

New Museum and Archive, Calthorpe House

Design & Access Statement

March 2012

THE BRITISH
POSTAL
MUSEUM
& ARCHIVE





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0.0 Introduction

0.2 The Client and Design Team

The client for this project is the British Postal Museum and Archive (BPMA). The client team includes the following key members:

Client Team

Tim Ellison
Chris Taft

The design team is appointed under the RMG's framework, led by M3 Consulting. At this stage the team includes the following consultants:

Design Team

Project Manager:

M3 Consulting

Richard Cowan
Phil Green
Barbara Paagman

Architect and Lead Designer:

Feilden Clegg Bradley Studios LLP (FCBS)

Richard Collis
Lee Warr
Mark Todd
Sara Haghshenass

Cost Consultant:

Gardiner and Theobald

Ian Purton
Craig Salter

Building Services Engineer:

Max Fordham LLP

Andrew Hutton

Structural Engineer:

Halcrow Yolles

Stephen McMillan



0.0 Introduction

0.3 Introduction

Who are the BPMA?

Founded in 2004, the British Postal Museum and Archive (BPMA) is the leading resource for all aspects of British postal history. It cares for the visual, physical and written records of over 400 years of postal heritage and is custodian of the nationally significant collections of the Royal Mail Archive and the museum collection of the former National Postal Museum. The BPMA's mission is to increase public access to these collections, making the story they tell of communication, industry and innovation available to everyone.

Where are they currently located?

The BPMA Archival Collection, smaller items of the Museum Collection, staff offices and public search room are currently located at Mount Pleasant in central London. The Museum Collection is held in a storage depot in Debden where public access is available for small groups on monthly tours. The collections are extensive and vary in scale from a Penny Black stamp to postal vehicles and a travelling post office railway coach. These items will require different levels of security and environmental control.



The current storage facility at Debden

What are their aspirations?

For a number of years the BPMA has sought a new home where collections can be held in the appropriate conditions and public access significantly improved. A location has been identified adjacent to the Royal Mail's Mount Pleasant site in central London.

This new facility will achieve the strategic aims of:

Preservation: safeguarding and preserving the collection of historic artefacts and archives associated with the postal service.

Access: creating a museum and archive complex that would become an important historic and cultural asset at a local, national and international level.

Sustainability: creating a successful business, based on long term sustainability and low financial risk.

Enhancement: supporting and complementing the collections.



The current Search Room at Mount Pleasant

Upon completion, this new facility will:

- provide a safe and stable location for the long term storage of the collections.
- make the collection more accessible to a broader audience.
- provide London with a new museum that displays a unique set of world class collections.

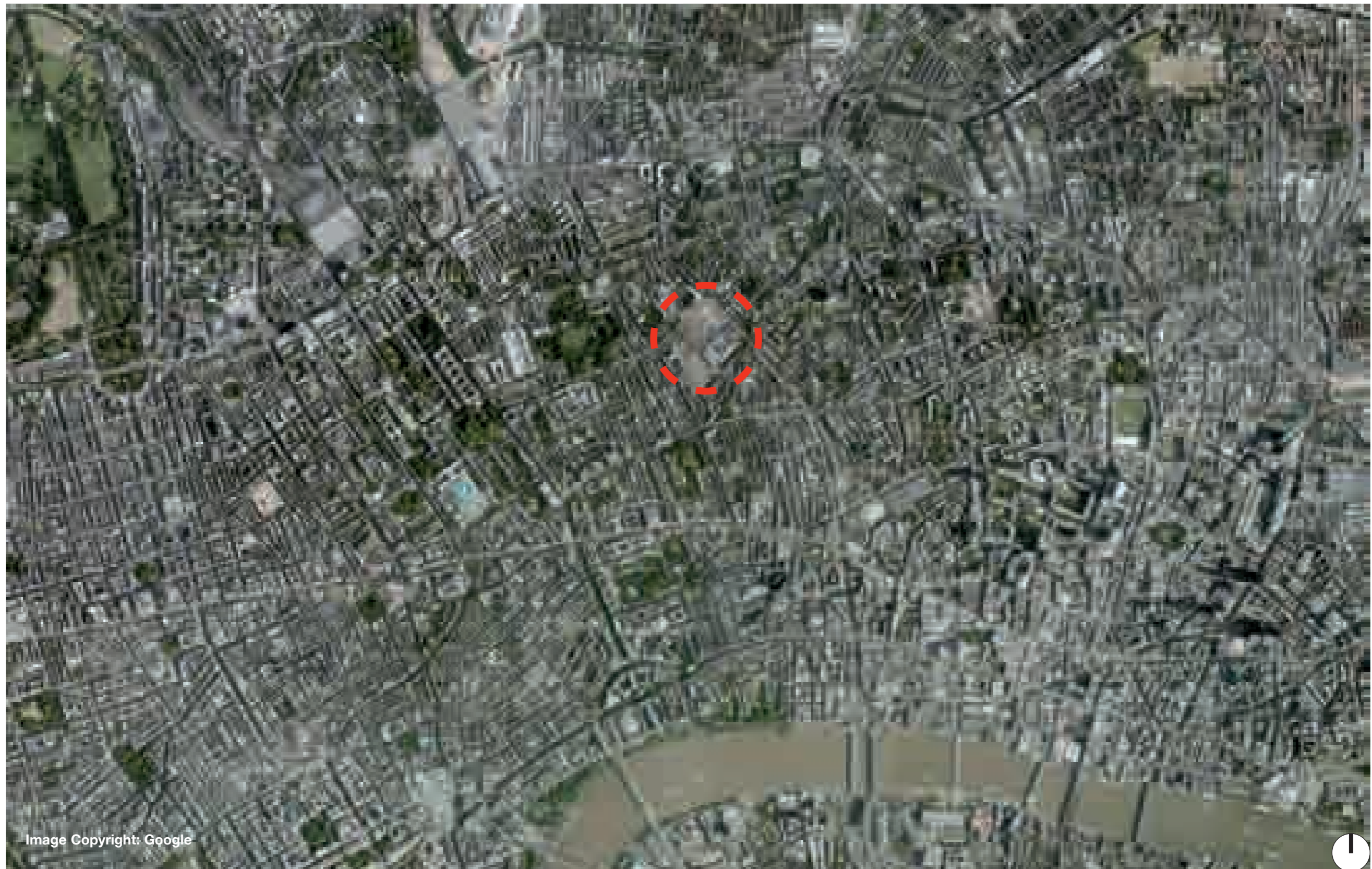
We are aiming to create a landmark building, which is both welcoming and accessible to its visitors while also dealing with the practical aspects that are specific to museum and archive design including security, environmental control and visitor routes.



The current Archive Facility at Mount Pleasant

1.0 Site Context Appraisal

1.1 Site Location



The location of the Mount Pleasant site

1.0 Site Context Appraisal

1.1 Site Location



The location of the site for the New BPMA facility

1.0 Site Context Appraisal

1.2 The Site

Calthorpe House is located at 15-20 Phoenix Place, and dates from circa 1925. It has a main frontage to Phoenix Place and rear access from Gough Street to the west. The easterly main building is a three-storey structure.

Calthorpe House is not listed or in a Conservation Area. Its northern site boundary is the boundary for the Bloomsbury Conservation Area (Camden). The buildings on Calthorpe Street which back on to the Calthorpe House northern site boundary are listed and within the Bloomsbury Conservation Area. The Mount Pleasant site on the north side of Phoenix Place opposite Calthorpe House is within the Rosebery Avenue Conservation Area (Islington).

