREA
 - RESIDENTIAL AREA
 - GREEN LANDSCAPED AREA
 - RETAINED FACADE

06	13/10/11	REVISED KERB LINES TO BROWNLOW STREET
04	09/05/11	REVISED MINOR AMENDMENTS SUBMISSION
03	26/06/10	MINOR AMENDMENTS SUBMISSION
02	09/09/10	AMENDED SCHEME SIGN OFF
01	31/01/09	PLANNING SUBMISSION
00	03/06/07	DRAFT PLANNING ISSUE
REV	DATE	AMENDMENT

KEY PLAN

TITLE
50-57 High Holborn
LONDON WC2

SHEPPARD ROBSON

ARCHITECTURE URBAN DESIGN PLANNING INTERIORS

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WEBSITE www.sheppardrobson.com E-MAIL sr@mail@sheppardrobson.com

DRAWING
ENLARGED
SERVICE YARD PLAN

SCALE @ A1	DATE	ORIGINATOR	CHECKED	AUTHORISED
1: 50	31. 0 10/06/05	NA	NH	NH

STATUS
PLANNING

DRAWING NO.	REV
3183 - 20 - 251	05

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- OFFICE AREA
- OFFICE CORE AREA
- OFFICE LOBBY/ ATRIUM AREA
- OFFICE SERVICE/ PLANT AREA
- RETAIL AREA
- RESIDENTIAL AREA
- GREEN LANDSCAPED AREA
- RETAINED FACADE

REV	DATE	AMENDMENT
05	17/10/11	REVISED MINOR AMENDMENTS SUBMISSION
04	30/01/09	PLANNING SUBMISSION
03	18/09/08	ADDITIONAL INFORMATION
02	30/05/08	PLANNING SUBMISSION
01	15/10/07	PLANNING SUBMISSION
-	03/09/07	PLANNING DRAFT ISSUE

KEY PLAN



TITLE
50-57 High Holborn
LONDON WC2



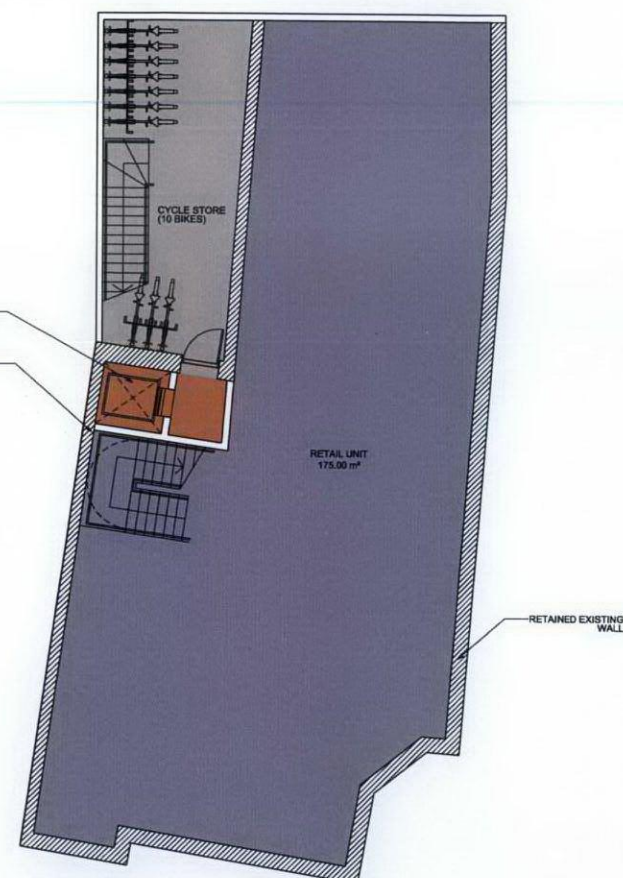
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WEBSITE www.sheppardrobson.com E-MAIL sr.mail@sheppardrobson.com

DRAWING
ENLARGED PLANS
BROWNLOW HOUSE

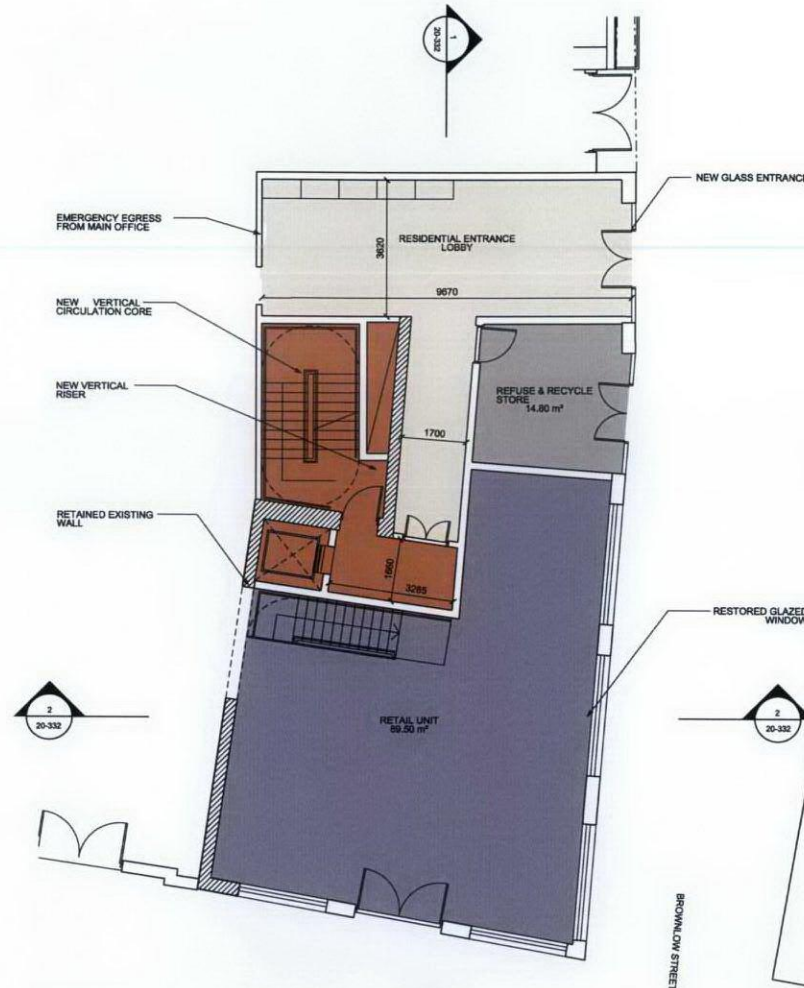
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1: 100 03.09.2007 MP NH NH

