

# **DISCHARGE OF CONDITIONS**

Rev. A

App: 2008/2362/P

Kentish Town Sports Centre Town Houses

Prepared for:

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This document is submitted for the discharge of conditions:

3, 5, 11, 19, 20

of planning application 2008/2362/P and varied conditions 4 and 21.



The propose scheme is designed to comply with Life Time Home Revised Criteria July 2010.

The following is a brief compliance summary and to be read in conjunction with the submitted drawings:

## 1) COMMUNAL AND/OR SHARED PARKING n.a as no on site parking is provided

## 2) APPROACH TO DWELLING FROM PARKING n.a as no on site parking is provided

## 3) APPROACH TO ALL ENTRANCES

The approach to all entrances is level or gently sloping. Gradients do not exceed 1:60 and/or 1:40 cross fall. No slope exceeds:

1:12 for distances up to 2m 1:15 for distances up to 5m 1:20 for distances up to 10m no slope is longer than 10m no landing is less than 1200mm

### 4) ENTRANCES

All entrances:

- a) can be illuminated at night.
- b) are level access over the threshold. Juliet balconies and terraces/balconies over habitable rooms are exempt.
- c) provide a minimum 800mm effective clear opening width
- d) provide adequate weather protection with a canopy of 600mm for private- & 900mm for communal entrances.
- e) provide level external landings with an area of 1.2m2 for private- and 1.5m2 for communal entrances.
- f) provide a 300mm door nib to pull side

## 5) COMMUNAL STAIRS AND LIFTS

n.a to private houses

## 6) INTERNAL DOORWAYS AND HALLWAYS

Internal hallways are: 900mm min with 900mm min doors. A 300mm nib is provided to all entrance level rooms.

## 7) CIRCULATION SPACE

Every home is designed to be adaptable for wheelchair users.

All living rooms provide a clear 1.5m turning circle or 1.7m x 1.4m ellipse with the occasional coffee table inside.

All living rooms are large enough to provide 750mm between items to pass to through to a window.

All kitchens provide a 1.2m clear zone between kitchen units and can be min. 3.6m long when all sides are added together.

All bedrooms are large enough to allow for a 750mm clear zone around bed.

### 8) ENTRANCE LEVEL LIVING SPACE

All entrance levels provide a living room or living area, dining room or dining area associated to a kitchen or other socialising space.

### 9) POTENTIAL ENTRANCE LEVEL BED-SPACE

All dwellings with two or more storeys, with no permanent bedroom on the entrance level, provide a 750mm wide temporary bed-space on the entrance level.

## 10) Entrance level WC and shower drainage

The entrance level provides an accessible WC compartment, with potential for a shower to be installed.

## 11) WC AND BATHROOM WALLS

Walls in all bathrooms and WC compartments are capable of firm fixing and support for adaptations such as grab rails within a 300mm-1800mm height band.

## 12) STAIRS AND POTENTIAL THROUGH-FLOOR LIFT IN DWELLING

All dwellings provide a 1m x 1.5m knock out panel for a future lift from the living room to the bedroom unless a bedroom and a bathroom are available on living room kitchen level.

## 13) POTENTIAL FOR FITTING OF HOISTS IN BED- AND BATH ROOM

The ceiling structure is capable of supporting a hoist. A 900mm knock out panel is provided from the bedroom to the bathroom where possible.

### 14) BATHROOMS

All bathrooms are accessible with a WC located 200-250 from wall and the basin providing a 700mm wide approach zone extending to 1100mm.

The internal bathroom area is min 2.1m x 2.1m and provides space for a 1.5m diameter or 1.4x1.7 elliptical activity zone to overlap with bath and a 1m diameter clear activity zone.

## 15) GLAZING AND WINDOW HANDLE HEIGHTS

All living rooms include some windows starting no higher than 800mm from floor level.

#### 16) LOCATION OF SERVICE CONTROLS

Service controls are within a height band of 450mm to 1200mm from the floor and at least 300mm away from any internal room corner.