The site covers approximately 0.23 hectares and includes four buildings of differing size and quality. The buildings on the site are as follows:

1. Calthorpe House
2. Service Yard
3. Single Storey Extension to Calthorpe House
4. Two Storey Industrial Building
5. Outbuildings

Listed Structures

The properties to the north of the site on Calthorpe Street (6) are listed, therefore the northern boundary wall to the development site is curtilage listed.

Site Ownership and Management

The site falls under the ownership of the Royal Mail Group.

Flood Risk Assessment

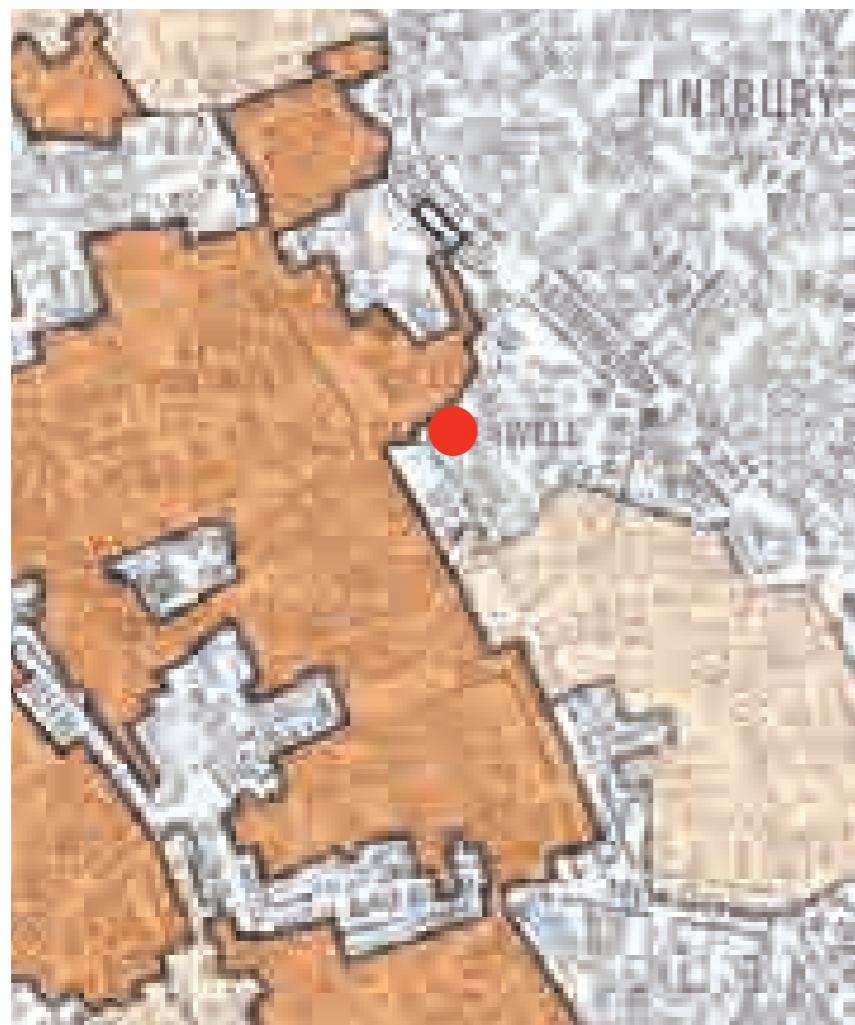
The Environment Agency Flood Plan website does not show the site to be in an area at risk of flooding.



