

DESIGN AND ACCESS STATEMENT AND HERITAGE STATEMENT

**7A WEDDERBURN ROAD
HAMPSTEAD
LONDON
NW3 5QS**

AS AMENDED 01.11.11

Application is for:

**INTERNAL ALTERATIONS INVOLVING REMOVAL OF NON- LOAD
BEARING AND LOAD BEARING WALLS, AND IMPLEMENTATION
OF PROPOSED STUD WALLS TO MAXIMISE SPACE**

Mr Hakki Hassan

For and on behalf of
Simplicity Designs
Enc. Design and Access

DESIGN



Description:

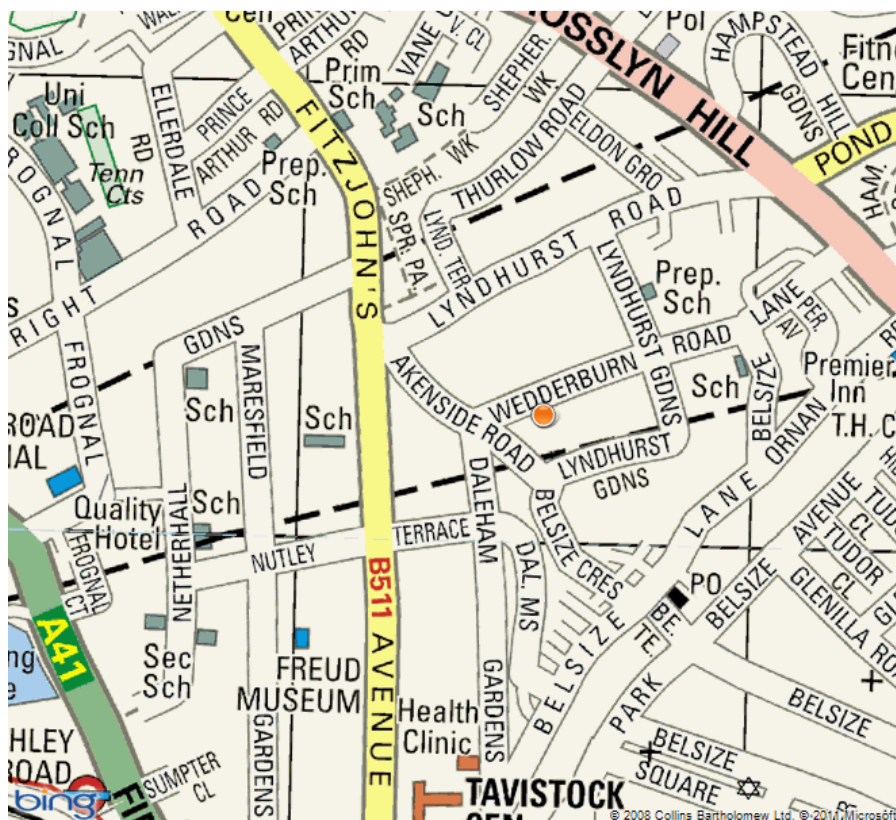
Semi-detached pair of houses. 1887. By Horace Field. Red brick, hipped and tiled roof with eaves cornice, tall brick chimneys. White-painted wooden sash windows; dormers in roof. Queen Anne or early Neo-Georgian style. 2 main storeys. Long front of 8 windows width to each house, with strongly projecting single-storey bay windows at the two ends and brick porches, also projecting and covered by segment-headed hoods over pilasters, in centre of each house. Upper storeys flat-fronted. INTERIORS not inspected. Part of a group with Nos 1, 3, 5, 11 and 13 (qqv), also early works by Field.

Assessment: Context of the site and its surroundings

The application building is located on Wedderburn Road, which runs roughly East to West in direction. The site is a rectangular shape with pedestrian and vehicular access.

Wedderburn Road has good transport links, with Belsize park, Finchley Road and Hampstead Station within 0.5 miles.

Within this section of Wedderburn Road, all properties are of similar period Victorian architectural characteristics, and all residential in character.



The above image is a map of Wedderburn Road.

Amount

The application build on 1999 December 30th was officially graded as Grade II listed building.

