

DISCHARGE OF CONDITIONS

Rev. A

App: 2008/2362/P

Kentish Town Sports Centre
Town Houses

Prepared for:
Kutner Associates Ltd.

Copyright by:
Autor Ltd | www.autorarchitecture.com | studio@autorarchitecture.com | +44 (0)20 7253 8330

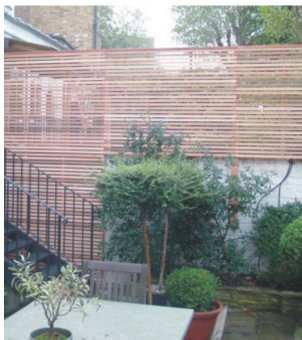
March 2012

This document is submitted for the discharge of conditions:
3, 5, 11, 19, 20
of planning application 2008/2362/P and varied conditions 4 and 21.

5.2 LANDSCAPE DESIGN



01 Timber Decking



02 Timber Slatting as privacy element



03 Front garden design to shows brick metal wall with planting



04 Indicative sketch for boundary treatment

The gardens are divided into three simple zones: The timber decked terrace, the grass area and perimeter planting.

To provide an attractive green setting each garden will feature high quality hard landscape materials and ornamental planting in integral planters to create a green structure and increase the sense of privacy. Timber louvered panels will soften the brick wall boundary in the area of the existing sports centre.

The front entrance will be paved and show a low level brick wall with a metal fence and occasional planting behind. Bin storage will be provided in individual timber stores.

Opposite are precedent images of ornamental planting and landscape materials. Indicative species are:

- Buxus sempervirens
- Choisya ternate
- Hebe spp
- Juniperis
- Ophiopogon nigrescens
- Phyllostachys nigra

HABITAT ENHANCEMENT

Bat boxes are proposed as an integral part of the new boundary walls as indicated on the submitted drawings.



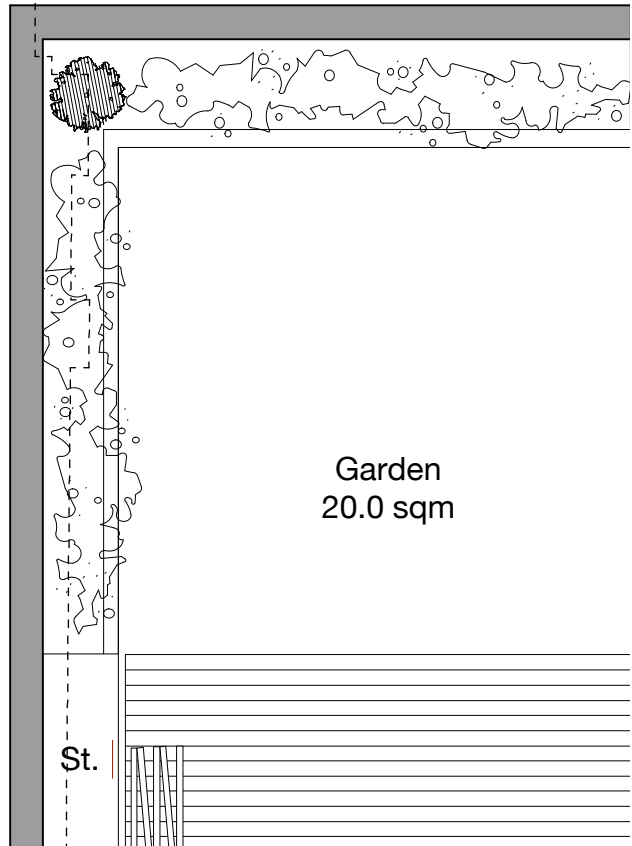
05 Occasional tall planting: Juniper



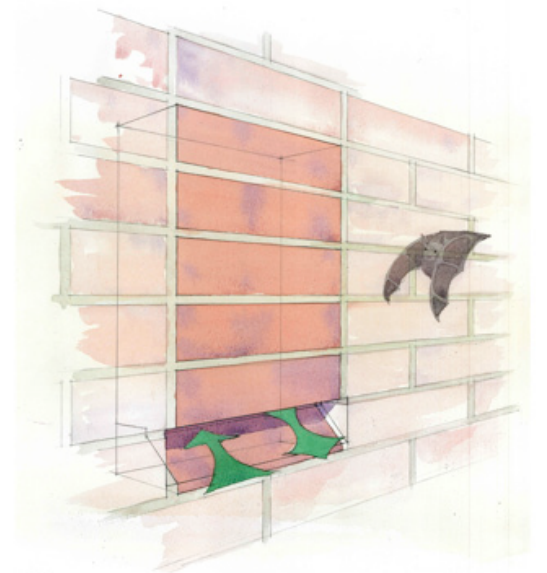
06 Occasional climbers: Trachelospermum jasminoides



07 Bespoke planters on terrace at 1st floor



08 CAD symbology for boundary treatment



09 Bat boxes integrated into proposed boundary walls as indicated on drawings

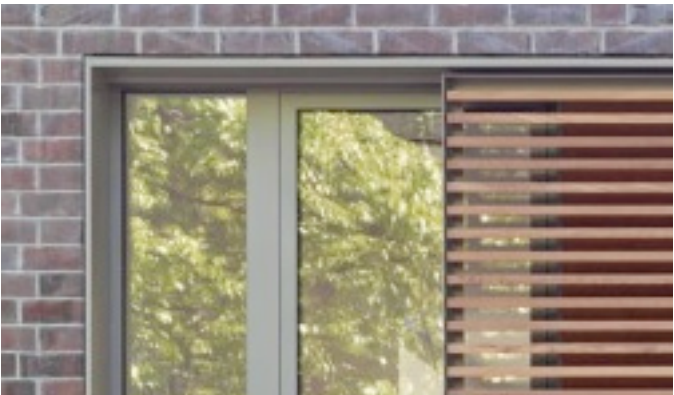
5.3 MATERIALS



01 Plain Gault Reclaimed Brick



01 Red Reclaimed Brick



03 Composite aluminium windows



Technical results

Description	Hard medium-grained sandstone without visible laminations. Durable with good weathering qualities.	
Country of origin	China	
Colour	White	
Water absorption	0.87 %	BS EN 13755 2002
Porosity	2.75 %	BS EN 1936 2006
Density	2559 kg/m ³	
Abrasion resistance	17.0	BS EN 14157 2004
	Intensive (Shopping Mall etc)	
Compressive strength	83 MPa LEV 63	BS EN 1926 2006
Slip resistance	Wet 80	BS EN 1341 2003
Flexural strength	7.1 MPa LEV 5.3	BS EN 12372 2006
Durability	Pass.	BS EN 12372 2006

04 White sandstone



05 Example stone sill



06 Timber bin store



07 Brick metal front garden wall



08 Aluminium timber entrance door

Facade:

Main materials are brick and sandstone:

For Willes Road we propose Red Reclaimed Brick from www.reclaimedbricks.uk.com or similar approved.

For Grafton Road we propose Plain Gault Reclaimed Brick from www.reclaimedbricks.uk.com or similar approved.

Windowsills and frames will be sandstone from www.realstone.co.uk or similar approved as specified opposite.

Windows will be double glazed, composite aluminium from Katzbeck or similar approved.

Front garden:

The front garden wall is brick to match the facade with metal fencing on top. One side will be brick only to hide the bin store.

The bin store is timber as shown on the opposite image and in the location as indicated on plan.

Roof:

The roof will be a single ply membrane flat roof from Sarnafil or similar approved.