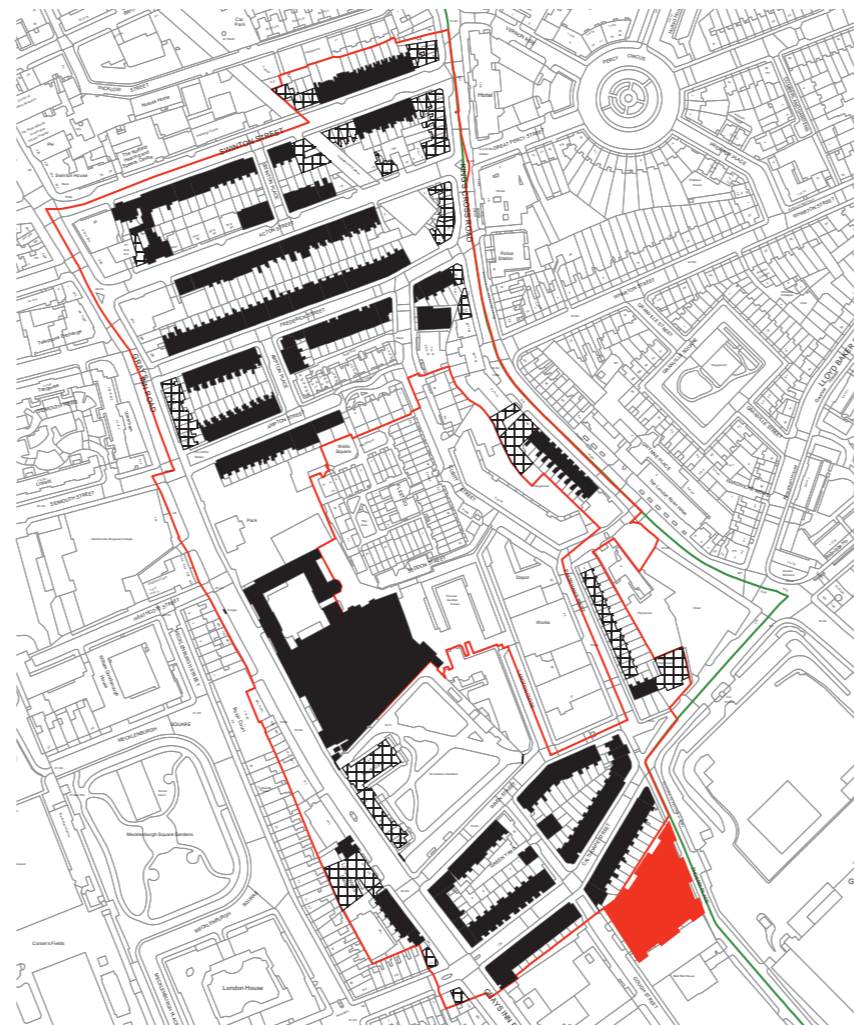
Site Plan

1.0 Site Context Appraisal

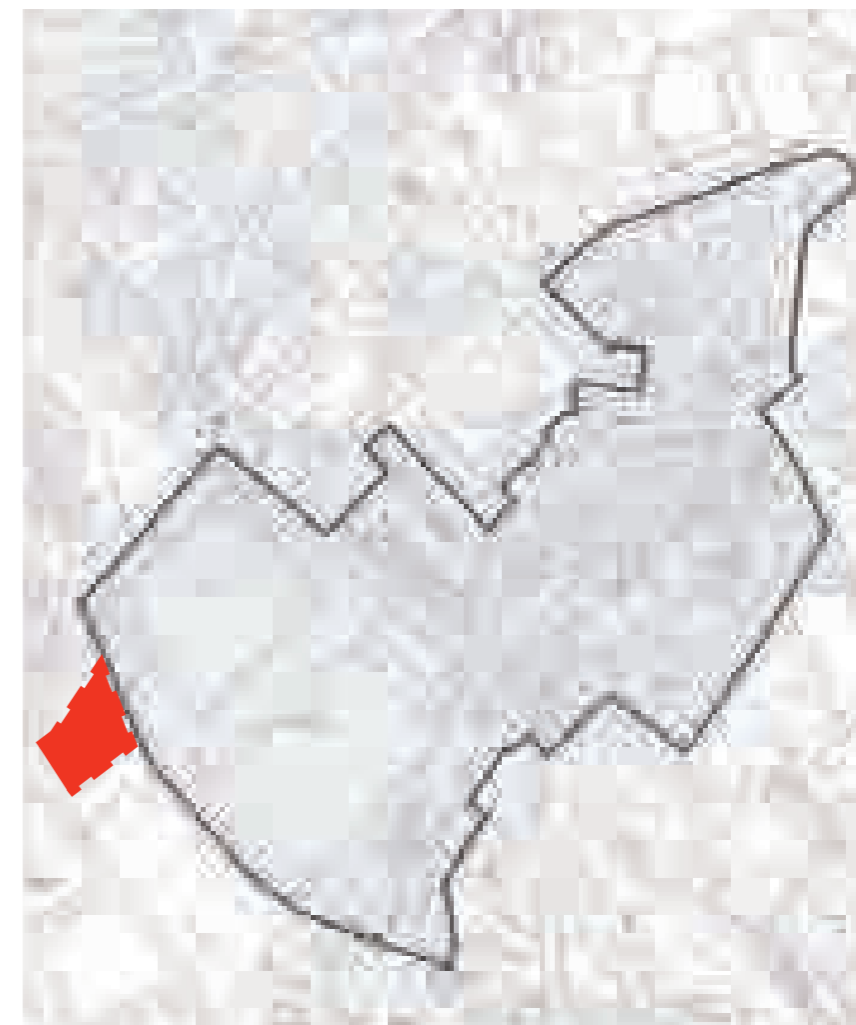
1.2 The Site



Bloomsbury & Hatton Garden Conservation Areas
Borough of Camden



Bloomsbury Conservation Sub Area 14 Map
Listed Buildings



Rosebery Avenue Conservation Area
Borough of Islington

-  Bloomsbury Conservation Area
-  Adjoining Conservation Area (Hatton Garden)
-  Listed Buildings (Bloomsbury CA Sub Area 14)
-  Development Site

1.0 Site Context Appraisal

1.3 Calthorpe House

Description

The main elevation to Phoenix Place is brick-clad with an Art Deco style facade incorporating stone/rendered decorative panels and large areas of fenestration. The roof over the east and north elevations is flat with a saw-tooth roof incorporating east-facing roof lights over the bulk of the building behind the facades. To the west side the main building has been extended at ground floor level and a large 2 storey industrial shed with pitched roof added. A small basement/boiler room (approx 9 x 5m) is located at the southern end of the building (under a steel chimney) with stair access from the ground floor corridor. To the north of the building is an external area currently used for parking and storage.

The building is currently used for offices and informal storage of products for recycling. The historic use of the building is not known. Lettering on the plaque to the front elevation says 'Bradbury and Agnew Co Ltd' who were the publishers of Punch magazine until the late 1960s. Whether or not Calthorpe House was the site for a printers workshop is not known.

Existing Structure

Concrete framed (or steel frame encased in concrete) with RC floor and roof slabs. Old plant hoist on roof with 2 tonne capacity. Column/frame at approx 5.5 x 4.2m centres through floor levels.

Floor-ceiling heights vary between floors:

Ground floor - 3425mm at ground floor (approx 3000mm to underside of downstand beams). Note 275mm floor void under large sections of raised/vented ground floor

First floor - 3050mm floor to soffit at first floor (approx 2845mm to underside of downstand beams)

Second floor - 2600mm to soffit of suspended ceiling/approx eaves to sawtooth roof - ridge of sawtooth approx 1400mm higher.

External walls are approximately 350mm thick, presence of cavity likely, to be determined. Internal partitions do not appear to be load-bearing, however, this is to be confirmed.

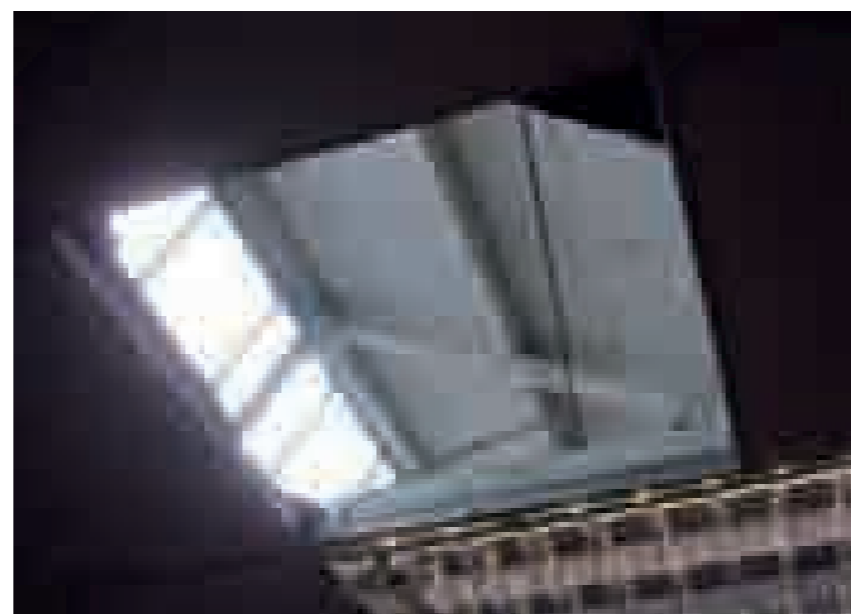
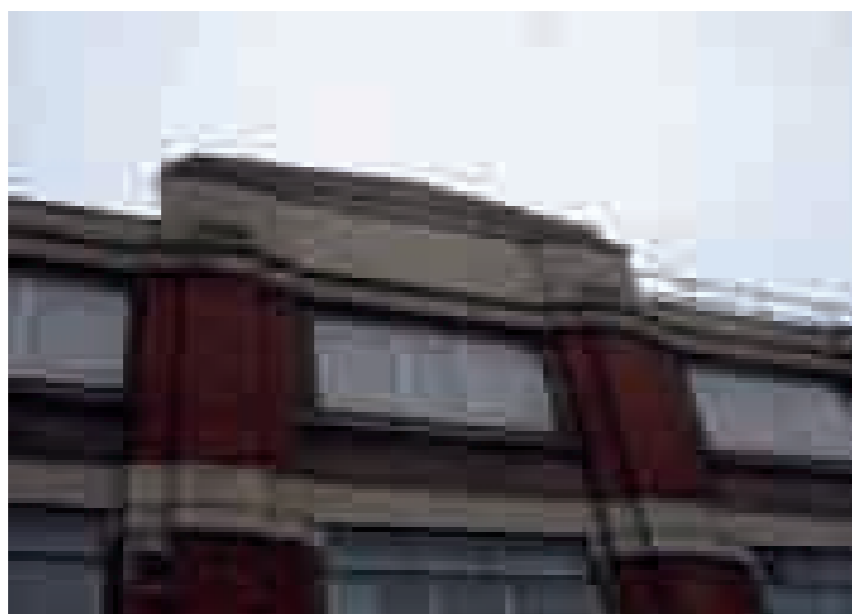
Existing Services

