



DESIGN and ACCESS STATEMENT

62 AVENUE ROAD
ST JOHN'S WOOD
LONDON NW8 6HT



A R C H I T E C T S

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SECTION 1 APPRAISAL OF SITE

DESIGN AND ACCESS STATEMENT

PROPOSED NEW HOUSE AT
62 AVENUE ROAD
ST JOHN'S WOOD
LONDON NW8



Design and Access Statement

This Design and Access Statement represents a comprehensive analysis of the site at 62 Avenue Road, St John's Wood, London NW8 in support of a planning application consent for a new carefully crafted, traditional style dwelling.

The building is fully described on the accompanying drawings submitted by GJP architects Ltd,

The statement addresses the following:

The design process - explain the design principles and concepts

Amount of development - how much will be built on site.

Use - what buildings and spaces will be used for

Layout - how the buildings, private/public spaces are to be arranged on site and their relationship.

Scale - how big the buildings and spaces will be in terms of their height/ width /length.

Appearance - details of materials/architectural details.

Landscaping - treatment of private and public spaces hard and soft landscaping.

Access - access to the development to ensure equal; and convenient access to buildings and spaces and the public transport network, and access for emergency services where relevant.



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INTRODUCTION

LOCATION AND SETTING

Location and Context

The site does NOT form part of the Elsworthy Conservation Area but is on the border of the Conservation Area.

Scale: Height.

The height of buildings varies through the conservation area. The height of the proposed houses matches the neighbouring buildings to the north and south side of The Avenue and are not out of scale with buildings in Avenue Road generally, enhancing the conservation area.

Scale: Massing.

By analyses, the mass of the proposed buildings is commensurate with the mass of the detached houses in The Avenue of a similar size.

Appearance: Materials and Details.

An audit of the materials on buildings and boundaries through the conservation area establishes what materials might be appropriate for the new houses. The same can be said for building details by looking at the age of buildings and the materials used to establish what details might be appropriate. The materials and traditional detailing on the proposed house enhances the conservation area by taking its cues from the existing materials and details used in Avenue Road.

To summarise, by analysis of the existing context of Avenue Road and applying this appropriately to the design of the proposed new house, it can be shown that the new building and landscaping make a positive contribution and enhance the conservation area.





Characteristic Details of this section of The Avenue

Although the area was developed in stages over a relatively extended period of seventy years, there has been little subsequent alteration of building frontages. The area has also retained its residential character, and as a result much of its traditional architectural detail and character.

The majority of original timber sash and casement windows, in a variety of styles, have been preserved. In general, replacement windows have been of a scholarly design finished to a high standard. There is a variety of entrance door designs, ranging from arched openings in stone, to porches and porticoes comprising flat roofs with brackets or columns, sometimes pedimented. Other elevation details include high quality tile cladding, stucco detailing, the use of stone banding and decorative masonry, and intricate timber gable and window decoration. At roof level, the detached houses are terminated by Classical parapets of low key design. Some houses have impressive chimney stacks and pots, fine clay tiles are generally used as the roof finish.

Prevalent and Traditional Building Materials

Dark red or brown brick is the predominant material used in this part of the Conservation Area. Other materials are employed as contrasting features and different combinations of variously coloured brick, stone, stucco and timber are used as contrasting detail in the treatment of facades across different parts of the Conservation Area.



USE CLASS OF THIS LOCALITY

Prevailing and Former Uses

The area has retained its status as a fashionable residential neighbourhood with large single family dwellings set back from the tree lined streets in substantial gardens. Although a larger number of houses were sub-divided into flats during and in the post-war period, they have since reverted to family houses. The area is therefore principally residential in character, with other building uses representing activities that are secondary or ancillary to the residential whole.

The general absence of commercial development adds to the neighbourhood's quiet appeal, but the area benefits from its relative proximity to busy commercial districts in Swiss Cottage and Finchley Road.

Building Character and Qualities

Avenue Road

The larger detached houses on Avenue Road relate more to St John's Wood in scale and character. Their spacious grounds are characterised by long front forecourts and generous rear gardens. The houses are set back from the road with strong well defined front boundaries either with high walls or gates. The houses have differing styles but similar form, height and size. The northern portion of Avenue Road does NOT lie within the Conservation Area.

The upper part of Avenue Road which includes a number of detached houses in neo-Georgian and vernacular classical styles of the inter war and mid twentieth century



ELSWORTHY CONSERVATION AREA - INFORMATION FROM LONDON BOROUGH OF CAMDEN



ASSESSMENT OF PARAMETERS FOR NEW BUILDING

It was thought that there would be several concerns that should be considered at the design stage. These can be summarized as follows.

(a) Impact on traffic and car parking.

Historically there has been a lot of development in this part of Avenue Road. In recent years there has been a trend to recreate the original large family houses. The proposed development of this single family house would be yet another building project in this section of Avenue Road but would, at least, retain the use of the site as a family house. This application, the proposal is to replace a like for like use.

The open forecourt is a feature of Avenue Road and it is thought that the open front garden should be retained as much as possible.

This large new house will have live-in staff as well as the immediate family. There is need to allow for additional car parking over and above the normal use. It would be undesirable to have the front garden area full of parked cars - a bit like a car park.

It is proposed, therefore, to create a new sub floor to house sufficient car parking for the household and its staff. This will enable the front forecourt to be left free and open rather than full of parked cars.

(b) Style of replacement building

The present house was built in the 1930's and was for its day. A traditional replacement building was considered the most suitable for this locality.

(c) Adverse impact on neighbouring properties.

The replacement building would occupy very much the same footprint of the existing property. The existing rear line of the main house would be respected and the front line is given by the existing footprint of the existing house.

The height of the current property is well below the neighbouring properties and it was thought that there would be scope for the house to be increased to the height of the neighbouring buildings.

The property to the north of the site had no windows that overlooked 79 West Heath road and it was considered appropriate that any new building should not have windows directly overlooking 81 West Heath road.

(d) Protection of trees

It was clear to see that there were important trees to the neighbouring properties with 62 Avenue Road. It was seen to be essential that an arboricultural analysis would be essential.

(e) Boundary treatment

The boundary is well served by a relatively high brick wall of some 1.7M in height.

It was thought that the ingress and egress crossovers would be kept and the front boundary wall should be maintained so as to cause no damage to the trees. It was thought that metal gates could be incorporated to give more security to the site.

(g) Daylight and Sunlight

It was intended that any new property would lie within the general parameters of the existing house and not to extend beyond the general rear line of the neighbouring houses.