The application building at present comprises:

7a Wedderburn Road is a 3 bedroom self- contained maisonette located on ground and basement floors

The ground floor consist of:

Dining area which is on high level platform located within the bay area area.

Living area which is located mid section of the ground floor

Kitchen area, which is located at the rear of the build.

Storage/ Utility area located located at the far right rear of the premises

The basement floor consist of:

Main bedroom with en-suite located at the front bay area

Two single size bedrooms at the rear of the development

Bathroom located at the far right mid section.

Proposed Layout

Ground Floor:

- **Removing high level floor to window bay area and restoring to original state (Please note the existing structure remains intact below the raised area).**
- **Removal of low level partition separating the two levels (this is a non structural and non intrusive element of works)**
- **Removal of 'wall 1' which is currently dividing the utility/storage area and kitchen. The structural works will involve the introduction of a steel beam along with pad-stones bearing onto the existing load bearing walls.**
- **Installation of a new kitchen to be designed and installed by a specialist sub contractor. All necessary warranties and certifications to be provided by main contractor and specialist installation firm.**
- **Removal of non load bearing 'wall 2' which is a relatively recent and eclectic introduction to the property. The removal of this wall will help reinstate the original features.**
- **Demolition of non load bearing cupboards that are not an original feature of the property.**
- **Removal of all 'non original' flooring at ground floor level and replacing with a timber floor to the living areas and possibly a natural stone floor to the kitchen.**

Basement Floor:

- The careful demolition of load bearing 'wall 3'; the structural works will involve the introduction of a steel beam with pad-stones bearing onto the existing load bearing walls.
- Removal of 'walls 4 and 5'; the structural works will involve the introduction of delicate trimming steels bearing onto concrete pad-stone.
- Removal of all 'non original' flooring at ground floor level and replacing with a timber floor to the living areas and possibly a natural stone floor to the kitchen.
- 'Wall 5' to be extended across to the party wall with the introduction of a half hour rated fire door separating the two rooms. This non load bearing stud wall can be built directly off of the existing but non original concrete slab.
- Removal of 'wall 7; the structural works will involve the introduction of delicate trimming steels bearing onto concrete pad-stone.
- The door position adjacent to wall seven will be re-positioned to suit location of remaining walls.
- Bathrooms at lower ground floor to be refurbished.

The general objective for the proposed works is to create more usable space for the current occupiers.

At present, the ground floor which occupies the kitchen, storage room, dining area and living space. The present living and dining space is split by floor layering, which creates an awkward dining area for dining with more than two dinners.

The proposed works of levelling the dining area, and

The present, the 7.5msq storage space on the ground floor is considered 'dead' space as its excessive in size, and all utility equipment can be kept on the basement floor where there is adequate storage space available. By removing and opening up the wall between kitchen and storage space will create a larger space, and more usable space.

Our proposed scheme on the ground floor is to maximise space by removing the internal wall between kitchen and storage area, to maximising, and create a more usable space for the occupiers.

The basement floor at present occupies a double and single bedroom, bathroom, Study room and small storage cupboards.

Our objective within the basement area is to remove the wall between the single size bedroom and study room, and create another large double size bedroom.

At present the study room is too small to be used as a bedroom, which is at 5.9msq. the study room is also too narrow, with a measurement of 1.52m in width. With the removal of the proposed wall, we will be able to create a more usable space.

We have consulted OSO Designs Ltd, which specializes in structural and technical designs, and have concluded that the minor works will be carried out with minimal impact of the fabric of the building. Please also see proposed schedule of works on drawing with PL01A.

We are not proposing any works to the external architectural and historical fabric of the building. All works proposed in regards to the removing of walls do not have any historical or architectural fabric. The basement floor level was originally the buildings cellar, with all walls brick with no render, with no architectural and historical fabric.

We have considered the Unitary Development Plan and space standards for residential development and roof conversion and the scheme complies with the requirements of this documentations.

All proposed room areas and room heights are in excess of the required minimum area/ height within U.D.P.

Landscaping

N/A

Appearance

There are no proposed alterations to the external build. All alterations are internal, with no change to the original Grade II Listed fabric.

The design strategy for the proposed application is the only viable alternative in respect to minimal impact on architectural characteristic of the development and on its immediate surroundings.