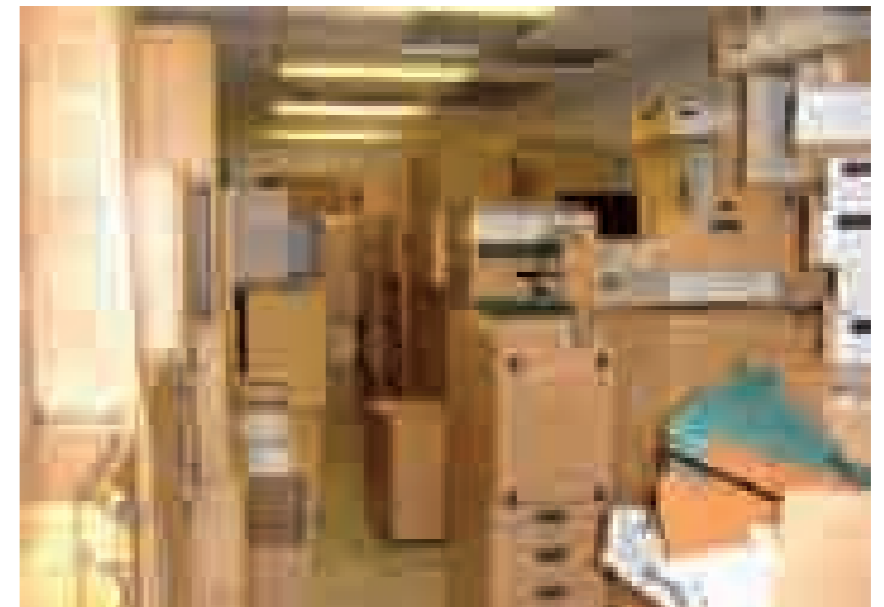
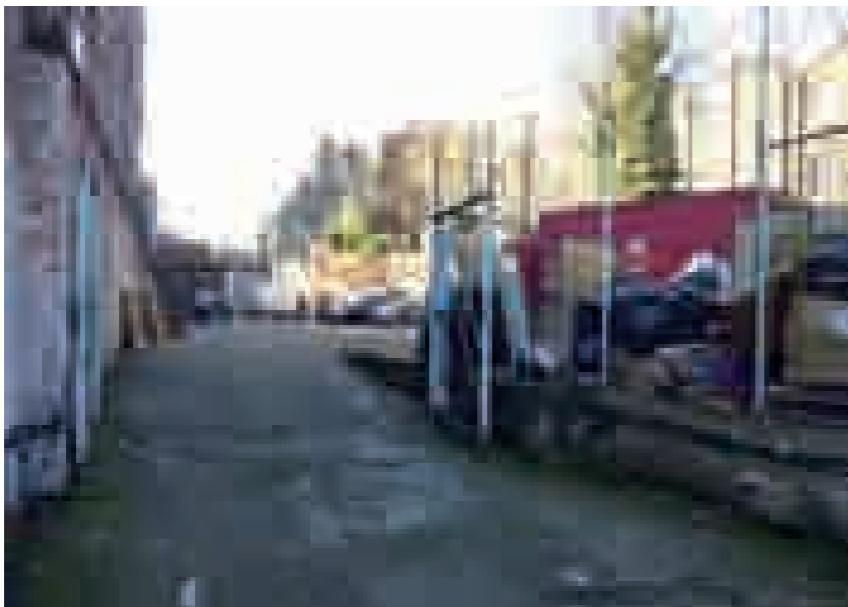
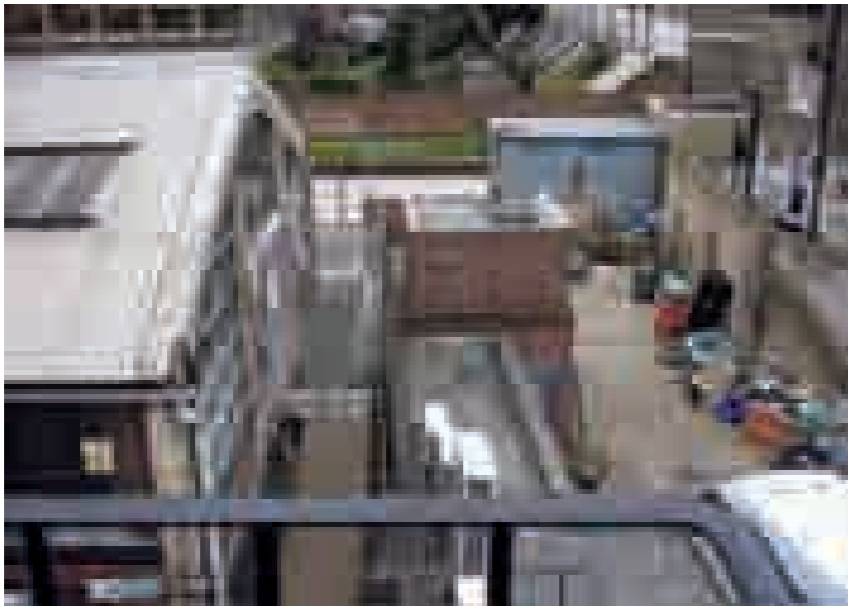
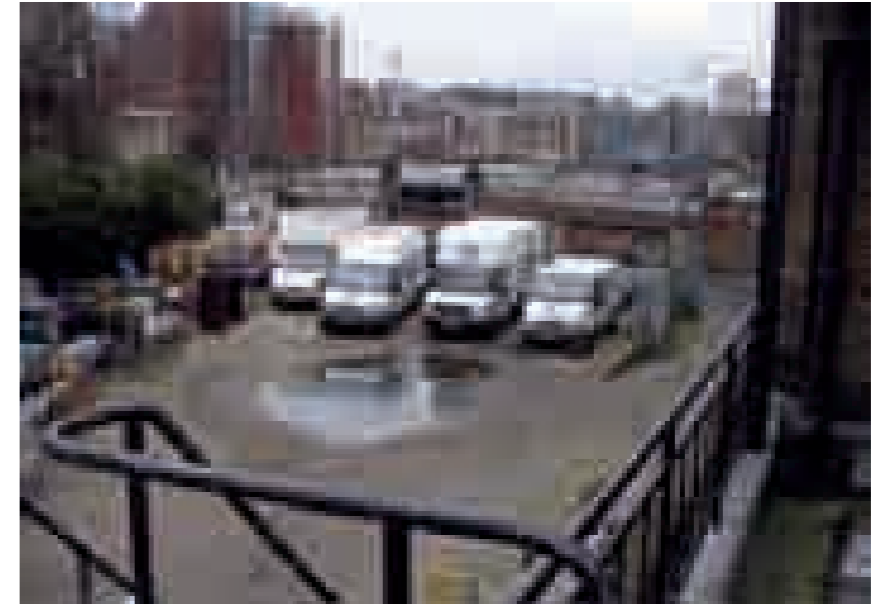
Arrangement or condition of existing services is not known. The building is currently in use as office accommodation. Water, power and telecommunications are assumed to be present. Capacity and condition of all services needs to be determined. Heating is a wet system with radiators. Ducting currently concealed within modern suspended ceilings.

Note louvered shed to south of building. Existing boiler room below ground to central south of main building. Exposed flue to roof level.

Existing External Areas

The northern external area is covered in concrete hardstanding and is used for parking and storage of materials for recycling. To the south of the main building is a narrow strip of land giving access to the boiler house and louvered shed. The masonry boundary wall to the south is in very poor condition and needs to be replaced.