STATUS
PLANNING

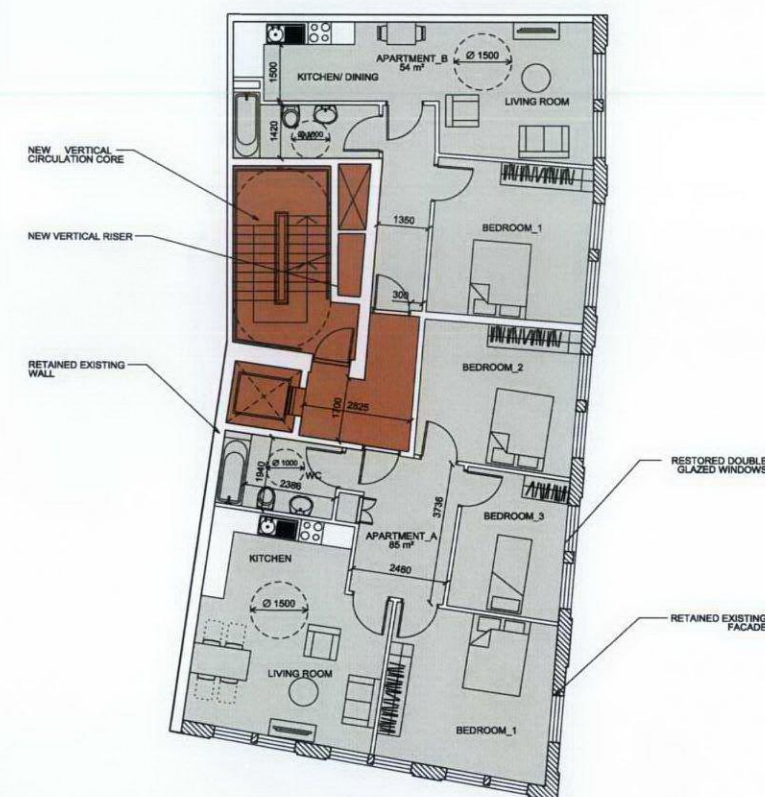
DRAWING NO. 3183 - 20 - 301 REV 05



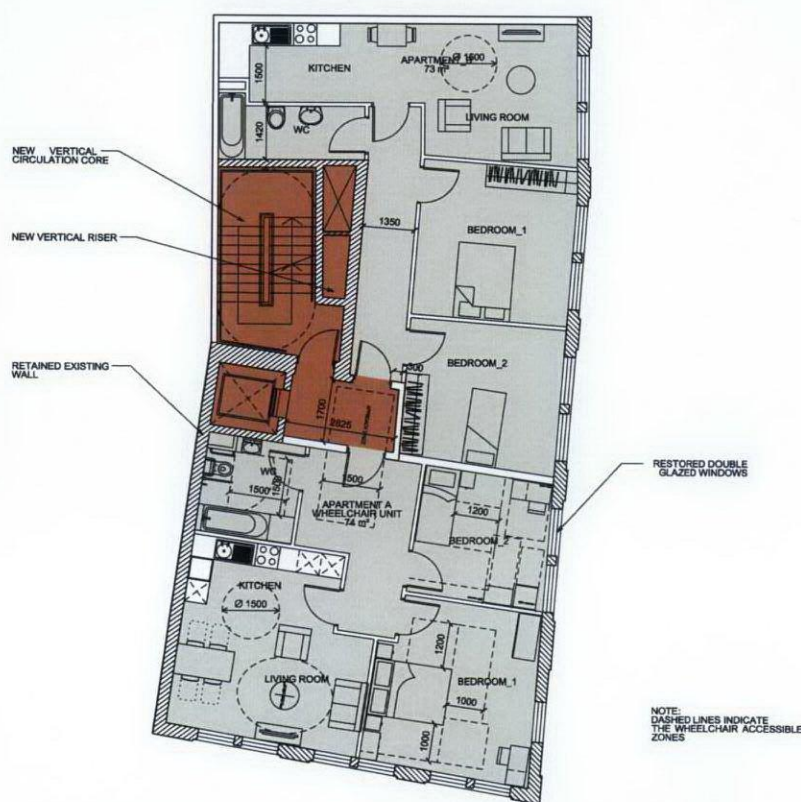
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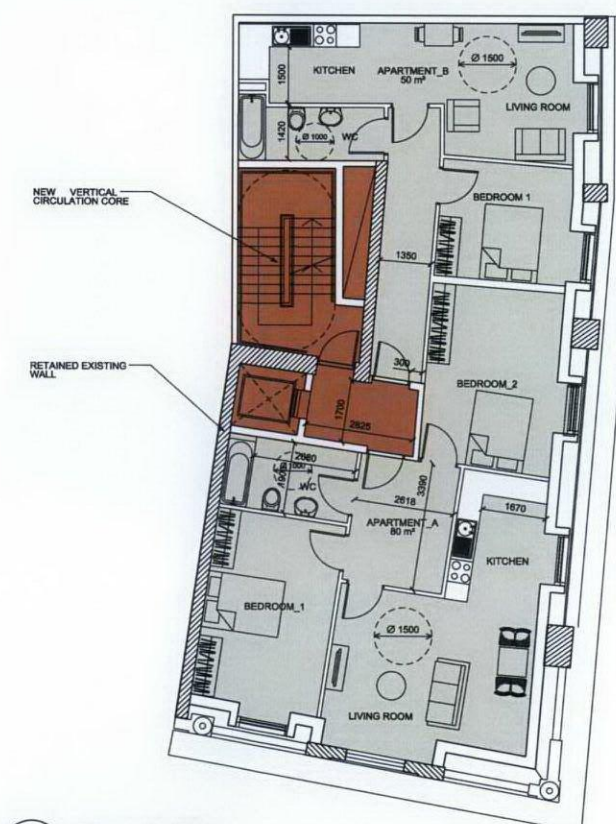
2 GROUND FLOOR LEVEL



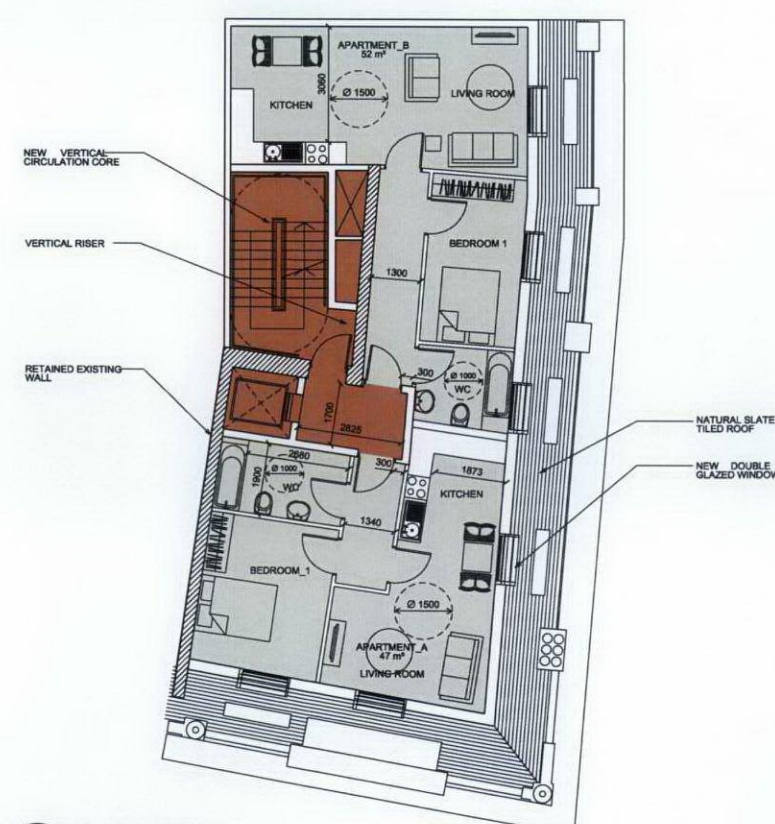
3 LEVELS 1&2 FLOOR PLANS



4 LEVEL 3 FLOOR PLAN



4 LEVEL 4 FLOOR PLAN



5 LEVEL 5 FLOOR PLAN

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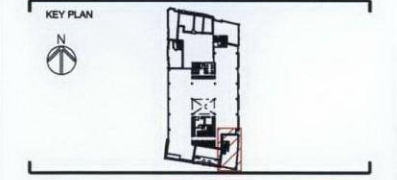
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NOTES:

- OFFICE AREA
- RETAIL AREA
- RESIDENTIAL AREA
- RESIDENTIAL CORE AREA
- RESIDENTIAL LOBBY/ ATRIUM AREA
- RESIDENTIAL SERVICE/ PLANT AREA
- EXISTING STRUCTURAL WALLS

REV	DATE	AMENDMENT
04	17/10/11	REVISED MINOR AMENDMENTS SUBMISSION
03	30/01/09	PLANNING SUBMISSION
02	30/05/08	PLANNING SUBMISSION
01	15/10/07	PLANNING SUBMISSION
-	03/09/07	PLANNING DRAFT ISSUE



TITLE
50-57 High Holborn
LONDON WC2



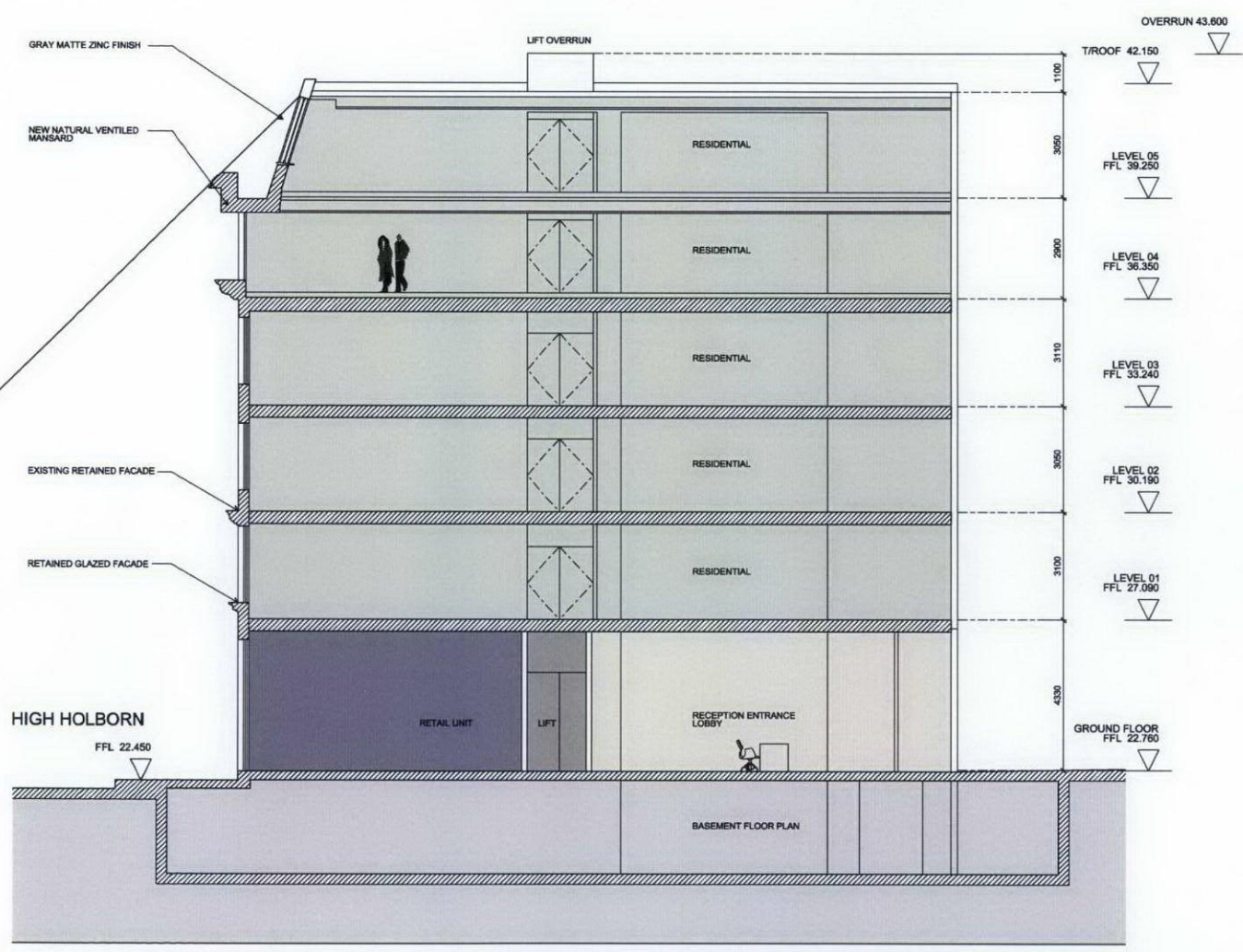
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PHONE +44 20 7504 1700 FAX +44 20 7504 1701
WEBSITE www.sheppardrobson.com E-MAIL sr@mail@sheppardrobson.com