OBSERVATIONS FROM SITE VISIT

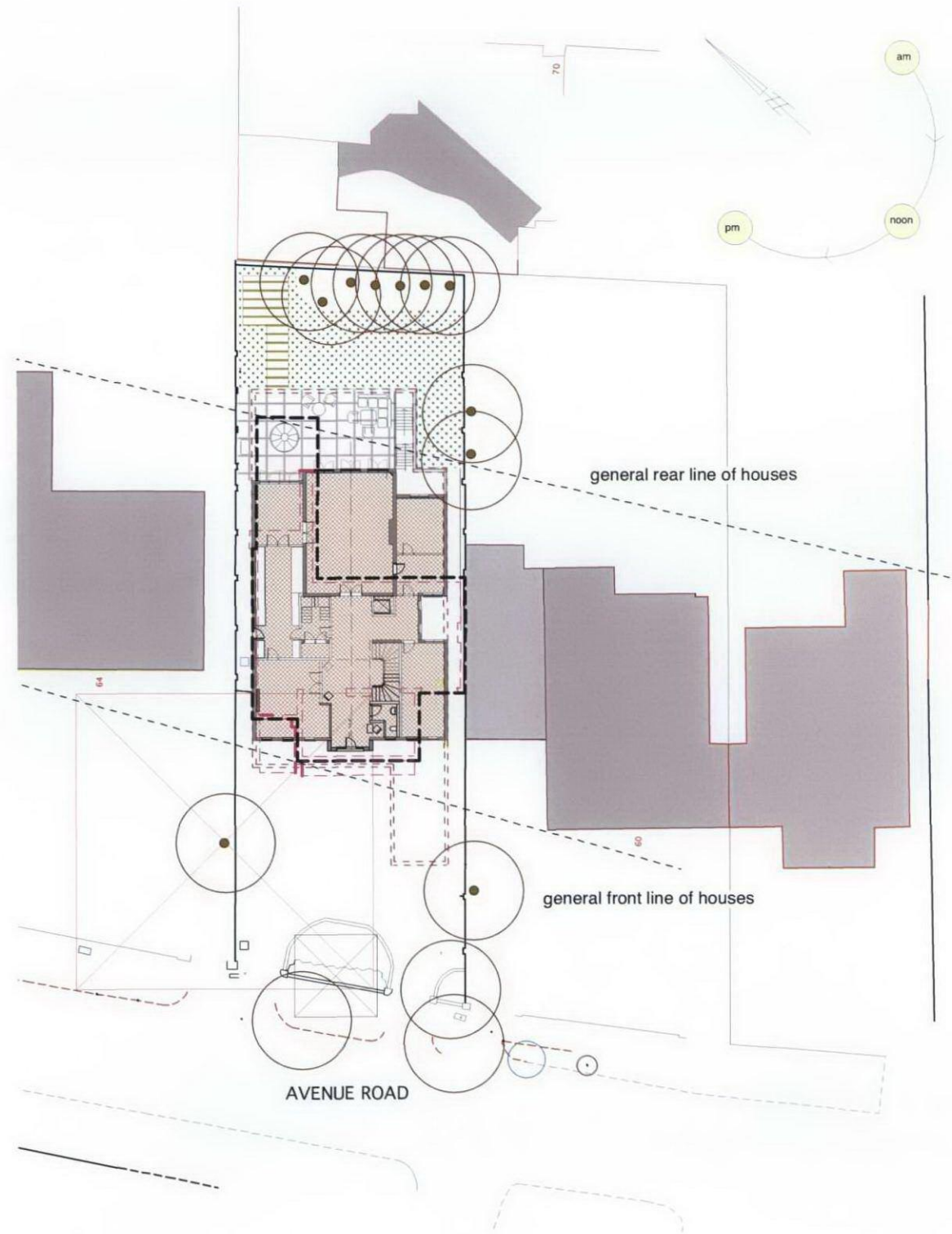
The house is a detached single family property. It is a relatively low built house with a simple pitched roof. It is not Listed and does not form part of a harmonious group of houses.

The group of houses in this part of Avenue Road are not identical nor do they offer a rhythm of plot width or regular roof lines to either eaves or ridge heights. They are traditional in design and detail. Tall sash windows are predominant.

There is a variety of individual architectural features to neighbouring properties that do not give a uniformity of material or design but the general feeling is that of a English traditional house of symmetry with a central feature entrance.

The site has two large mature trees on neighbouring houses. The front area is well landscaped and offers a sense of natural enclosure.

There is a low brick wall to the boundary of the main road with brick piers each side of the two access crossovers from Avenue Road.



DESIGN LED OBJECTIVES OF NEW PROPOSAL

The proposed house will be built over the Lower Ground, ground, first and second floor. There would be off street car parking for two cars with cycle stores for 4 bicycles. The forecourt area should not be treated a car park and cars should be houses in a below ground ground garage.

The house comprises of large family house for the specific needs of the client and his immediate family. There is to be accommodation for staff who live on the premises and wil also have cars.

There is a need for a lift to all floors to make the house sustainable for the more senior members of the pricipal family.

The lower ground floor will have reduced scope for natural light and thus should contain the swimming pool.

Any habitable rooms to the front will be lit from a light well.

The rooms and spaces will far exceed the minimum guidance for each room as set out in the design guidance notes produced by Camden.

The new house is designed to be will set back Avenue Road.



HISTORY

The site was redeveloped between WWI and WW2 - probably in the early 1930's. There are no records available at the local authority for the original permission or that of the house that was built in the inter war years.

There is no planning history shown on the Camden website for the period

INITIAL PLANNING ANALYSIS

- The house did not lie within a Conservation Area.
- It was unlikely that the council would object to the demolition of the existing house in principle
- The design of the replacement should be appropriate to the area. It was thought that there was scope to increase the building by an additional floor as the present house was low built in relation to the height of its neighbours. Over the years the neighbouring properties have been developed and redeveloped increasing the height of the buildings in this part of Avenue Road.
- Siting of the proposed house in the position of the existing house was considered in principle to be acceptable pending further detail.
- The large trees to the front and rear of the neighbouring houses would have to be protected as there is a policy to retain trees in this location.
- The boundary treatment would be important and details would be required of the boundary walls and any gates.
- The surface treatment of the front forecourt area would need careful consideration.



ELSWORTHY CONSERVATION AREA - 1914

LANDSCAPING

The two large trees to the front boundary are to be protected during the demolition and re-construction phases of this development. An arboricultural report is to be obtained to set out the Method Statement required in order to protect these trees.

