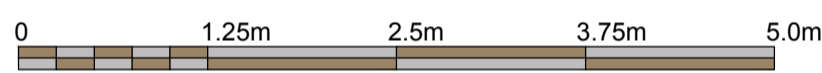
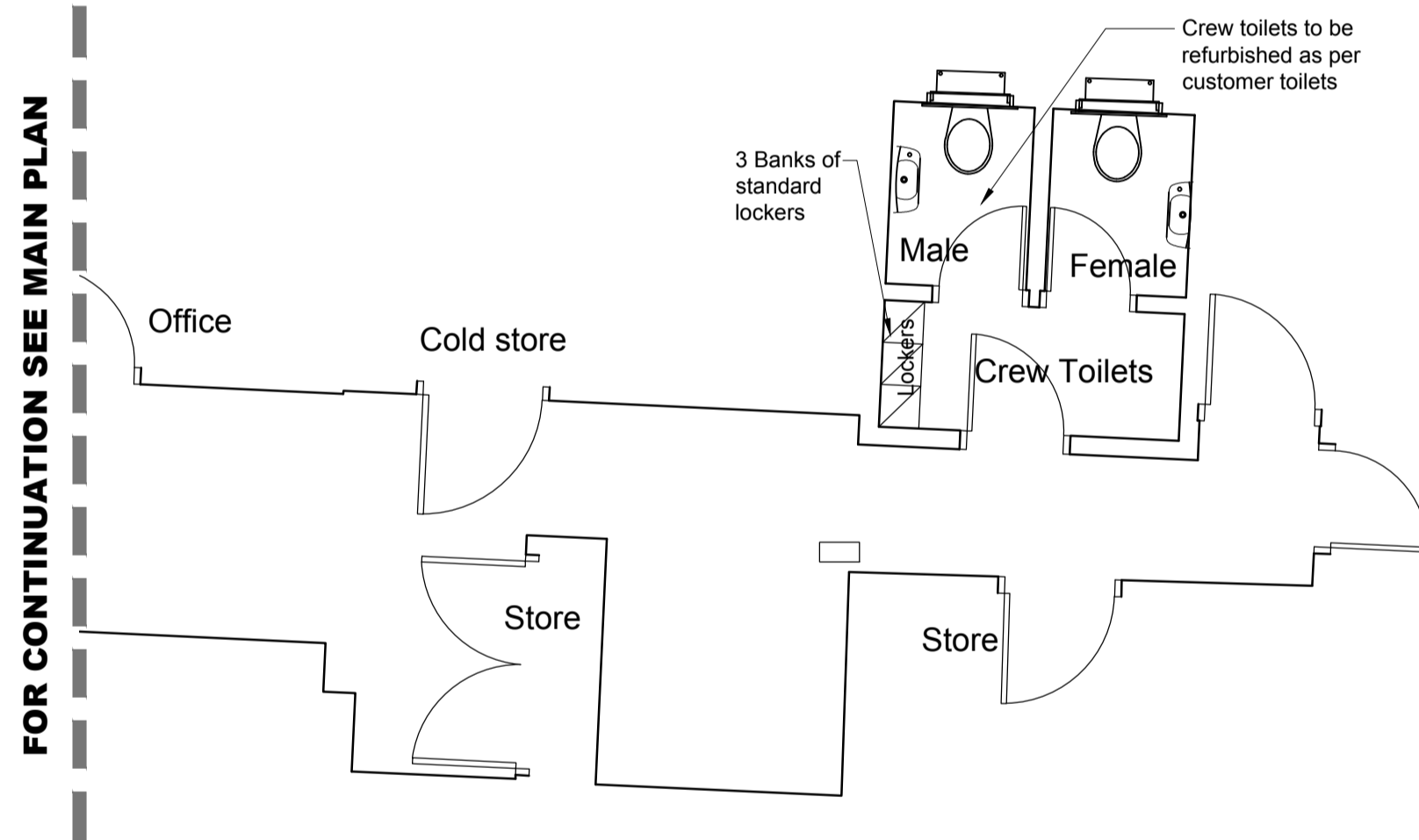