DRAWING
ENLARGED SECTIONS
BROWNLOW HOUSE

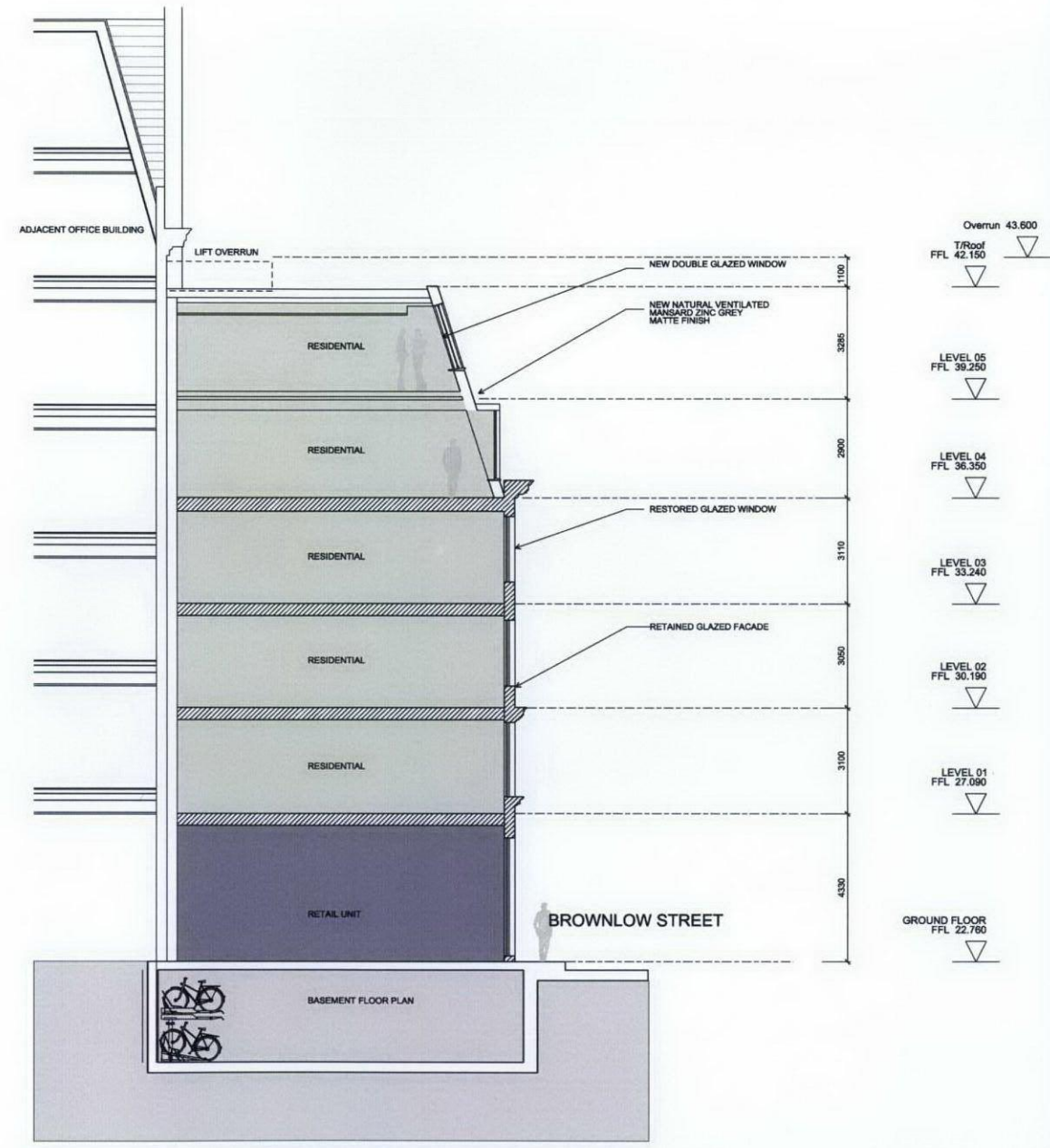
SCALE @ A1 DATE ORIGINATOR CHECKED AUTHORISED
1:100 03.08.2007 MP NH NH

STATUS
PLANNING

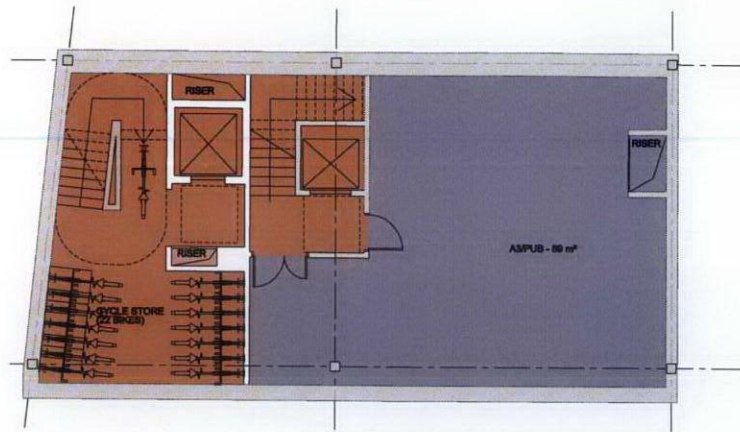
DRAWING NO. 3183-20 -302 REV 04



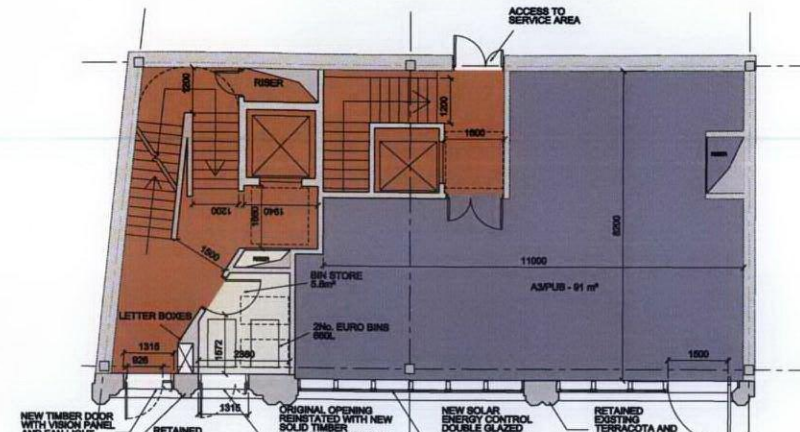
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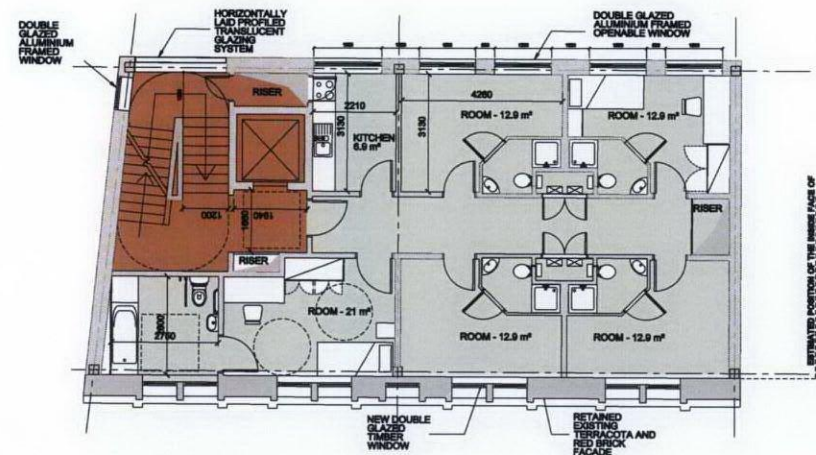
2 SHORT SECTION