The hard and soft landscaping areas currently on the site are to be maintained during the demolition and construction phases. A report is to be created to show the best method of protection of the surfaces during the building process.

ACCESS

VEHICULAR AND TRANSPORT LINKS

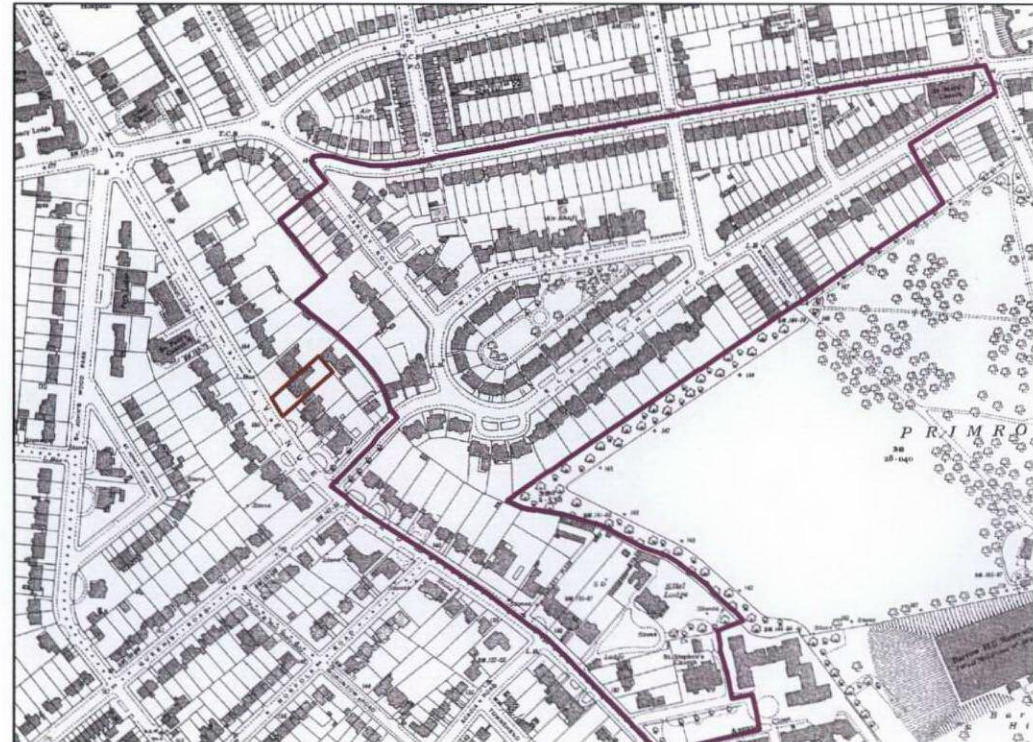
Access to the site is to remain unchanged. There is an entrance and exit crossover onto Avenue Road with dropped kerb that are to remain.

It is intended to retain the boundary wall for security. It is intended to incorporate a sliding gate at the entrance to increase the sense of security.

Emergency vehicles and service vehicles will use the existing access points with parking off road.

PEDESTRIAN ACCESS

Access to the site is to remain unchanged. There will be a level access to the side entrance door to allow wheelchair access to the new property in accordance with Part M of the Building Regulations.



ELSWORTHY CONSERVATION AREA - 1935

SECTION 2 PROPOSED DRAWINGS

This drawing is to be read in conjunction with all other drawings.
NOTES ON THIS DRAWING WILL APPLY TO ALL OTHER
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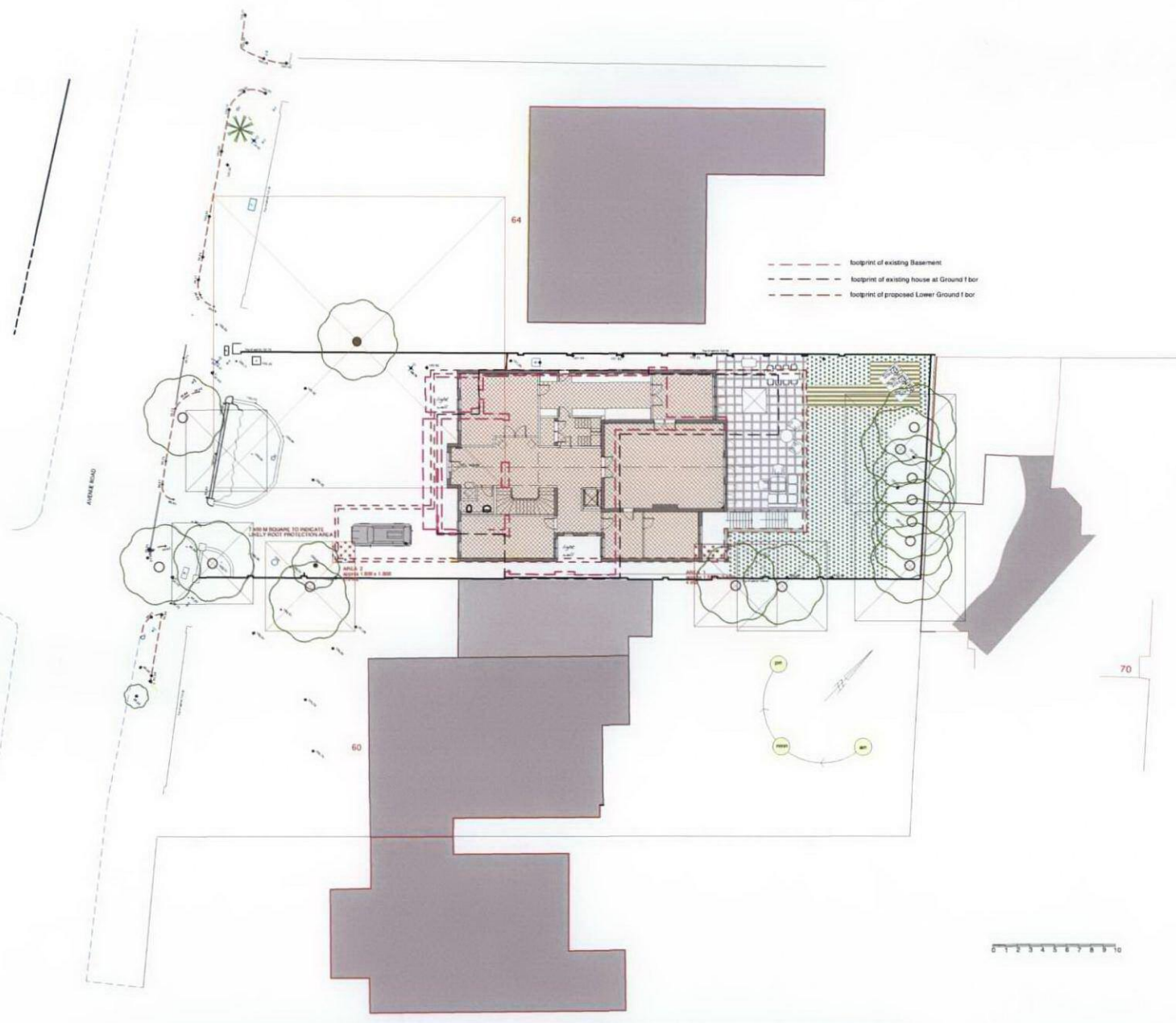
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 - b. DISCREPANCY BETWEEN THE DRAWING AND THE CONTRACTOR'S EXISTING WORKS.
 - c. ANY OTHER REASON THAT MAY BE REQUIRED.
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DRAWING TITLE