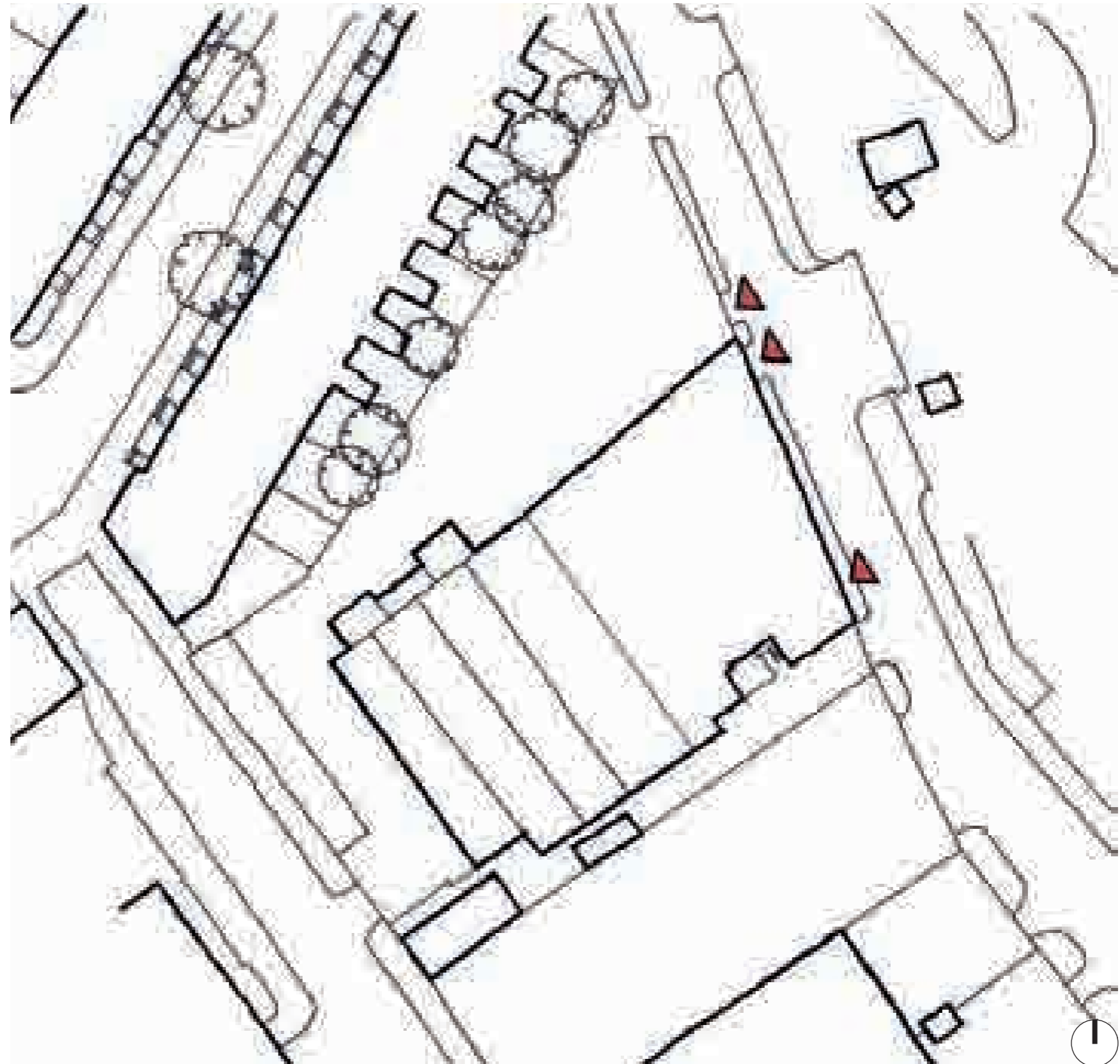
1.0 Site Context Appraisal

1.4 Site Analysis - Access

Access

Notable features that affect access to the site include:

- Access to the site is achieved off Phoenix Place.
- There are two entrances into Calthorpe House and a gated entrance to its service yard north of the building.
- There is also gated access to the west through Gough Street but this is outside of the site boundary and will not provide access for the development of the scheme.
- There is a possible future connection from Phoenix Place to Gough Street along the southern boundary of the site. These proposals do not preclude this route coming forward as part of the wider redevelopment of Mount Pleasant and the Phoenix Place site located to the south east.



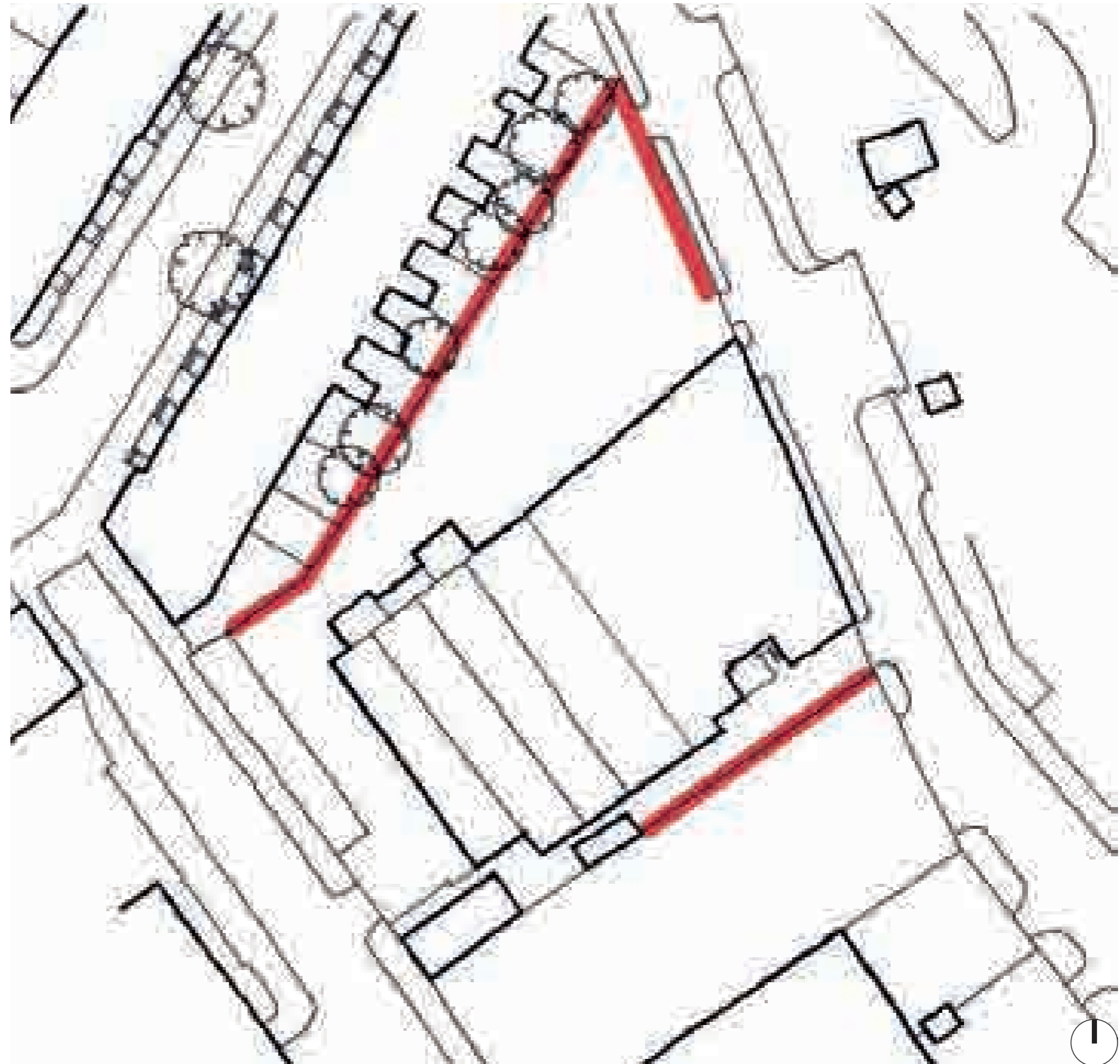
1.0 Site Context Appraisal

1.5 Site Analysis - Boundaries

Boundaries

The boundaries of the site are clearly defined and vary in permeability. The notable features created by these boundary conditions include:

- The Site fronts onto Phoenix Place, a two lane vehicular highway; this is the most permeable point of the site.
- It is bound by a party wall associated with the Calthorpe Street terraced housing to the north. This provides a strong barrier, enclosing the northern area of the site.
- The southern boundary is defined by a strip of land, presumably a previous access point. Beyond this there is a car park, which is separate from the site by a boundary wall in a very poor condition.
- Adjoining derelict warehouses enclose the site to the west. These front onto Gough Street and will be demolished.