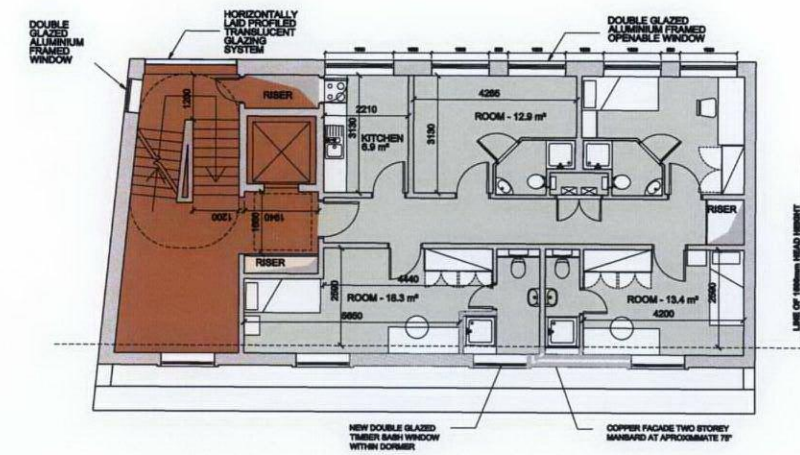
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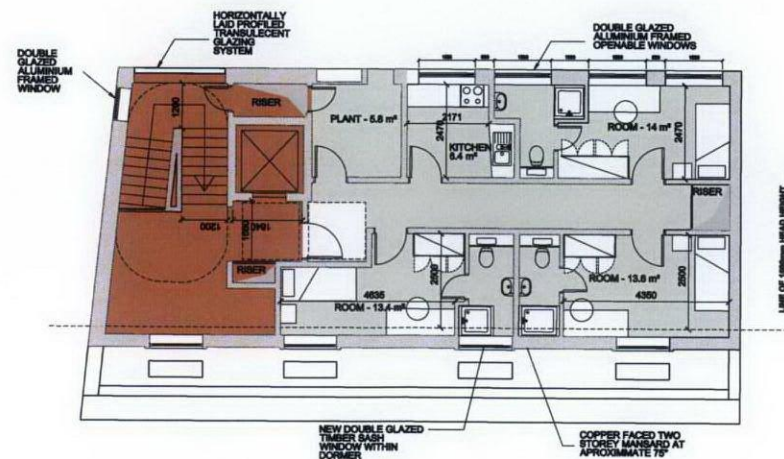
2 GROUND FLOOR LEVEL



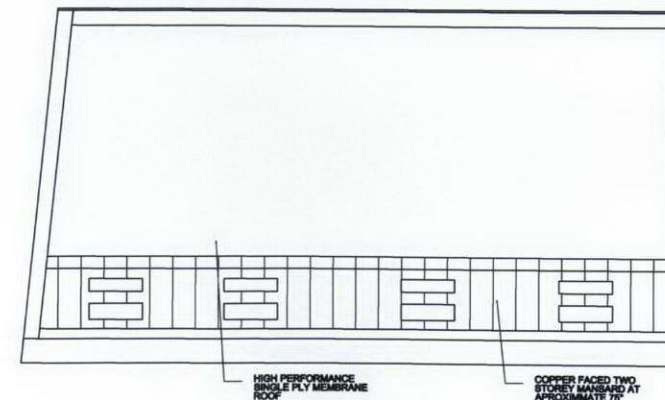
3 LEVEL 01-03



4 LEVEL 04



5 LEVEL 05



6 ROOF LEVEL

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- NOTES:
- RETAIL AREA
 - RESIDENTIAL AREA
 - RESIDENTIAL/RETAIL CORE AREA
 - RESIDENTIAL LOBBY/ ATRIUM AREA

REV	DATE	AMENDMENT
04	30/01/08	PLANNING SUBMISSION
03	16/09/07	ADDITIONAL INFORMATION
02	30/05/07	PLANNING SUBMISSION
01	15/01/07	PLANNING SUBMISSION
-	03/08/07	PLANNING DRAFT ISSUE



TITLE
50-57 High Holborn
LONDON WC2

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WEBSITE www.sheppardrobson.com E-MAIL sr.mail@sheppardrobson.com

DRAWING
ENLARGED PLANS
23 HAND COURT

SCALE @ A1	DATE	ORIGINATOR	CHECKED	AUTHORISED
1: 100	25.07.2007	MP	NH	NH
STATUS	PLANNING			
DRAWING NO.	3183 - 20 - 311			
REV	04			

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AREA MEASUREMENT

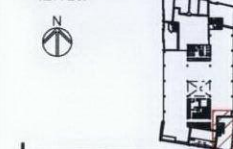
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NOTES:

- RETAIL AREA
- RESIDENTIAL AREA
- RESIDENTIAL/RETAIL CORE AREA
- RESIDENTIAL LOBBY/ ATRIUM AREA

REV	DATE	AMENDMENT
04	17/10/11	REVISED MINOR AMENDMENTS SUBMISSION
03	30/01/08	PLANNING SUBMISSION
02	30/05/08	PLANNING SUBMISSION
01	15/10/07	PLANNING SUBMISSION
-	03/09/07	PLANNING DRAFT ISSUE

KEY PLAN



TITLE
50-57 High Holborn
LONDON WC2



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WEBSITE www.sheppardrobson.com E-MAIL sr.mail@sheppardrobson.com

DRAWING
ENLARGED SECTION
23 HAND COURT

SCALE @ A1 DATE ORIGINATOR CHECKED AUTHORISED
1: 50 25.08.2007 MP NH NH

STATUS
PLANNING

DRAWING NO. 3183 - 20 - 312 REV 04

DOUBLE GLAZED ALUMINIUM
FRAMED
OPENABLE WINDOWS

TIMBER CLADDING OVER
MANSIONARY WALL

TIMBER WINDOW

CORPED FACADE TWO
STOREY MANSARD AT
APPROXIMATE 75°

RETAINED EXISTING TERRACOTA
AND RED BRICK FACADE WITH NEW
CONCRETE STRUCTURE BEHIND

NEW DOUBLE GLAZED SASH
TIMBER WINDOWSNEW DOUBLE GLAZED SASH
TIMBER WINDOWS

RETAINED EXISTING TERRACOTA
AND RED BRICK FACADE WITH
NEW CONCRETE STRUCTURE
BEHIND

NEW DOUBLE GLAZED SASH
TIMBER WINDOWS

RETAINED EXISTING
TERRACOTA AND RED BRICK
FACADE WITH NEW CONCRETE
STRUCTURE BEHIND

NEW TINTED SOLAR ENERGY CONTROL DOUBLE
GLAZED BRONZE FRAMED WINDOWS/DOORSGLAZED BRICK REINSTATED TO
LIGHTWELLS WHERE POSSIBLE

LINE OF BASEMENT FFL

LEVEL 05
FFL 41.000

LEVEL 04
FFL 37.900

LEVEL 03
FFL 35.200

LEVEL 02
FFL 31.900

LEVEL 01
FFL 28.700

BASEMENT FLOOR
FFL 24.800

BASEMENT FLOOR
FFL 21.900

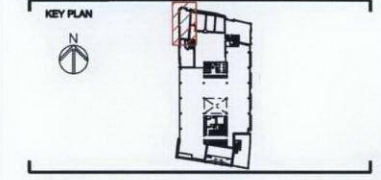
1 SHORT SECTION

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- RESIDENTIAL/RETAIL CORE AREA
- RESIDENTIAL LOBBY/ ATRIUM AREA

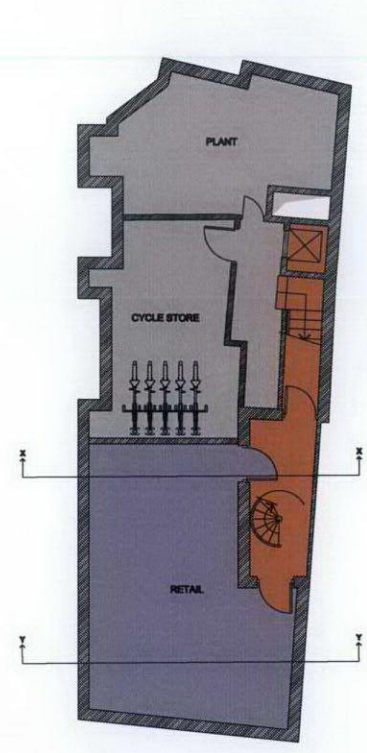
REV	DATE	AMENDMENT
04	30/01/08	PLANNING SUBMISSION
03	15/05/08	ADDITIONAL INFORMATION
02	30/05/08	PLANNING SUBMISSION
01	15/10/07	PLANNING SUBMISSION
-	03/08/07	PLANNING DRAFT ISSUE