Proposed Site Plan

Drawing No. 06.909.07



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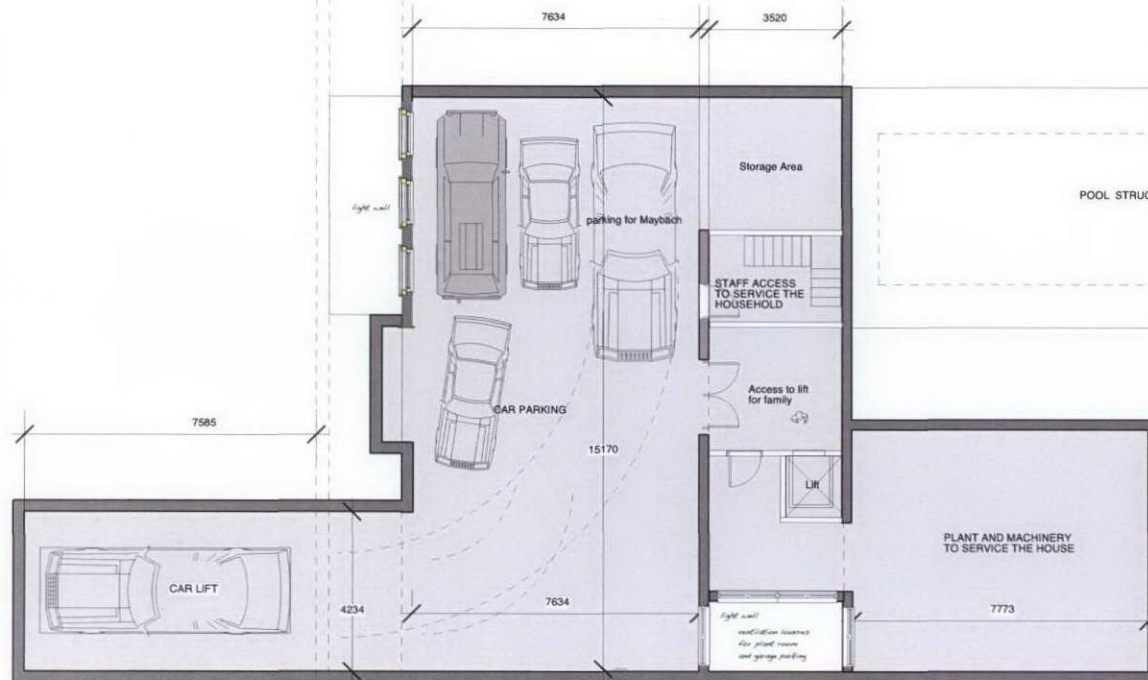
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REVISIONS

NO	DATE	DESCRIPTION	BY



SUB LOWER GROUND FLOOR 261 m2-

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PROJECT

62 AVENUE ROAD ST JOHN'S WOOD
LONDON NW8 6HT

DRAWING TITLE

Proposed Sub Floor Layout

SCALE 1: 200	DATE July 2011
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DRAWING NUMBER

Drawing No. 06. 909.08



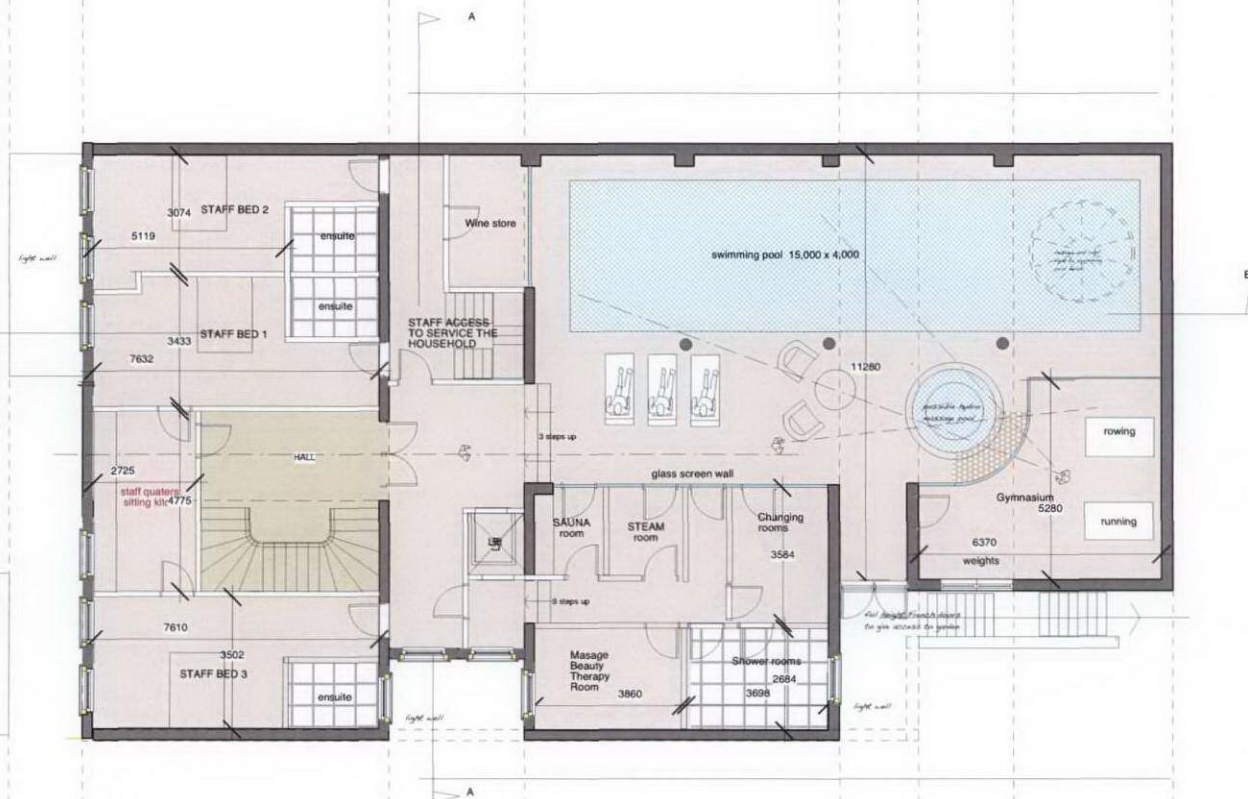
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REVISIONS			
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SCHEME P FOR LAYOUT