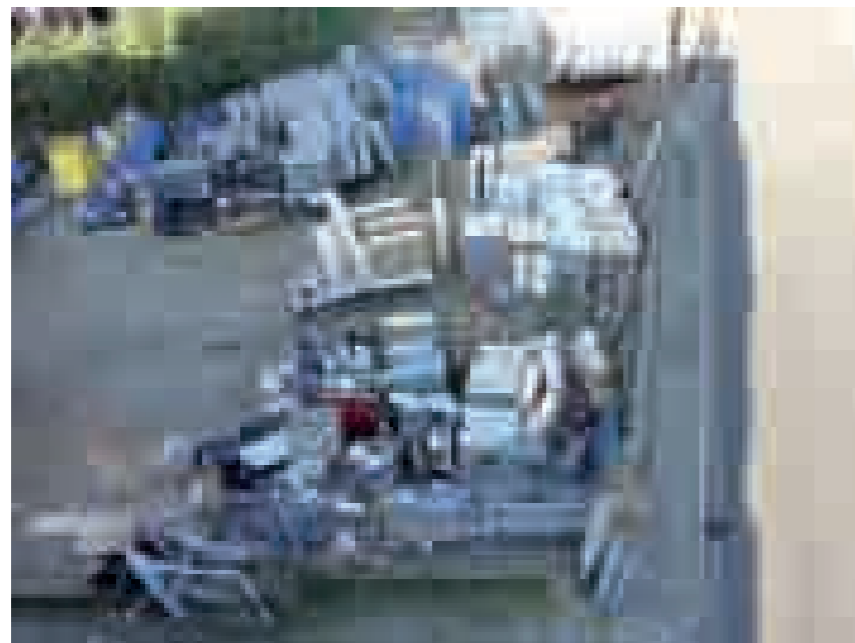
1.0 Site Context Appraisal

1.6 Site Analysis - Landscape Quality

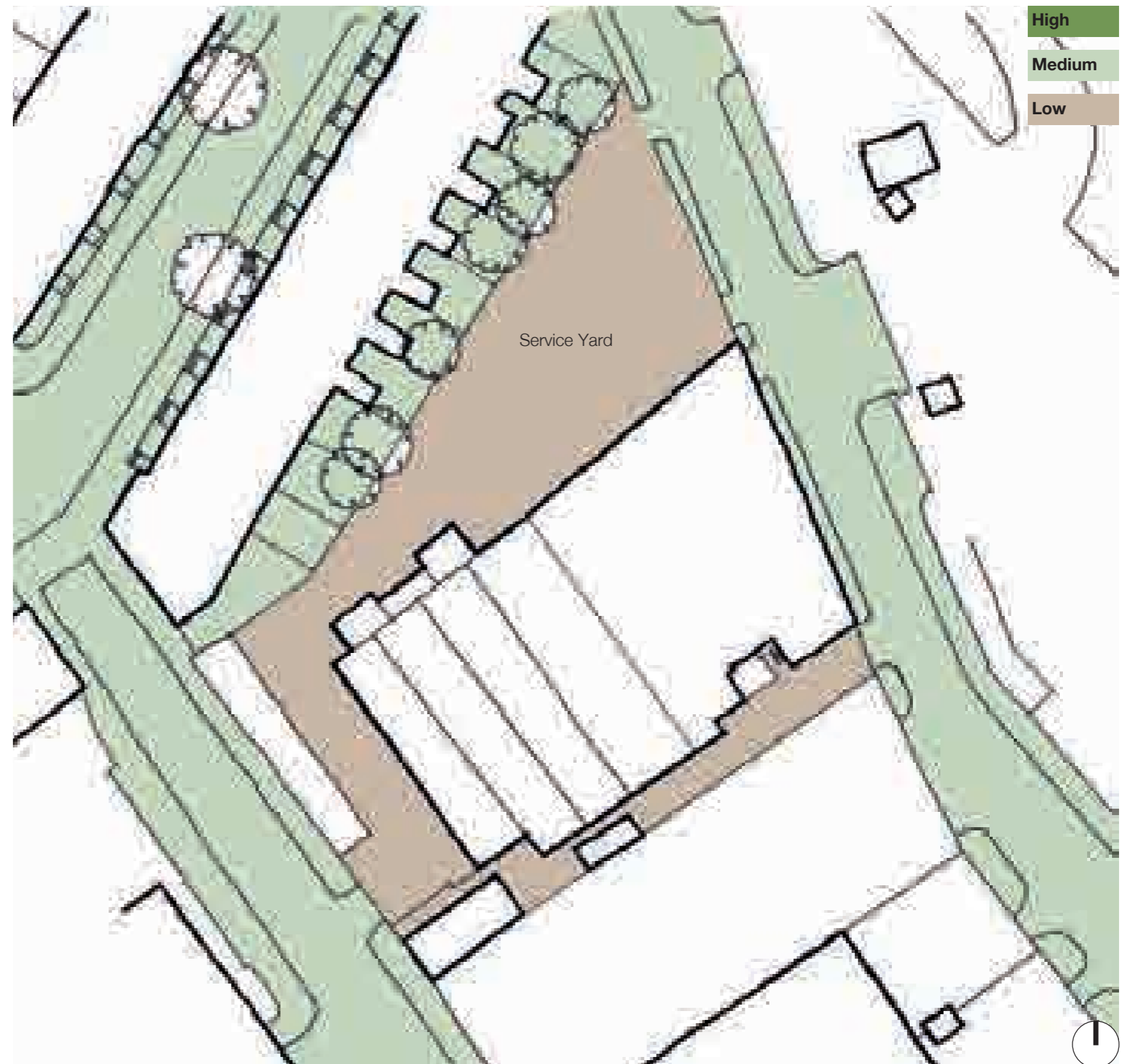
Landscape Quality

Notable features that affect landscape quality are:

- The existing ground condition within the site is a hard standing concrete slab that has ramped access from Phoenix Place. The condition of the ground slab is low quality.
- The service yard is currently used for parking vehicles and storage of furniture units.
- Terraced housing and the associated rear gardens are located to the north.
- Phoenix Place (east) and Gough Street (west), all of which are public roads, provide areas of medium landscape quality which can be improved upon.



Existing Service Yard



1.0 Site Context Appraisal

1.7 Site Analysis - Building Significance

Building Significance

The buildings on the site are of differing quality and significance.

The terrace houses to Calthorpe Street and the northern boundary wall are both listed and considered to be of high significance.

Calthorpe House is not listed but is considered to be of architectural interest. The main elevation of Calthorpe House to Phoenix Place is brick-clad with an Art Deco style facade incorporating stone/rendered decorative panels and large areas of fenestration.

The building is currently used for offices and informal storage of products for recycling. The historic use of the building is not known. Lettering on the plaque to the front elevation says 'Bradbury and Agnew Co Ltd' who were the publishers of Punch magazine until the late 1960s. Whether or not Calthorpe House was the site for a printers workshop is not known.

There are other low quality outhouses of little or no significance within the site and adjoining Calthorpe House.



1.0 Site Context Appraisal

1.8 Consultation

Through the design process we involved both members of the public interested in the project and planners from Camden.

Consultation with Local Stakeholders

Refer to the Planning Statement which accompanies this document.

Consultation with the Planners

Refer to the Planning Statement which accompanies this document.



1.0 Site Context Appraisal

1.9 Planning, Economic and Social Context

Planning Context:

Refer to the Planning Statement which accompanies this document.