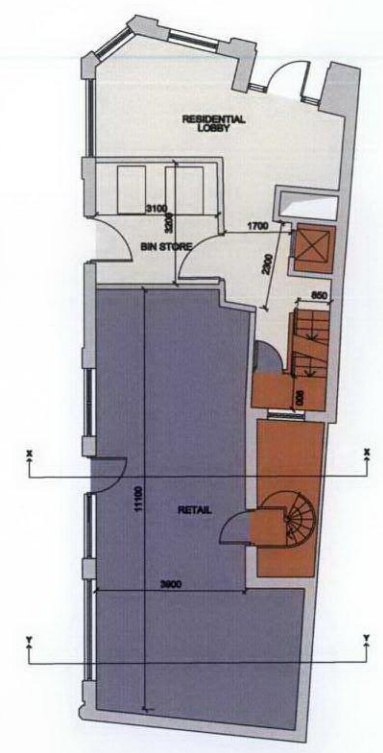
TITLE
50-57 High Holborn
LONDON WC2

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ARCHITECTURE URBAN DESIGN PLANNING INTERIORS
LOCATION 77 PARADISEWAY - CAMDEN TOWN - LONDON - NW1 7PU
PHONE +44 0 20 7504 1700 FAX +44 0 20 7504 1701
WEBSITE www.sheppardrobson.com EMAIL sr.mail@sheppardrobson.com

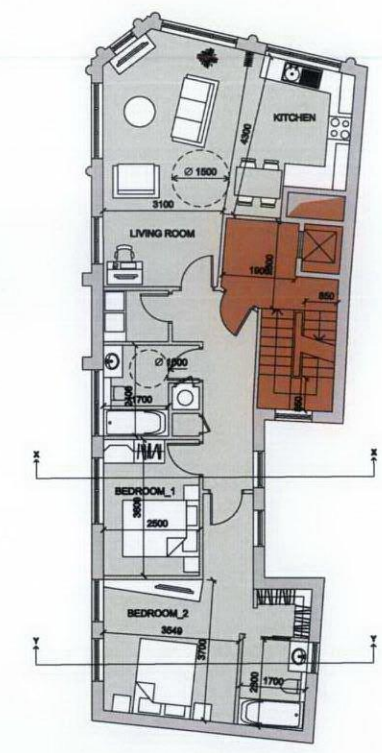
DRAWING
**ENLARGED PLANS
45 BEDFORD ROW**
SCALE @ A1 DATE ORIGINATOR CHECKED AUTHORIZED
1: 100 25.08.2007 MP NH NH
STATUS
PLANNING
DRAWING NO. 3183 - 20 - 321 REV 04



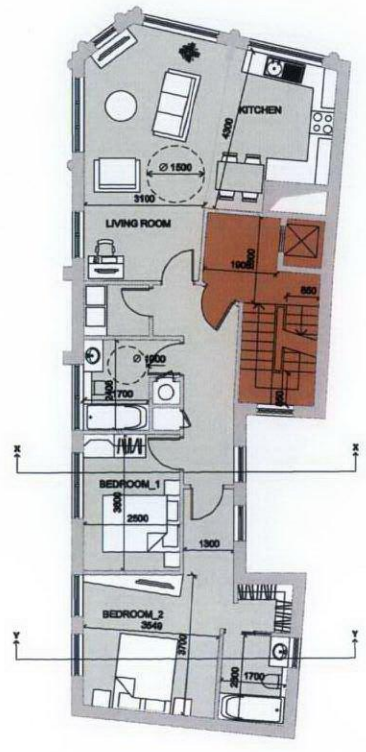
1 BASEMENT LEVEL



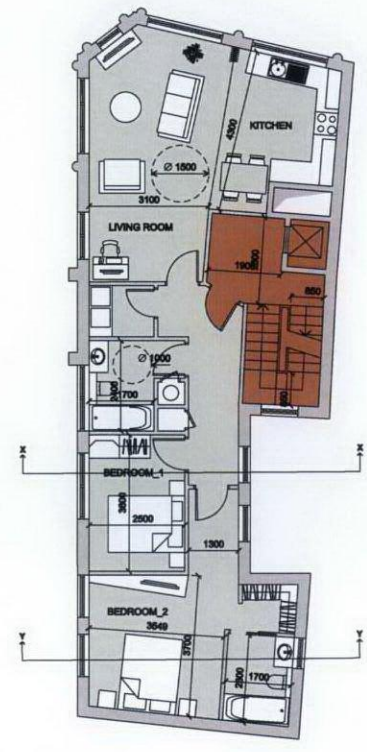
2 GROUND FLOOR LEVEL



3 LEVEL 01



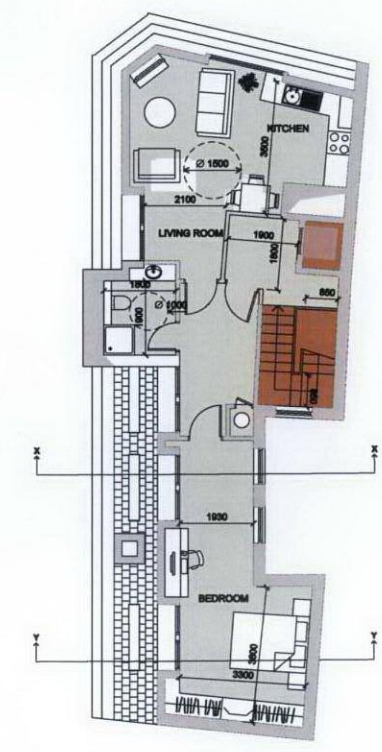
4 LEVEL 02



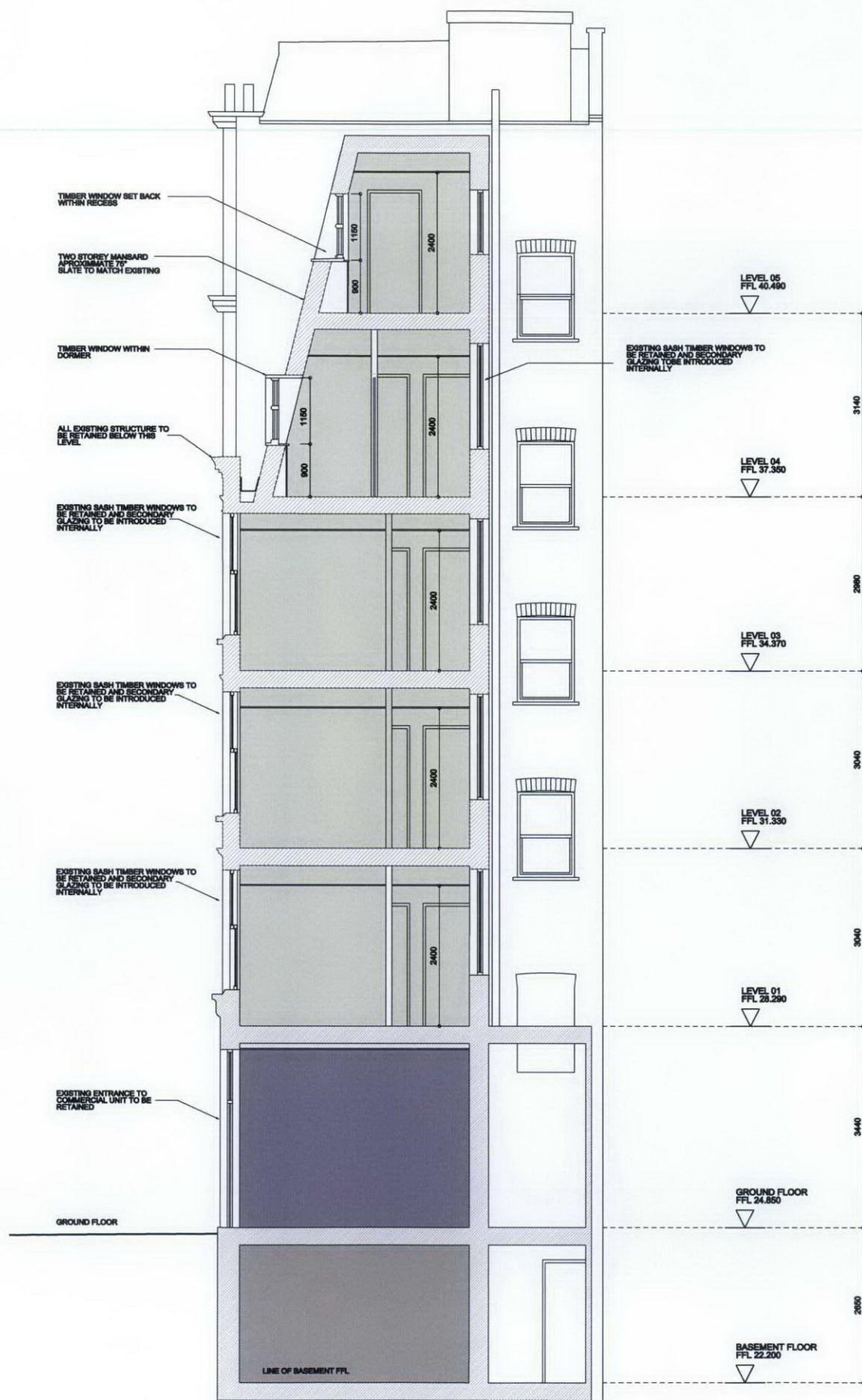
5 LEVEL 03



6 LEVEL 04



7 LEVEL 05



Section X-X
45 Bedford Row - scale 1/100

1 SHORT SECTION

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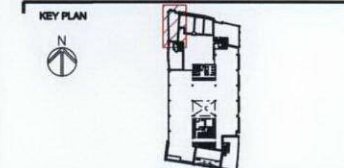
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NOTES:

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- RETAIL AREA
- RESIDENTIAL AREA
- RESIDENTIAL/RETAIL CORE AREA
- RESIDENTIAL LOBBY/ ATRIUM AREA

REV	DATE	AMENDMENT
01	20/08/08	PLANNING SUBMISSION
02	01/10/08	ARCHITECTURAL SUBMISSION
03	20/08/08	PLANNING SUBMISSION
04	19/07/07	PLANNING SUBMISSION
05	20/07/07	PLANNING DRAFT NO. 1



TITLE
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LONDON WC2



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PHONE +44 0 20 7604 1700 FAX +44 0 20 7604 1701
WEBSITE www.sheppardrobson.com EMAIL sr.mail@sheppardrobson.com

DRAWING
ENLARGED SECTION
45 BEDFORD ROW

SCALE @ A1 DATE ORIGINATOR CHECKED AUTHORISED
1: 50 25.08.2007 MP NH NH

STATUS
PLANNING

DRAWING NO. REV
3183 - 20 - 322 04



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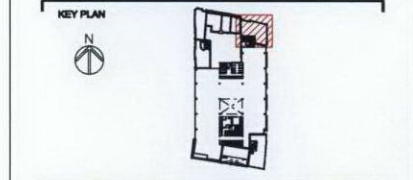
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- NOTES:**
- OFFICE AREA
 - RESIDENTIAL/OFFICE SERVICE
 - RETAIL AREA
 - RESIDENTIAL AREA
 - RESIDENTIAL CORE AREA
 - RESIDENTIAL LOBBY/ ATRIUM AREA
 - EXISTING STRUCTURAL WALLS

REV	DATE	AMENDMENT
06	30/01/08	PLANNING APPLICATION
04	28/11/08	MINOR AMENDMENTS
03	10/06/08	ADDITIONAL INFORMATION
02	30/06/08	PLANNING SUBMISSION
01	18/10/07	PLANNING SUBMISSION
-	03/08/07	PLANNING DRAFT ISSUE



TITLE
50-57 High Holborn
LONDON WC2

SHEPPARD ROBSON
AREA: 65 M2
ARCHITECTURE URBAN DESIGN PLANNING INTERIORS

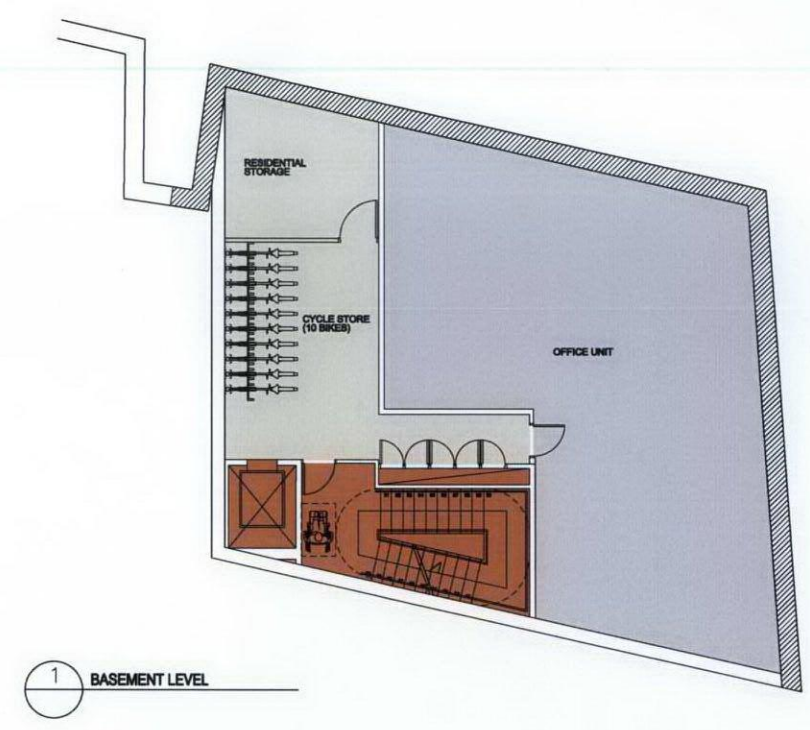
LOCATION: 77 PARKWAY, CAMDEN TOWN, LONDON, NW1 7PU
PHONE: +44 (0) 20 7504 1700 FAX: +44 (0) 20 7504 1701
WEBSITE: www.sheppardrobson.com E-MAIL: sr.mail@sheppardrobson.com

DRAWING
ENLARGED PLANS
49-51 BEDFORD ROW

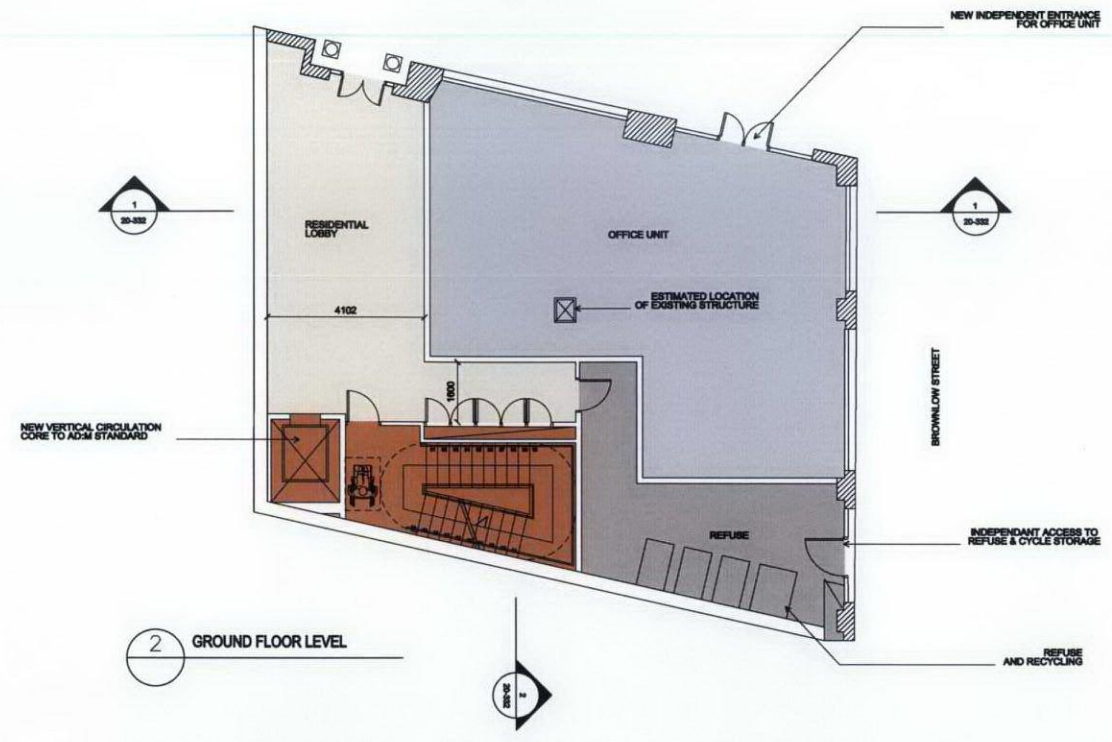
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1: 100 25.08.2007 MP NH NH

