



Foundation
architecture

Full Planning Application with Design & Access Statement, Conservation Area Impact

**457RevB: 101 GLOUCESTER AVENUE,
LONDON NW1 8LB
DEC 2011**

**The Application is for the addition of a new glass
balustrade**

Image 1. THE REAR OF THE TERRACE FROM FITZROY ROAD.



Foundation Architecture Ltd. 39-41 North Road. London N7 9DP

• Voice 0207 036 1070 • Fax 0207 700 1070 •

Registered in England and Wales No. 3914245

CONTENTS

1.00 Design and Access Statement (Existing)

- 1.01 Existing Site Photographs**
- 1.02 Site & Scale**
- 1.03 Existing Uses**
- 1.04 Appearance**
- 1.05 Existing Access**
- 1.06 Thermal Efficiency**

2.00 Design and Access Statement (Proposed)

- 2.01 The Proposals**
- 2.02 Proposed Access**
- 2.03 Extension & Amenity Space**
- 2.04 Proposed Thermal Efficiency & Services**
- 2.05 Refurbishment**

2.06 Proposed Areas

2.07 Relevant Planning Policy

3.0 Conservation Area Impact Assessment

3.01 Historical & Special Architectural Interest/Character

3.02 Impact on Building's Setting

3.03 Scale and size of proposal

3.04 Appearance of Extension

3.05 Internal Works

3.06 Materials

3.07 Accessibility



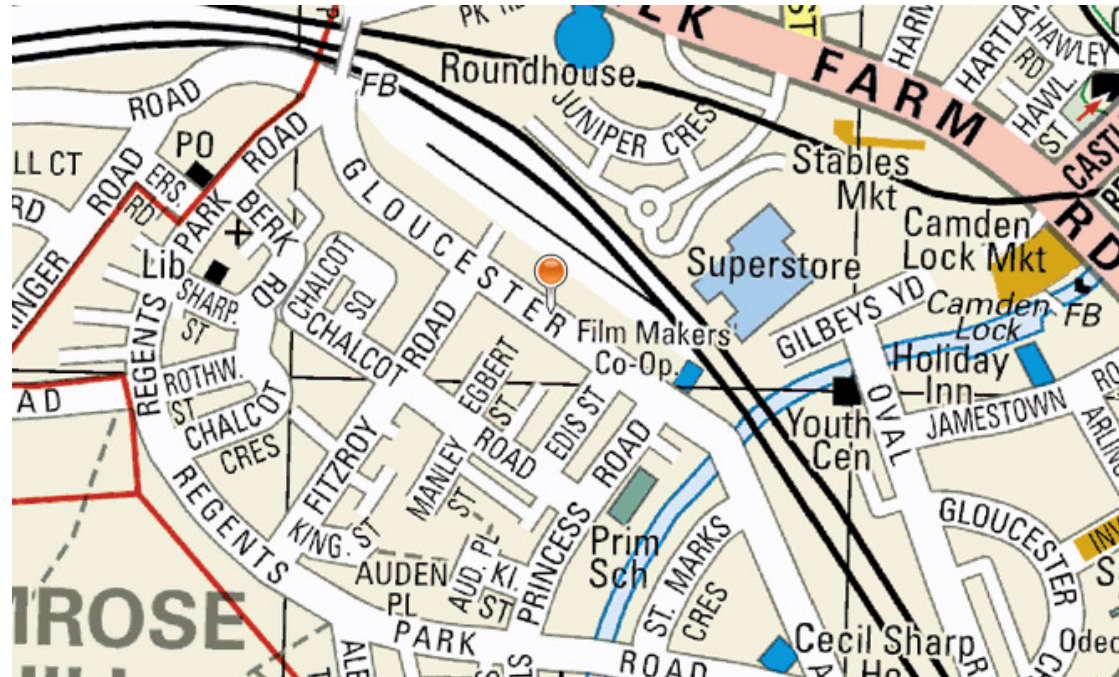
Foundation Architecture Ltd. 39-41 North Road. London N7 9DP