Economic Context:

The project is a privately funded venture aimed at improving public understanding of the postal service and improving access to the collection. It will replace the existing inadequate museum, search room and archive with a new facility located in a highly visible position adjacent to the Royal Mail Mount Pleasant Sorting Depot.

This new museum and archive will be a great improvement from the existing facilities of BPMA and will increase visitor numbers significantly. Consequently it will be of economic benefit to the wider area.

It will provide new jobs in the museum facility and help preserve jobs in the BPMA as well as potentially create more over time.

Social Context:

The immediate surroundings to the site are largely dominated by commercial facilities, within this context the proposed facility will be a positive influence.

The cultural and educational function will provide a great contribution to both Phoenix Place and the wider area.

2.0 Design Principles

2.1 Summary of Site Analysis

Following our detailed site analysis we are proposing the following:

- **Access**
Due to the varying levels of the site, the main pedestrian access to the site should be to the north, via the new courtyard. This will also be the main access point for deliveries associated with the archive. An additional pedestrian access is available to the south, along with a further vehicular access.
- **Boundaries**
The proposed works should respond to the existing conditions found on site. The public elements of the building should be located to the north, taking advantage of the highly visible location and re-using the existing buildings. The private elements would ideally be located to the south and west of the site.
- **Landscape Quality**
Calthorpe House is surrounded by low quality landscape. The area to the north (service yard) is suitable for a new building, with the remainder of this area landscaped.
- **Building Significance**
Calthorpe House should be repaired and incorporated into the proposed facility. The other buildings are less important and their demolition would enhance the appearance of the site.



2.0 Design Principles

2.2 Summary of Demolitions

To accommodate the proposal the following demolition works are required:

1. Single Storey Extension to Calthorpe House
2. Two Storey Industrial Building (B2)
3. Outbuilding (B2)
4. Outbuilding (B2)
5. Service Yard (ground bearing slab)
6. Boundary Wall (between the Service Yard and Phoenix Place

Calthorpe House Gross Internal Areas;

	Existing	Proposed
Basement	49.8 sq m	49.8 sq m
Ground	792.3 sq m	1226 sq m
First	578 sq m	854 sq m
Second	578 sq m	598 sq m

The Gross External Areas for the demolition of the other B2 industrial buildings are as follows;

Building 2	452 sq m
Building 3	58 sq m
Building 4	15 sq m



2.0 Design Principles

2.3 Design Approach

Calthorpe House (1) will be retained and incorporated into the new facility.

The new archive (2) will be located to the rear (west) of Calthorpe House.

The extension (3) will be located in the existing service yard, a new courtyard (4) will also be introduced.

■ ■ ■ ■ Site cleared of B2 industrial buildings.



2.0 Design Principles

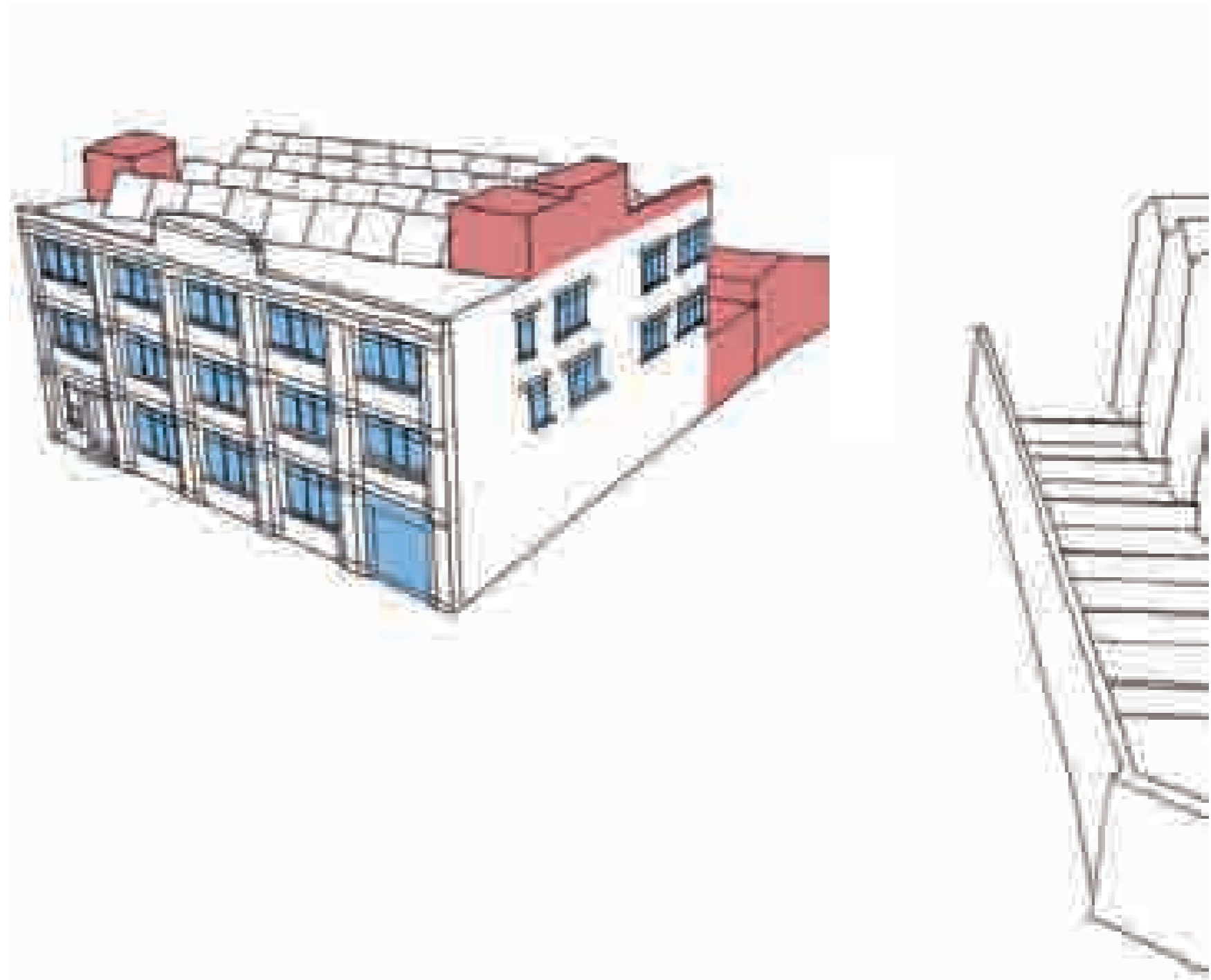
2.3 Design Development

Proposed Interventions

We are proposing a small number of careful interventions to Calthorpe House, maintaining the characteristic features of the building.

These include the demolition of the built volumes to the rear of the main building as well as the small volumes on the roof which appear to have been added at a later date and are not part of the original main building.

The existing windows are in a poor condition and do not provide adequate environmental performance. These are to be replaced with modern metal double glazed windows, but will be sympathetic to the original character of the building by reinforcing the existing facade pattern.