LOWER GROUND FLOOR 387 m² -

Total FLOOR AREA IS APPROX 1502 m² (16,170 sq ft)

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PROJECT
62 AVENUE ROAD ST JOHN'S WOOD
LONDON NW8 6HT

DRAWING TITLE
Proposed Lower Ground floor layout

SCALE 1: 200 **DATE** July 2011

DRAWING NUMBER

Drawing No. 06. 909.09



Resin Bound Surface from Clearstone or similar

Resin bound paving is made from shingle, quartz or crushed granite coated with a clear UV-stable polymer resin. To ensure that each aggregate particle is completely coated in resin, the two elements are pushed through a force-action mix process to form a cold-pour mixture. The mixture is then poured and hand-trowelled to form a smooth, accurate surface with no loose stones. It is recommended that a resin bound surface should be laid to a depth of 15mm for light traffic (i.e. a domestic driveway) and 18mm for heavier traffic.

New build
Or for your newly prepared driveway footings (NOT or scalping) we can use a permeable system, which comprises of a layer of porous asphalt on your base, with a top surface of resin-bound paving. This system is permeable and so complies with all the SUDS regulations



Picture an example of surface by
Addagrip Surface Treatments
Addagrip House
Bell Lane
East Sussex
Tel : 01825 761333

resin bound surface to
forecourt parking

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PROJECT

**62 AVENUE ROAD ST JOHN'S WOOD
LONDON NW8 6HT**

DRAWING TITLE

Proposed Ground floor layout

SCALE 1: 200 DATE July 2011

DRAWING NUMBER

Drawing No. 06. 909.10

62

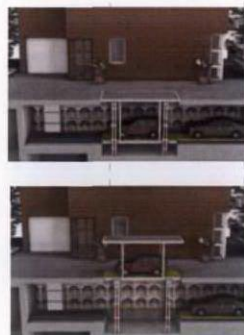
Roof of car lift to be resin bound base to
match surrounding forecourt area.

GROUND FLOOR 304 m2 -

Car lift is to be operated by designated
driver with external direct control from
ground level and cameras to show
car parking sub level while lift is in use.

2 IMAGES OF A MODEL
OF CAR LIFT IN OPERATION

Total Parking and Lifting Solutions Ltd
Suite 129, 70 Churchill Square
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ME19 4YU
Tel: +44 (0)845 604 3668
Fax: +44 (0)1732 523404
Email: info@totalparkingsolutions.co.uk
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Email: patrick@totalparkingsolutions.co.uk



0 1 2 3 4 5 6 7 8 9 10

Column High Rise Car Parking Platform Lift

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PROJECT

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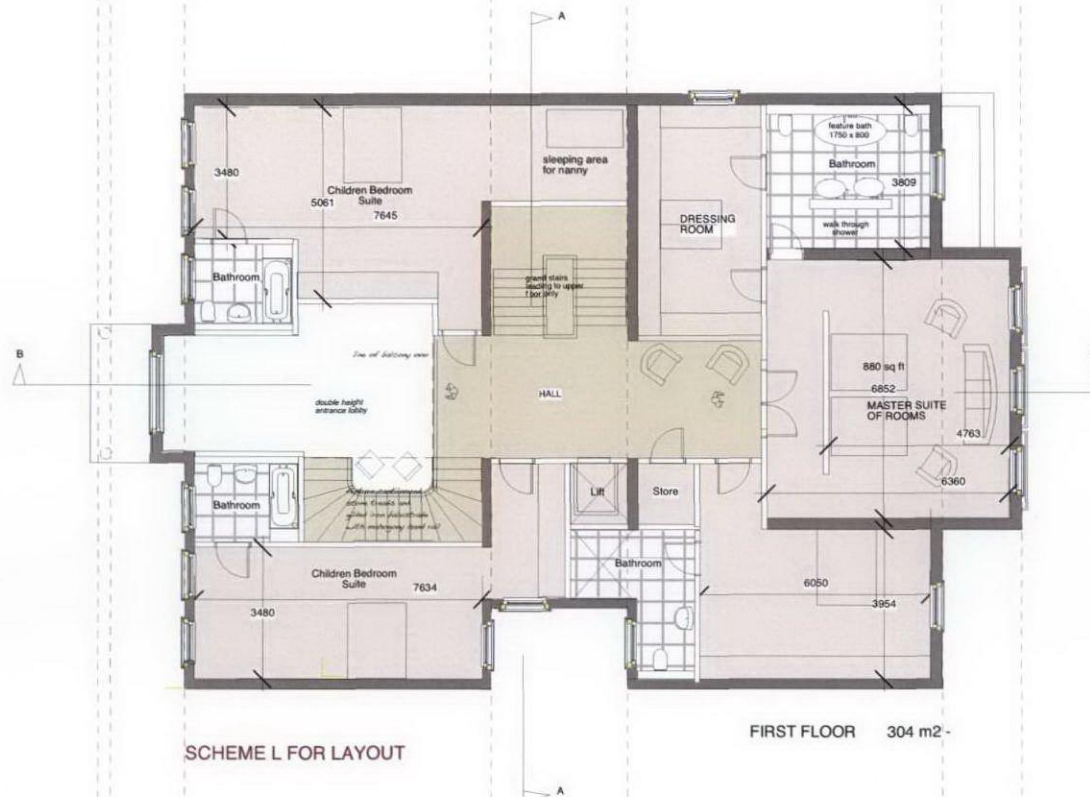
DRAWING TITLE