01 Timber Decking



02 Timber Slatting as privacy element



03 Front garden design to shows brick metal wall with planting



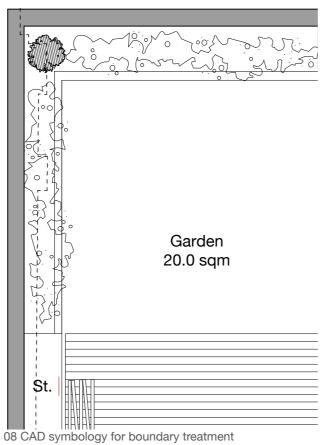
05 Occasional tall planting: Juniper



06 Occasional climbers: Trachelosperum jasmijoides

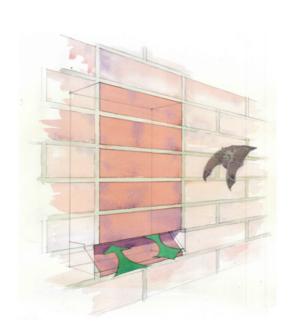


07 Bespoke planters on terrace at 1st floor





04 Indicative sketch for boundary treatment



09 Bat boxes integrated into proposed boundary walls as indicated on drawings

The gardens are divided into three simple zones: The timber decked terrace, the grass area and perimeter planting.

To provide an attractive green setting each garden will feature high quality hard landscape materials and ornamental planting in integral planters to create a green structure and increase the sense of privacy. Timber louvered panels will soften the brick wall boundary in the area of the existing sports centre.

The front entrance will be paved and show a low level brick wall with a metal fence and occasional planting behind. Bin storage will be provided in individual timber stores.

Opposite are precedent images of ornamental planting and landscape materials. Indicative species are:

Buxus sempervirens Choisya ternate Hebe spp Juniperis Ophiopogon nigrrescens Phyllostachys nigra

#### HABITAT ENHANCEMENT

Bat boxes are proposed as an integral part of the new boundary walls as indicated on the submitted drawings.

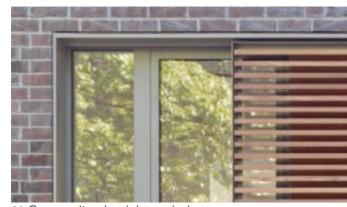




01 Plain Gault Reclaimed Brick



01 Red Reclaimed Brick



03 Composite aluminium windows



Technical results		
Description	Hard medium-grained sandstone without visible	
	laminations. Durable with good weathering qualities.	
Country of origin	China	
Colour	White	
Water absorption	0.87 %	BS EN 13755 2002
Porosity	2.75 %	BS EN 1936 2006
Density	2559 kg/m <sup>3</sup>	
Abrasion resistance	17.0	BS EN 14157 2004
	Intensive (Shopping Mall etc)	
Compressive strength	83 MPa LEV 63	BS EN 1926 2006
Slip resistance	Wet 80	BS EN 1341 2003
Flexural strength	7.1 MPa LEV 5.3	BS EN 12372 2006
Durability	Pass.	BS EN 12372 2006

04 White sandstone



05 Example stone sill



06 Timber bin store



07 Brick metal front garden wall



08 Aluminium timber entrance door

#### Facade:

Main materials are brick and sandstone:

For Willes Road we propose Red Reclaimed Brick from www.reclaimedbricks.uk.com or similar approved.

For Grafton Road we propose Plain Gault Reclaimed Brick from www.reclaimedbricks.uk.com or similar approved.

Windowsills and frames will be sandstone from www. realstone.co.uk or similar approved as specified opposite.

Windows will be double glazed, composite aluminium from Katzbeck or similar approved.

## Front garden:

The front garden wall is brick to match the facade with metal fencing on top. One side will be brick only to hide the bin store.

The bin store is timber as shown on the opposite image and in the location as indicated on plan.

## Roof:

The roof will be a single ply membrane flat roof from Sarnafil or similar approved.