Dining Room General Arrangement Plan  
Scale 1:50

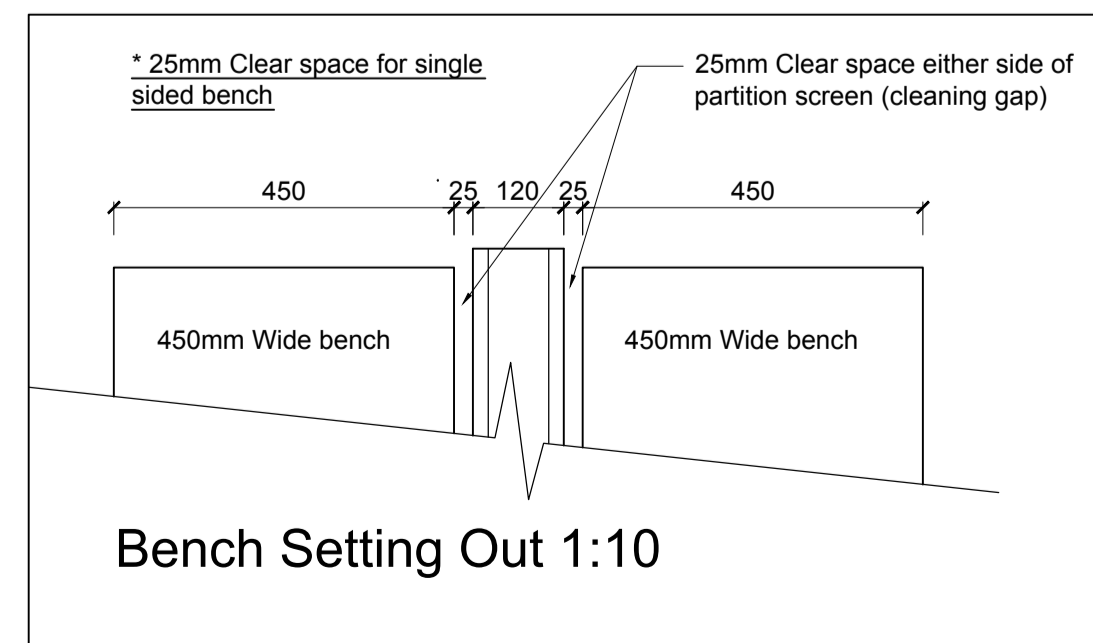


Area Schedule		
	Existing	Proposed
Total Covers	48	44
Queue	11.3m²	12.4m²
Path	1.2m	1.2m
Dining Area	59.9m²	59.4m²
Customer WC	6.6m²	6.6m²
Crew Room WC	5.5m²	5.5m²



FOR CONTINUATION SEE INSET

BINS		600x600mm Low square trash bin, 1200mm high
		600x700mm Trash column, 2575mm high
TABLES	Table tops 2 Colours: Black - Resopal 0901-60 Teak - Polyreteak massif T025 FA	T10 Table 600x500mm with 1 powder coated pedestal with floor fixing teak & black laminate finish
		T11 Table 1100x600mm with 2 powder coated pedestals with floor fixing teak & black laminate finish
		T12 Table 2400x800mm - 2 options: 3 high pedestals (1500mm overall) 3 low pedestals (760mm overall) teak laminate finish only
		T13 Table 3000x800mm - 2 options: 3 high pedestals (1500mm overall) 3 low pedestals (760mm overall) teak laminate finish only
BENCHES		Benches - Stamskin vinyl finish Beige (20130 ord. 56079) Tan (07496 ord. 56068)
		(BS) Single bench 1100x560mm 1/3 Beige & 2/3 Tan colour split
CHAIRS & POUFFES		Large feature chair: soca 'nest' chair randomly distributed
		Small feature chair: soca 'bird' chair randomly distributed
PARTITIONS		Slatted Partitions: HMP, A1, A2 & A3 White laminate & G5
		Slatted Partitions: B1, B2 & B3 Black laminate & G8
WC ITEMS		WC items: Hand dryer, Soap dispenser, Sliding shutter with 'pop' advertising, Sliding shutter, Sliding shutter, Sliding shutter
		WC items: Sliding shutter, Sliding shutter, Sliding shutter, Sliding shutter
CREW ROOM		Crew room items: T10 Table 600x500mm with 1 powder coated pedestal with floor fixing teak & black laminate finish
		Crew room items: Dining chair: soca 'bee' chair
SUNDRY		Sundry items: Counter Gate, Childrens 'hala' high chair - walnut finish
		Sundry items: 670x540mm Keeko colouring board, set 600mm above FFL