Proposed First floor layout

SCALE 1: 200 DATE July 2011

DRAWING NUMBER

Drawing No. 06. 909.11



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PROJECT
62 AVENUE ROAD ST JOHN'S WOOD
LONDON NW8 6HT

DRAWING TITLE
Proposed Second floor and Roof plan

SCALE 1: 200 **DATE** July 2011

DRAWING NUMBER

Drawing No. 06. 909.12

SCHEME L FOR LAYOUT

SECOND FLOOR 214 m2 -

ROOF PLAN



PLEASE NOTE

REVISIONS

ARCHITECTS

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G J P LTD

62 AVENUE ROAD ST JOHN'S WOOD
LONDON NW8 6HT

Proposed Front Elevation

DRAWING NUMBER

Drawing No. 06 909 13



DRAWING NOT TO BE USED OTHER THAN THE PURPOSE FOR WHICH IT WAS PREPARED.
IT IS SUPPLIED WITHOUT LIABILITY FOR ERRORS OR OMISSIONS.
DO NOT SCALE FROM THE DRAWING. ALL DIMENSIONS ARE TO BE CHECKED ON SITE.

This drawing is to be read in conjunction with all other drawings. NOTES ON THIS DRAWING WILL APPLY TO ALL OTHER DRAWINGS WHERE A SIMILAR POSITION EXISTS.

PLEASE NOTE

1. ALL DIMENSIONS TO BE CHECKED ON SITE BEFORE FABRICATION.
2. CONTRACTOR IS TO REFER TO THE ENGINEER'S DRAWINGS BEFORE PROCEEDING WITH WORKS.
3. ALL DRAWINGS AND DESIGNS ARE COVERED BY DESIGN RIGHT (INTELLECTUAL PROPERTY) AND MAY NOT BE DISTRIBUTED, COPIED OR ISSUED WITHOUT WRITTEN PERMISSION OF THE ARCHITECT.
4. ALL DESIGN CONCEPTS CONTAINED ON THIS DRAWING ARE THE SOLE PROPERTY OF THE ARCHITECT AND NO ADAPTATIONS, REPRODUCTIONS OR COPIES MAY BE MADE WITHOUT WRITTEN PERMISSION OF THE ARCHITECT.
5. THESE DRAWINGS MAY BE SUBJECT REVISION FOR THE PROPER CARRYING OUT OF THE WORKS.
6. LOCAL AUTHORITY AND STATUTORY REQUIREMENTS MAY OVERRIDE THESE DRAWINGS AND AMENDMENTS MAY BE REQUIRED.
7. SAMPLES OF MATERIALS WILL BE REQUIRED TO BE SUPPLIED BY THE CONTRACTOR. THE CONTRACTOR SHALL NOT RELY SOLELY ON THE WRITTEN DESCRIPTION CONTAINED WITHIN THE WORKING ON THESE DRAWINGS.
8. ALL FINISHES SHALL BE TO THE ARCHITECT'S SATISFACTION.
9. ALL CRITICAL DIMENSIONS SHALL BE APPROVED BY THE ARCHITECT BEFORE CONSTRUCTION.
10. ANY DISCREPANCY BETWEEN THIS DRAWING AND ON-SITE DIMENSION SHALL BE REFERRED TO THE ARCHITECT FOR CLARIFICATION AND INSTRUCTION BEFORE WORKS ON THAT PART SHALL COMMENCE.

REVISIONS			
NO	DATE	DESCRIPTION	BY

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PROJECT
62 AVENUE ROAD ST JOHN'S WOOD
LONDON NW8 6HT

DRAWING TITLE

Proposed Rear Elevation

SCALE 1: 200 DATE July 2011

DRAWING NUMBER

Drawing No. 06. 909.14



REAR ELEVATION

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL OTHER DRAWINGS.
NOTES ON THIS DRAWING WILL APPLY TO ALL OTHER
DRAWINGS WHERE A SIMILAR POSITION EXISTS.

3) ALL DIMENSIONS TO BE CHECKED ON SITE BEFORE FABRICATION.

4) CONTRACTOR IS TO REFER TO THE ENGINEER'S DRAWINGS BEFORE PROCEEDING WITH WORKS.

5) CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN RIGHT / INTELLECTUAL PROPERTY AND MAY BE REQUIRED TO DEFEND THE SAME.

6) WRITTEN PERMISSION OF THE ARCHITECT FOR ANY DESIGN REVISIONS TO BE MADE TO THIS DRAWING ARE THE SOLE PROPERTY OF THE ARCHITECT AND ANY SUCH REVISIONS TO BE MADE TO THIS DRAWING MAY BE MADE WITHOUT WRITTEN PERMISSION OF THE ARCHITECT.

7) THESE DRAWINGS MAY BE SUBJECT REVISION FOR PERMISSIBLE REVISIONS.

8) LOCAL AUTHORITY AND STATUTORY REQUIREMENTS MAY BE REQUIRED.

9) SAME SET OF MATERIALS WILL BE REQUIRED TO BE SUPPLIED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE SAME. THE DESCRIPTION CONTAINED WITHIN THE WORKING ON DRAWING SHALL BE USED.

10) ALL FINISHES SHALL BE TO THE ARCHITECTS SATISFACTION.

11) ALL CRITICAL DIMENSIONS SHALL BE APPROVED BY THE ARCHITECT BEFORE PROCEEDING.

12) IN ANY DISCREPANCY BETWEEN THIS DRAWING AND THE SET OF DRAWINGS, THE CONTRACTOR SHALL REFER TO THE ARCHITECT FOR CLARIFICATION AND INSTRUCTIONS.