• Voice 0207 036 1070 • Fax 0207 700 1070 •

Registered in England and Wales No. 3914245

1.0 Existing

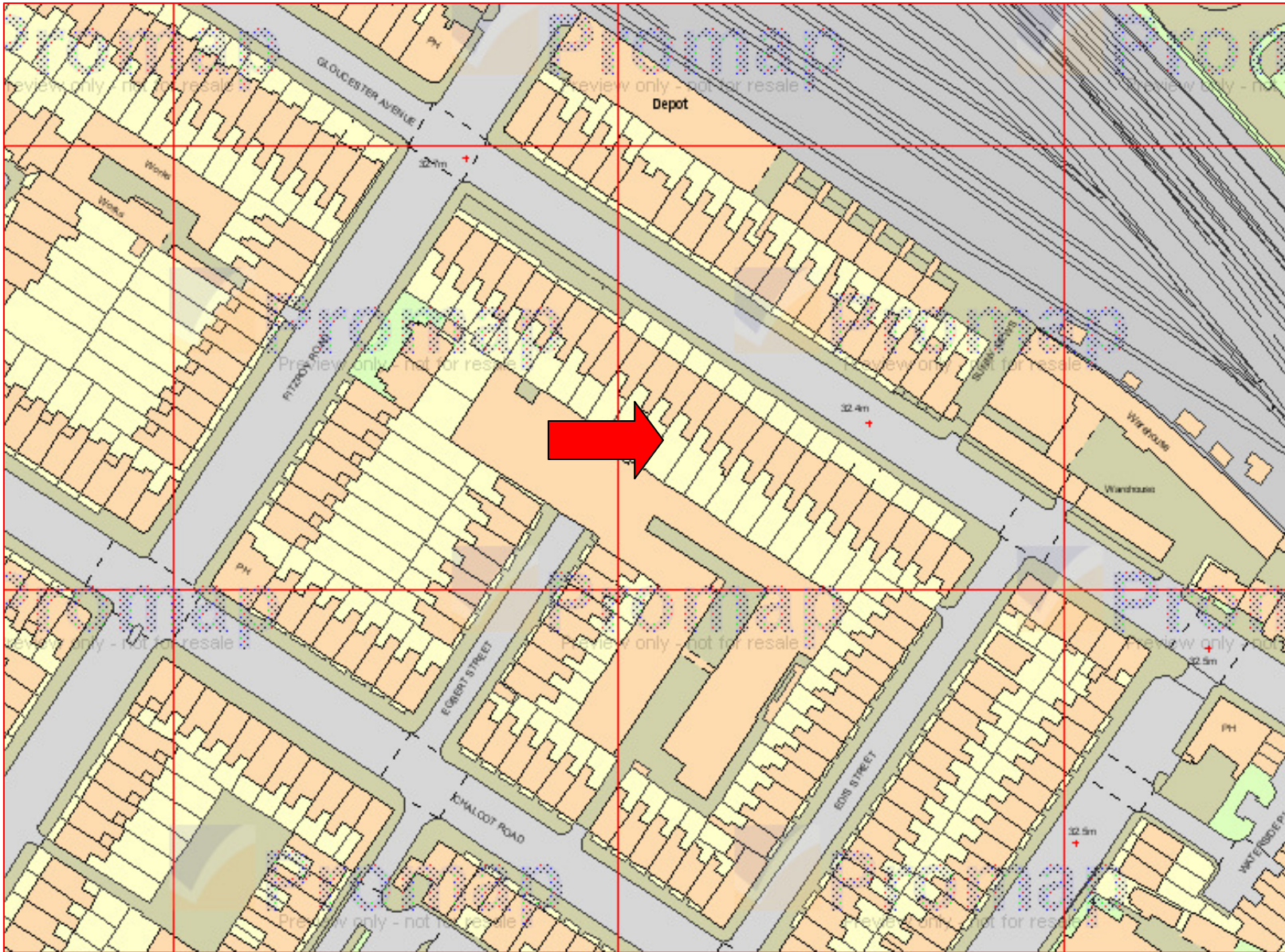
1.01 MAP



Foundation Architecture Ltd. 39-41 North Road. London N7 9DP

• Voice 0207 036 1070 • Fax 0207 700 1070 •

Registered in England and Wales No. 3914245



Foundation Architecture Ltd. 39-41 North Road. London N7 9DP
• Voice 0207 036 1070 • Fax 0207 700 1070 •
Registered in England and Wales No. 3914245



Image 2. Aerial view looking North



Foundation Architecture Ltd. 39-41 North Road. London N7 9DP

• Voice 0207 036 1070 • Fax 0207 700 1070 •

Registered in England and Wales No. 3914245



Image 3. Aerial view looking West



Foundation Architecture Ltd. 39-41 North Road. London N7 9DP
• Voice 0207 036 1070 • Fax 0207 700 1070 •
Registered in England and Wales No. 3914245



Image 4. Existing roof terraces to the West



Image 5. Existing roof terraces to the East



Foundation Architecture Ltd. 39-41 North Road. London N7 9DP

• Voice 0207 036 1070 • Fax 0207 700 1070 •

Registered in England and Wales No. 3914245

Image 6. Existing roof terraces to the West



Image 7. Existing roof terraces to the East



Foundation Architecture Ltd. 39-41 North Road. London N7 9DP

• Voice 0207 036 1070 • Fax 0207 700 1070 •

Registered in England and Wales No. 3914245

Site & Scale

The buildings sit on Gloucester Avenue, in a terrace of Victorian town houses. The terrace is an unbroken 150 metres long and there are no easy views of the rear of the building from street level.

The building is not listed but sits in the Primrose Hill Conservation Area.

The buildings comprise semi-basement and ground plus a further three floors.