- All drawings to be read in conjunction with all other drawings
- All works to be undertaken in accordance with the building regulations and the latest british standards
- All proprietary materials and products are to be used strictly in accordance with the manufacturers recommendations
- All dimensions to be checked on site prior to construction and any discrepancies reported to the McDonald's PM
- These drawings have been developed in accordance with existing building surveys provided by McDonald's. Any discrepancies should be reported to the McDonald's PM
- These drawing to be read in conjunction with all other McDonald's design standards and specifications
- These drawing describe the architectural design of the restaurant seating area, customer toilets and crew room only. They do not include details of works to any other back of house or kitchen areas unless specifically noted.
- All drawings are for architectural purposes only. All mechanical and electrical works (emergency lighting, speakers, fire detection & alarm, supply and extract grilles, water and power supplies etc.) should be designed and co-ordinated by the contractor/specialists M&E designer.
- Refer to McDonald's standards refurbished specification regarding hot water supply to wash hand basins. Replacements of existing units may require the installation of a new hot water supply (some existing units have electrical hot water heaters)
- Note: these drawings do not include statutory signage. All statutory signage is to be supplied and installed by Recognition Express.
- Refer to McDonald's standard specifications for further information regarding DDA (disabled alarms, hearing loops)
- External drainage: the contractors attention is drawn to existing drainage on site. The contractor should co-ordinate existing drainage runs and manholes with signage bases etc. and report any clashes to the McDonald's PM.
- All public facing doors must be installed with a finger guard
- All dimensions to be checked on site prior to commencement on site. Any discrepancies to be reported to McDonald's PM
- All pedestals to be fixed to floor.
- All ironmongery to be satin stainless steel

Notes:  
Should the contractor be responsible for the detailed design of extensions, the designs and specifications prepared for tender form part of the employer's requirements documents describing the scope of works required. The design team has prepared this information without the contractor's input. The contractor should therefore note that these are not final designs suitable for construction purposes.

The contractor is responsible for the detailed design and co-ordination of the entire scheme including substructure, superstructure, interior fit out and external works.

Should the contractor wish to vary the specification of products and or components etc. From those indicated by the design team, specific approval must be obtained from the McDonald's PM.

- Notes for Store Extensions:
- Drawings for store extensions are for architectural purposes only. Refer to structural engineer for the design of foundations, floor slab, dpm, steel frame.
  - M&E design of extensions by others
  - Mechanical designer to advise on the extension of the existing rainwater disposal system (extension of gutters, additional down pipes etc.)
  - New restaurant shop fronts to be in accordance with the building regulations and to McDonald's standard shop front cladding profile
  - Brick slips - note-brick slips are subject to availability. Early procurement required, otherwise seek alternative bricks to be approved by McDonald's PM
  - Submit samples/details of the following to the McDonald's PM for approval shop front cladding, roof cladding, brickslips/wall cladding & render.

E	05-12-11	Title block amended	CA	PF
D	21-11-11	Amended seating layout	CA	PF
C	10-11-11	Amended to site comments	CA	PF
B	24-10-11	Amended to NW comments	CA	PF
A	01-12-10	First issue	SR	PF

This drawing has been reviewed and signed off by McDonald's Restaurants Ltd any errors, changes or discrepancies should be reported to the McDonald's project manager and designers prior to commencing work on site Name (PM): Date:

Signature:

GENERAL NOTES:  
All works are to be undertaken in accordance with the Building Regulations and the latest British Standards.  
All proprietary materials and products are to be used strictly in accordance with the manufacturers recommendations.  
All dimensions to be checked on site prior to construction.

PROPOSED DEVELOPMENT AT  
46 High Street, Hampstead,  
London, NW3 1QG

ON BEHALF OF:  
McDonald's Restaurants Ltd

DRAWING TITLE:  
Proposed Floor Plan

DRAWN BY:  
SR

CHECKED BY:  
IPF

DRAWING No:  
0912-0476-50

DATE:  
04-11-10

REV No:  
E

Scale:  
1:50@A1

CT Architects LLP  
Sandford House  
Cathedral Lane  
Godalming  
GU7 1LG

McDonald's