REVISIONS		
NO	DATE	DESCRIPTION

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PROJECT
62 AVENUE ROAD ST JOHN'S WOOD
LONDON NW8 6HT

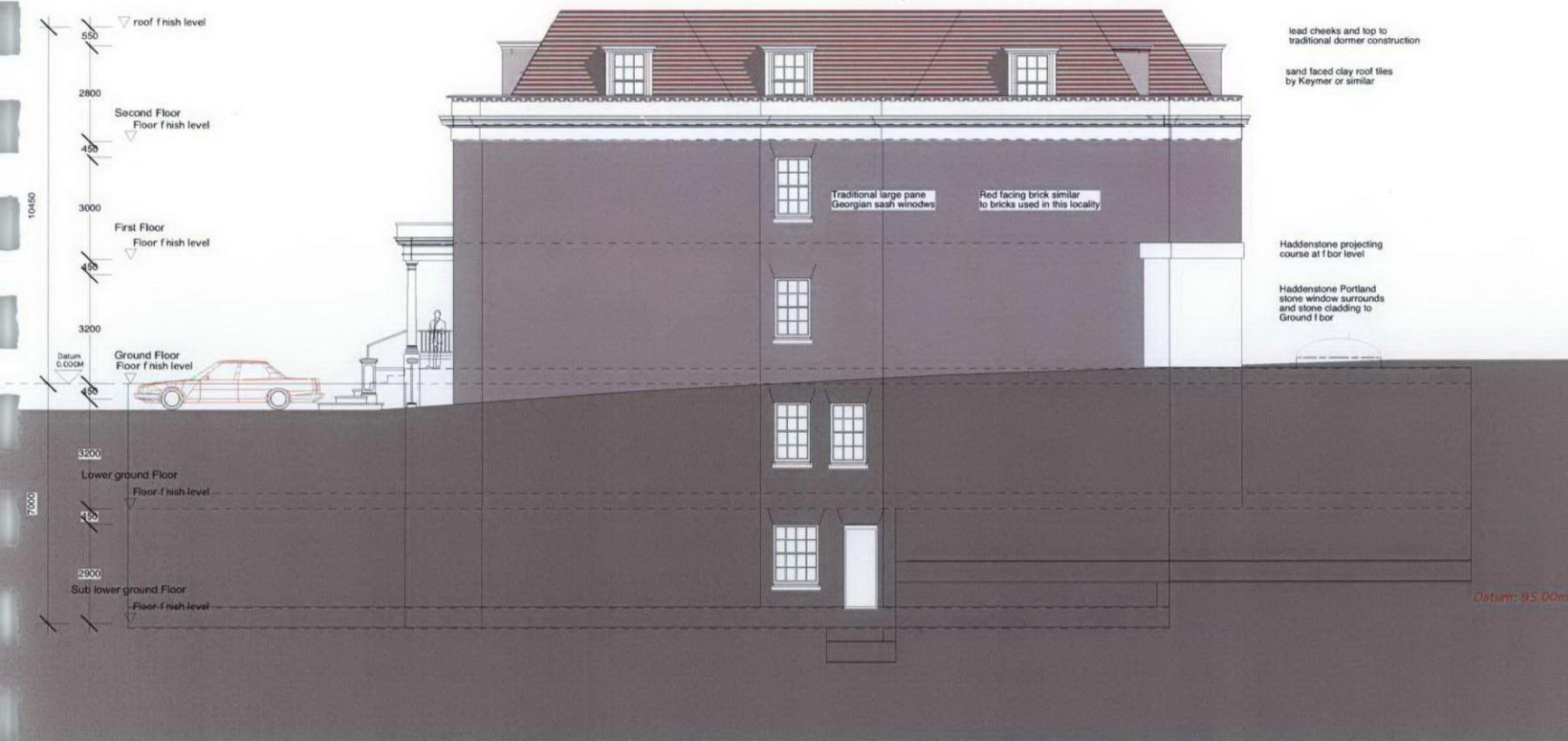
DRAWING TITLE

Proposed Side Elevation

SCALE	1: 200	DATE	July 2011
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DRAWING NUMBER

Drawing No. 06. 909.15



SIDE ELEVATION



This drawing is to be read in conjunction with all other drawings.
NOTES ON THIS DRAWING WILL APPLY TO ALL OTHER
DRAWINGS WHERE A SIMILAR POSITION EXISTS.

13. ALL DIMENSIONS TO BE CHECKED ON SITE BEFORE FABRICATION.
14. CONTRACTOR IS TO REFER TO THE ENGINEERS DRAWINGS BEFORE PROCEEDING WITH WORKS.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN RIGHT (INTELLECTUAL PROPERTY) AND MAY NOT REPRODUCE OR TRANSMIT IN ANY MANNER WITHOUT WRITTEN PERMISSION OF THE ARCHITECT.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THIS DRAWING BEING THE SOLE PROPERTY OF THE ARCHITECT AND NOT TO BE REPRODUCED OR TRANSMITTED IN ANY MANNER WITHOUT WRITTEN PERMISSION OF THE ARCHITECT.
17. THESE DRAWINGS MAY BE SUBJECT REVISION FOR THE FOLLOWING REASONS:
 - a) LOCAL AUTHORITY AND STATUTORY REQUIREMENTS
 - b) CHANGES TO THE DESIGN
 - c) MATERIALS MAY BE REQUIRED
18. THE CONTRACTOR/FABRICATOR WILL BE REQUIRED TO BE SUPPLIED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND DESCRIPTION CONTAINED WITHIN THE WORKING ON THE DRAWINGS.
19. ALL FINISHES SHALL BE TO THE ARCHITECTS DISCRETION.
20. ALL CRITICAL DIMENSIONS SHALL BE APPROVED BY THE ARCHITECT.
21. THERE SHALL BE A ONE (1) METRE SCALE BAR IN ANY DISCREPANCY BETWEEN THIS DRAWING AND THE SET OF DRAWINGS.
22. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ARCHITECT FOR CLARIFICATION AND INSTRUCTION.

G J P LTD

62 AVENUE ROAD ST JOHN'S WOOD
LONDON NW8 6HT

Proposed Side Elevation

DATE July 2011

Drawing No. 06. 909.16



This drawing is to be read in conjunction with all other drawings.
NOTES ON THIS DRAWING WILL APPLY TO ALL OTHER
DRAWINGS WHERE A SIMILAR POSITION EXISTS.

1. ALL DIMENSIONS TO BE CHECKED ON SITE BEFORE FABRICATION.
2. CONTRACTOR TO REFER TO THE ENGINEER'S DRAWINGS BEFORE PROCEEDING WITH WORKS.
3. CONTRACTOR TO BE RESPONSIBLE FOR THE DESIGN RIGHT (INTELLECTUAL PROPERTY) AND MAY NOT REPRODUCE OR TRANSMIT IN ANY MANNER WITHOUT WRITTEN PERMISSION OF THE ARCHITECT.
4. ALL INFORMATION CONTAINED IN THIS DRAWING ARE THE SOLE PROPERTY OF THE ARCHITECT AND NOT TO BE REPRODUCED OR TRANSMITTED IN ANY MANNER WITHOUT WRITTEN PERMISSION OF THE ARCHITECT.
5. THESE DRAWINGS MAY BE SUBJECT TO REVISION FOR TECHNICAL OR COMMERCIAL REASONS.
6. LOCAL AUTHORITY AND STATUTORY REQUIREMENTS MAY BE REQUIRED.
7. SAVED MATERIALS WILL BE REQUIRED TO BE SUPPLIED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROPER DESCRIPTION CONTAINED WITHIN THE WORKING ON DRAWINGS.
8. ALL FINISHES SHALL BE TO THE ARCHITECTS TASTE.
9. ALL CRITICAL DIMENSIONS SHALL BE APPROVED BY ARCHITECT BEFORE PROCEEDING WITH WORKS.
10. IN ANY DISCREPANCY BETWEEN THIS DRAWING AND THE DESIGN DOCUMENTS, THIS DRAWING SHALL BE THE REFERENCE FOR CLARIFICATION AND INSTRUCTION.