1.03 Existing Uses

The building is currently in residential use – C3 - being split into three flats.

1.04 Appearance

The buildings were probably constructed in the late 1880's. The front façade (which is not altered in these proposals) is in stock brickwork, with stucco detailing in the arches and string courses. The buildings in the terrace are similar to the front, but to the rear a variety of top floor roof extensions have been built where once the parapet walls used to follow the line of the butterfly roofs. Some run full width, some have a full width terrace and some (No. 101) have a third inset roof terrace area. A neighbouring property, 105 Gloucester Avenue, was granted consent for a roof terrace as recently as 20.07.2010

Planning ref: 2010/2876/P.

101 Gloucester Terrace was given planning permission for a third floor extension in 1977. This was amended in a further Planning Consent (2011/3520/P) granted 8th September 2011.

Otherwise, the rear elevations are in a similar stock brickwork, painted timber windows with painted stone sills. The structure is of masonry and timber. The roof structure is in timber with a zinc covering and slates to the mansard.

Internally the finishes are very plain.

1.05 Existing Access

The pavement to Gloucester Avenue is 1.5 metres wide and access to the front garden is on a level, but there are several steps up to the ground floor front door which is 2.4m above the pavement level. Wheelchair access is not therefore possible and there is no lift.

1.06 Thermal Efficiency

N/A

2.01 The Proposals

The proposal looks to address the following issue:

- To provide the roof terrace amenity space with a view by replacing the brick parapet with a glass balustrade.



Foundation Architecture Ltd. 39-41 North Road. London N7 9DP

• Voice 0207 036 1070 • Fax 0207 700 1070 •

Registered in England and Wales No. 3914245

2.02 Proposed Access

Access will be as existing. The front door of the flat is approached by a staircase from the existing front door of the property which is at raised ground floor level.

2.03 Extension & Amenity Space

The new glass balustrade will be visible from the rear gardens. It is unlikely that there will be any significant visual impact from the surrounding buildings, indeed Nos. 99, 103 and 105 Gloucester Avenue have roof terraces of their own with glass or metal balustrades which look out onto the rear gardens.

The new balustrade is similar those on the neighbouring buildings. The roof terrace will not be visible from below. Only the glass balustrade will be visible from below.

The terrace will utilise the existing roof drainage outlets to a hopper head and to the existing rainwater pipe.

2.04 Proposed Thermal Efficiency & Services

Other than as listed above in 1.06 which are necessary to meet current Building Regulations, there are no further proposed interventions into the original building.

2.05 Extension / Refurbishment

None

2.06 Proposed Areas

The application does not propose any new increase in floor area.

2.07 Relevant Planning Policy

The site sits in the Primrose Hill Conservation Area.

The building is not listed and is not considered to be of any particular merit.

The building is in C3 use.

The proposals are for upgrading the amenity space for the upper flat.

3.01 Historical & Special Architectural Interest/Character

Question: Have you assessed the elements which constitute the special architectural interest/character of the building? If there is particular adverse impact on these explain what is the purpose of your proposal, why is it necessary and what approach of the design has been taken to minimise impact.

Answer: The building is not listed or considered to be of any local merit. The proposals will not be visible from the street. They have been designed to reflect the existing roof terraces to the rear of the neighbouring buildings.



Foundation Architecture Ltd. 39-41 North Road. London N7 9DP

• Voice 0207 036 1070 • Fax 0207 700 1070 •

Registered in England and Wales No. 3914245

Answer: N/A

3.02 Impact on Building's Setting

Question: Does your proposal have an impact on the building's setting? If so, what is the impact; does it enhance significant views of the building and how does it affect the character of the wider area?

Answer: It will not be possible to see the new balustrade from the street, and it will not adversely overlook or affect the view from the neighbouring buildings.

3.03 Scale and size of proposal

Question: If an extension or new structure is proposed, explain the scale, height, width and length of the proposal and its relationship to the existing building. How is the special character and fabric of the building being affected?

Answer: The addition of the glass balustrade effectively mirrors the neighbouring properties.

3.04 Appearance of Extension

Question: If an extension is proposed, what thought has been given to its appearance, position, visual impression, architecture, materials, decoration, lighting, colour and texture?

3.05 Internal Works

Question: If internal works or alterations are being proposed, what is the relationship between your proposal and the original layout, fabric and features of the building?

Internally there are no 'features' being removed.

3.06 Materials

Question: Describe the materials you propose to use, why you chose them, the way in which they relate to the character of the building? Have environmentally friendly materials been considered? What consideration has been given to maintenance?

Answer:

Wherever possible sustainable materials sourced as close to the site as possible will be used.

The building has been designed in order to minimise maintenance and where maintenance is necessary such as window cleaning, this can be done from the terraces.



Foundation Architecture Ltd. 39-41 North Road. London N7 9DP

• Voice 0207 036 1070 • Fax 0207 700 1070 •

Registered in England and Wales No. 3914245