STATUS
PLANNING

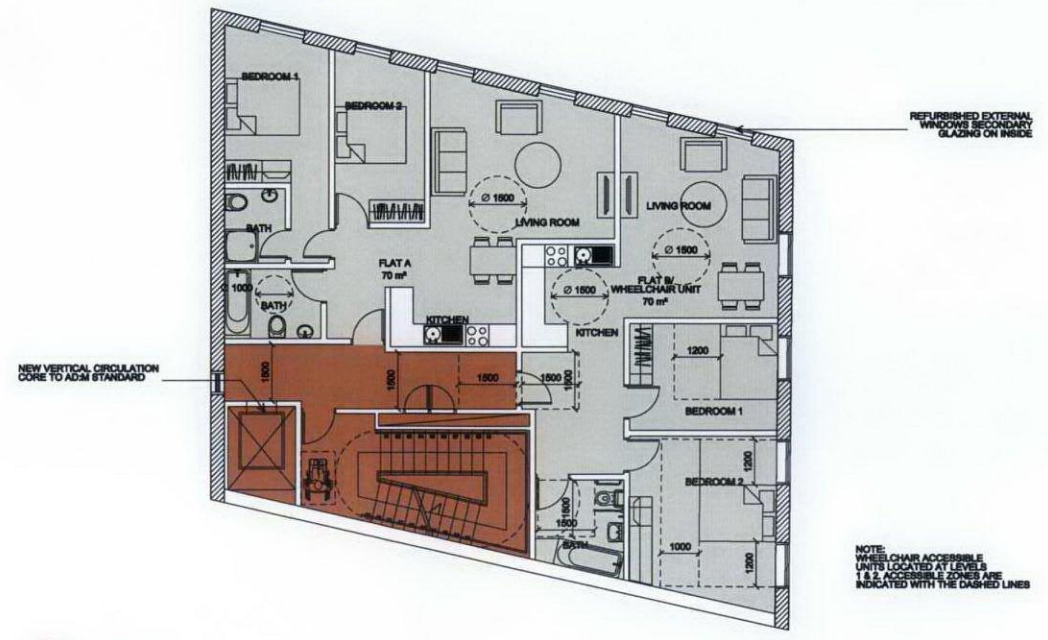
DRAWING NO. 3183 - 20 - 331 **REV** 05



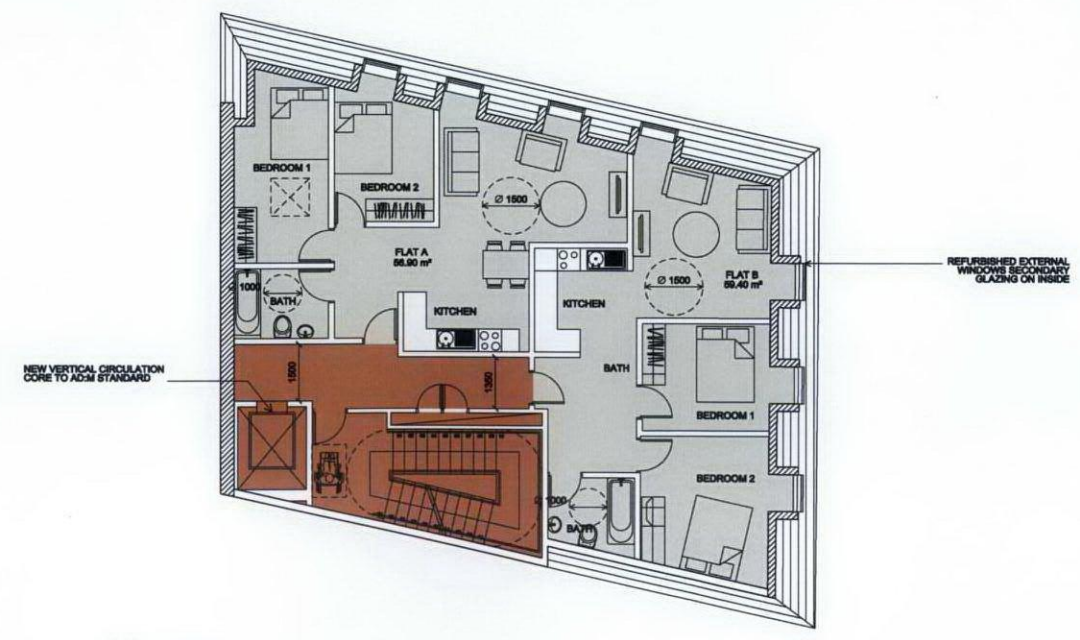
1 BASEMENT LEVEL



2 GROUND FLOOR LEVEL



3 LEVELS 1-4



4 LEVEL 5

NOTE:
WHEELCHAIR ACCESSIBLE
UNITS LOCATED AT LEVELS
1 & 2. ACCESSIBLE ZONES ARE
INDICATED WITH THE DASHED LINES

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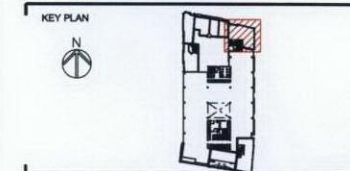
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AREA MEASUREMENT
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NOTES:

- OFFICE AREA
- RESIDENTIAL/OFFICE SERVICE
- RETAIL AREA
- RESIDENTIAL AREA
- RESIDENTIAL CORE AREA
- RESIDENTIAL LOBBY/ ATRIUM AREA
- EXISTING STRUCTURAL WALLS

REV	DATE	AMENDMENT
06	17/10/11	REVISED MINOR AMENDMENTS SUBMISSION
04	30/01/09	PLANNING SUBMISSION
03	26/11/08	MINOR AMENDMENTS
02	30/05/08	PLANNING SUBMISSION
01	19/10/07	PLANNING SUBMISSION
-	03/09/07	PLANNING DRAFT ISSUE



TITLE
50-57 High Holborn
LONDON WC2



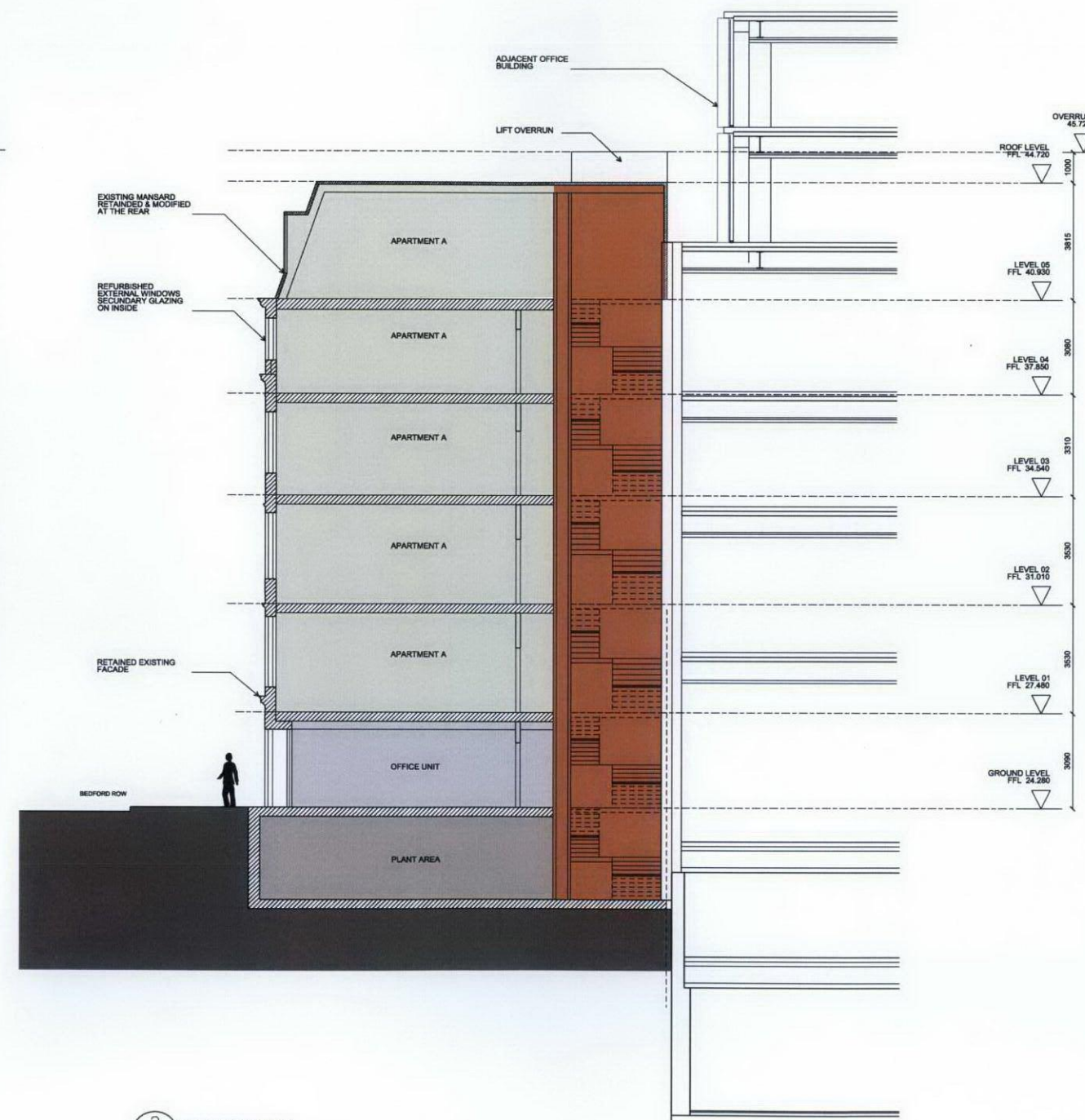
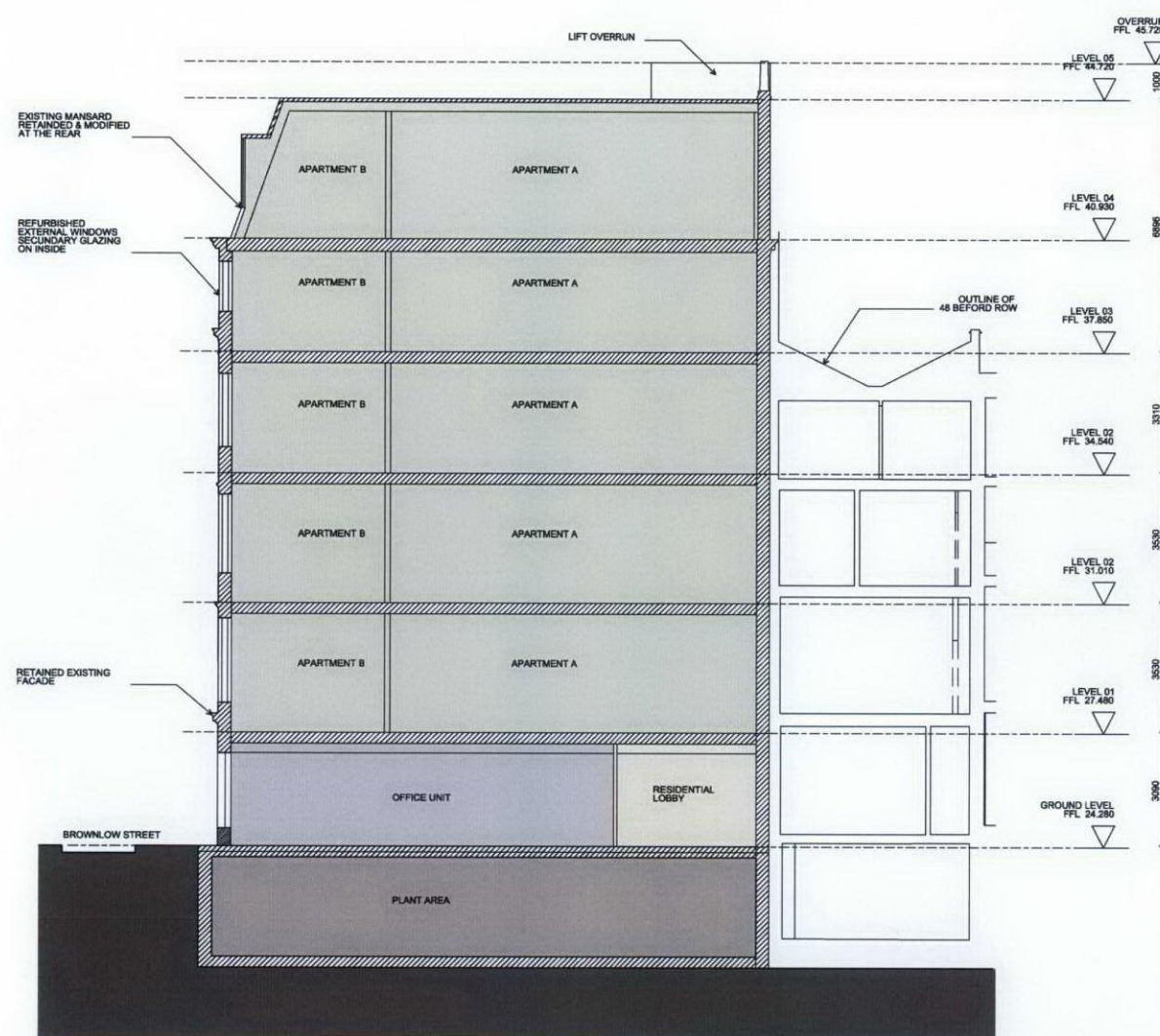
LOCATION 77 PARKWAY . CAMDEN TOWN . LONDON . NW1 7PU
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WEBSITE www.sheppardrobson.com E-MAIL sr.mail@sheppardrobson.com