[illegible]

PROJECT
62 AVENUE ROAD ST JOHN'S WOOD
LONDON NW8 6HT

Proposed Section A - A

SCALE	1: 200	DATE	Sept 2011
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DRAWING NUMBER

Drawing No. 06. 909.17

Red facing brick similar
to bricks used in this locality

SECTION A - A



PLEASE NOTE

13. ALL DIMENSIONS TO BE CHECKED ON SITE BEFORE FABRICATION.
14. LOCAL AGENCIES TO REFER TO THE ENGINEERS DRAWINGS BEFORE PROCESSING WITH WORKS.
15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN RIGHT (INTELLECTUAL PROPERTY) AND MAY BE REQUIRED TO PROTECT THE SAME.
16. WRITTEN PERMISSION OF THE ARCHITECT SHALL BE OBTAINED BEFORE ANY REVISIONS TO THIS DRAWING ARE THE SOLE PROPERTY OF THE ARCHITECT.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DRAWING TO BE MADE WITHOUT WRITTEN PERMISSION OF THE ARCHITECT.
18. THESE DRAWINGS MAY BE SUBJECT TO REVISION FOR THE FOLLOWING REASONS:
 - A. LOCAL AUTHORITY AND STATUTORY REQUIREMENTS
 - B. REVISIONS TO THE DRAWING MAY BE REQUIRED.
 - C. THE CONTRACTOR SHALL BE REQUIRED TO BE SUPPLIED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DRAWING TO BE MADE WITHOUT WRITTEN PERMISSION OF THE ARCHITECT.
 - D. DESCRIPTION CONTAINED WITHIN THE WORKING ON THE DRAWING.
 - E. ALL FINISHES SHALL BE TO THE ARCHITECTS DISCRETION.
19. ALL CRITICAL DIMENSIONS SHALL BE APPROVED BY THE ARCHITECT BEFORE FABRICATION.
20. IN ANY DISCREPANCY BETWEEN THIS DRAWING AND ANY OTHER DRAWING, THIS DRAWING SHALL PREVAIL.
21. THE ARCHITECT FOR CLARIFICATION AND INSTRUCTION.

REVISIONS		
NO	DATE	DESCRIPTION

ARCHITECTS

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PROJECT
62 AVENUE ROAD ST JOHN'S WOOD
LONDON NW8 6HT

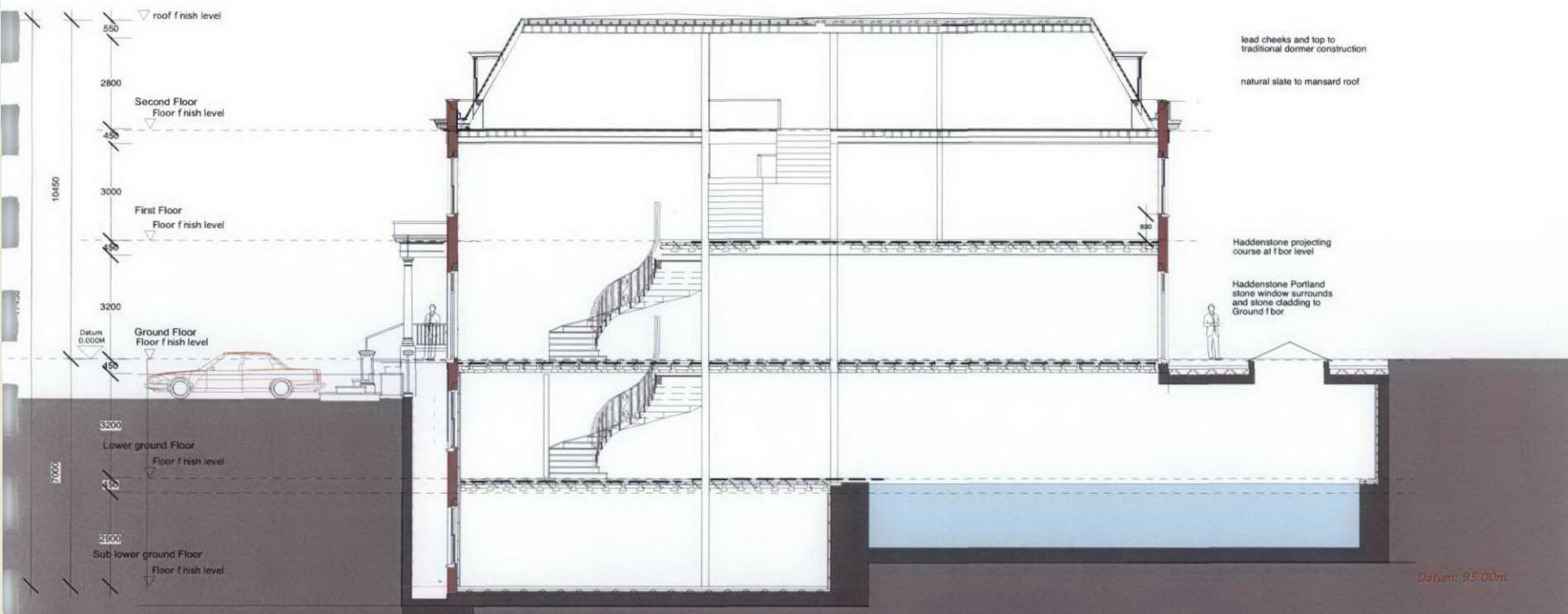
DRAWING TITLE

Proposed Section B -B

SCALE 1: 200 DATE Sept 2011

DRAWING NUMBER

Drawing No. 06. 909.18



SECTION B - B



SECTION 3 PROPOSED IMAGES



IMAGES OF REAR VIEW FROM GARDEN



AERIAL VIEW



STREET VIEW OF AVENUE ROAD



IMAGES OF VIEW FROM AVENUE ROAD



IMAGES OF REAR VIEW FROM GARDEN