DRAWING
ENLARGED SECTIONS
49-51 BEDFORD ROW

SCALE @ A1 DATE ORIGINATOR CHECKED AUTHORISED
1: 100 25. 08. 2007 MP NH NH

STATUS
PLANNING

DRAWING NO. REV
3183 - 20 - 332 05



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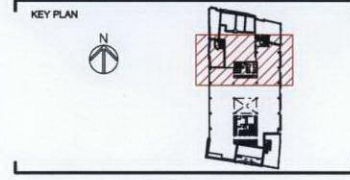
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AREA MEASUREMENT
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NOTES:

- OFFICE AREA
- OFFICE CORE AREA
- OFFICE LOBBY/ ATRIUM AREA
- OFFICE SERVICE/ PLANT AREA
- RETAIL AREA
- RESIDENTIAL AREA
- GREEN LANDSCAPED AREA
- RETAINED FACADE

05	17/10/11	REVISED MINOR AMENDMENTS SUBMISSION
03	08/09/10	AMENDED SCHEME SIGN OFF
02	30/01/09	PLANNING SUBMISSION
01	30/05/08	PLANNING SUBMISSION
-	15/10/07	PLANNING SUBMISSION
REV	DATE	AMENDMENT



TITLE
50-57 High Holborn
LONDON WC2



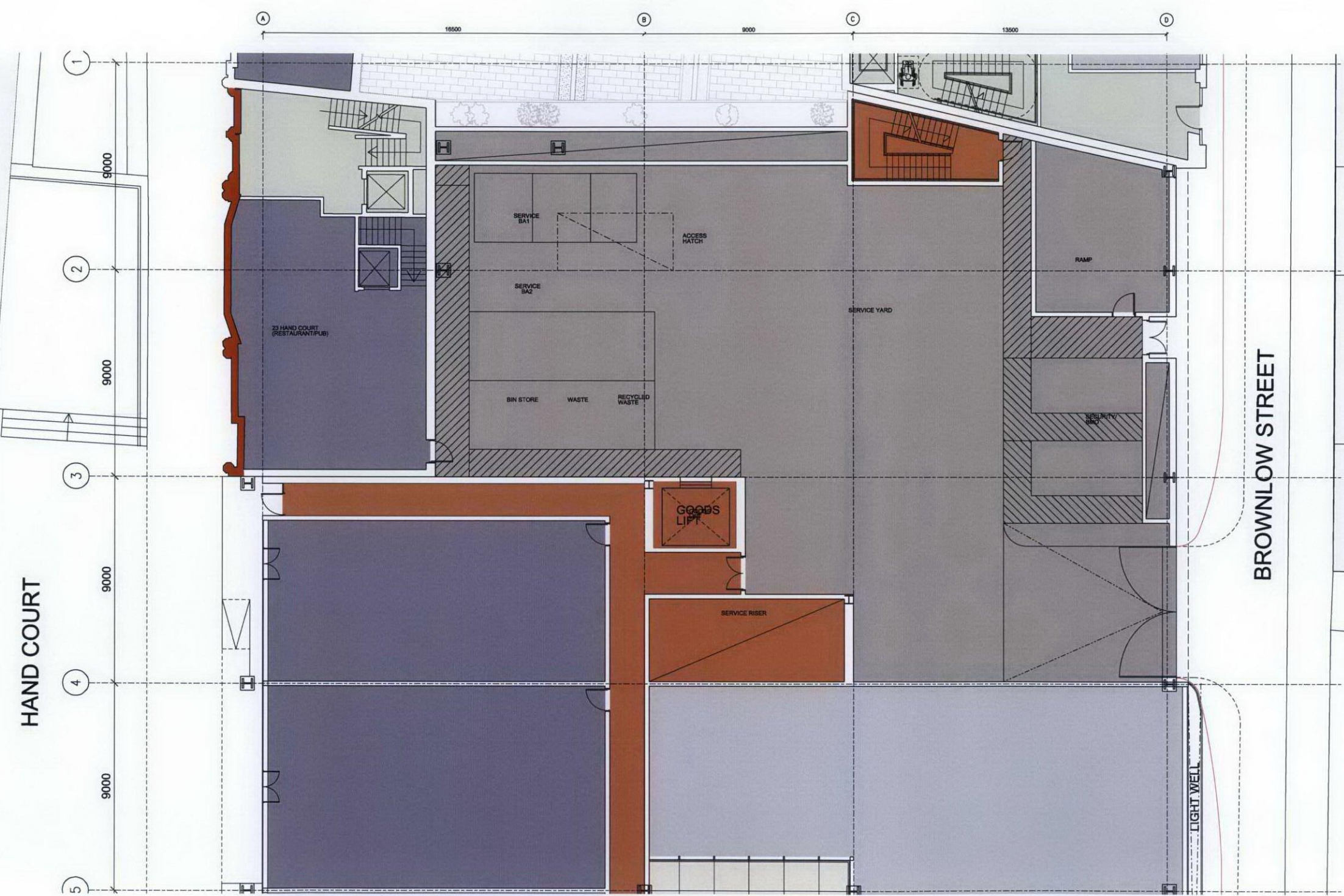
ARCHITECTURE URBAN DESIGN PLANNING INTERIORS
LOCATION 77 PARKWAY · CAMDEN TOWN · LONDON · NW1 7PU
PHONE +44 0 20 7504 1700 FAX +44 0 20 7504 1701
WEBSITE www.sheppardrobson.com E-MAIL sr.mail@sheppardrobson.com

DRAWING
ENLARGED MAIN OFFICE
SERVICE YARD

SCALE @ A1	DATE	ORIGINATOR	CHECKED	AUTHORISED
1: 100	05.10.2007	MP	NH	NH

STATUS
PLANNING

DRAWING NO.	REV
3183 - 20 - 341	04



HAND COURT

BROWNLOW STREET

LIGHT WELL