2.0 Design Principles

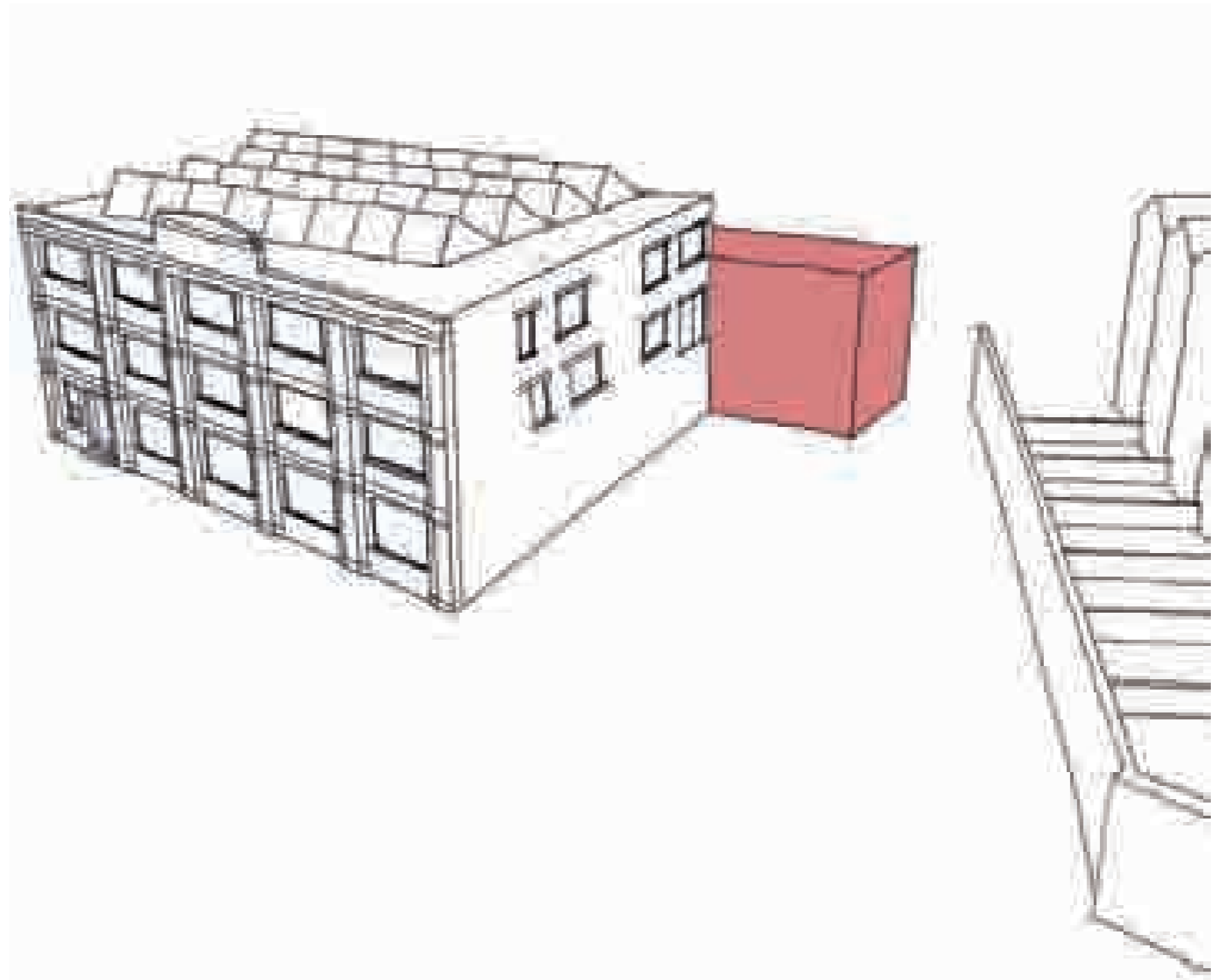
2.3 Design Development

Locating the Archive

The proposed Archive is a two storey volume which will be located to the rear of Calthorpe House - it is intentionally lower than the existing building and is set back from the party wall so as not to impose on the neighboring row of terrace houses.

The new Archive will be smaller and aesthetically more pleasing than the existing warehouses that will be demolished.

The location of the archive also meets all the requirements established in the client's brief, and has been positioned to have as little impact on the existing context as possible.



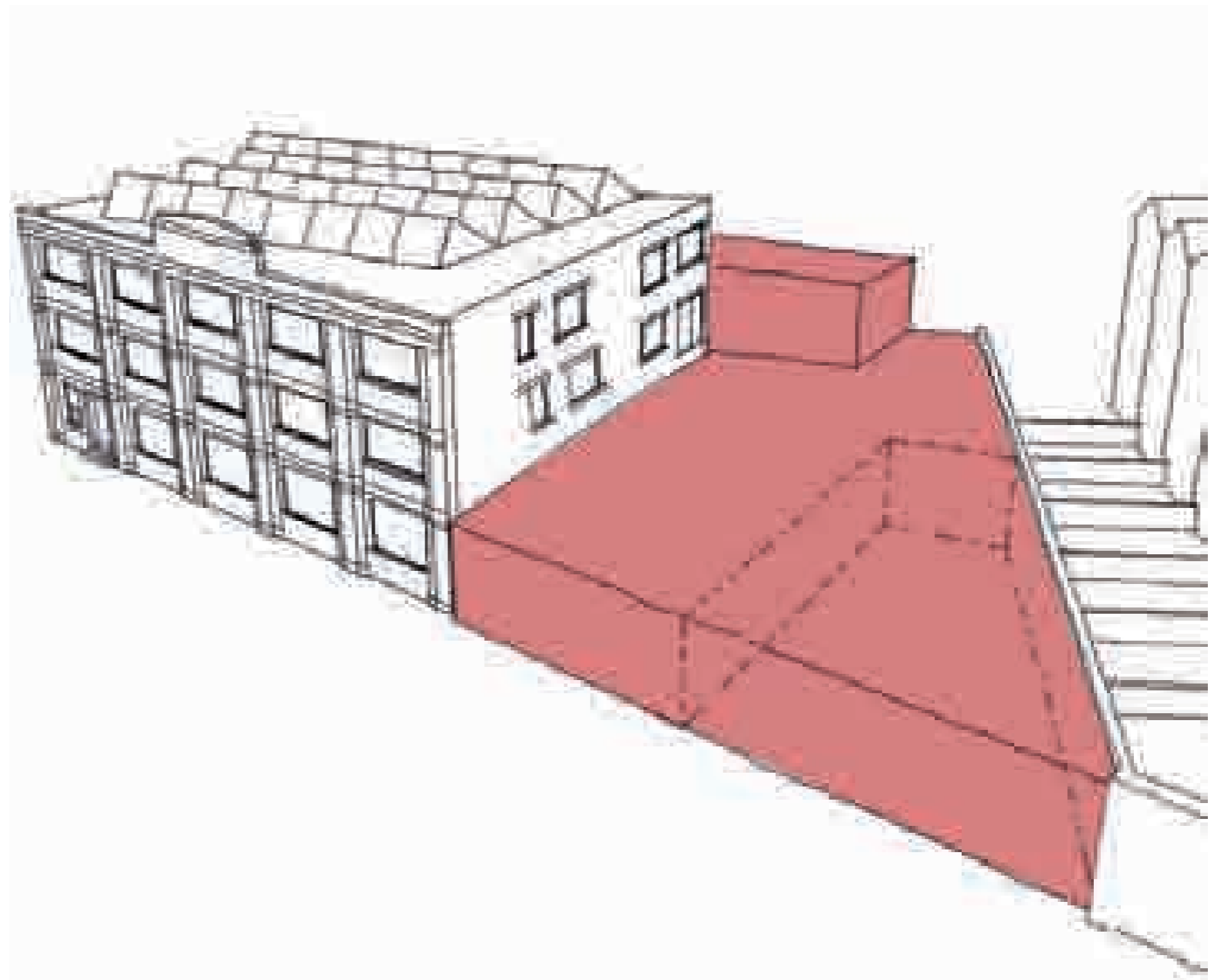
2.0 Design Principles

2.3 Design Development

Locating the Extension

The proposed Extension will be located to the North of the site, between Calthorpe House and the Calthorpe Street boundary wall. The new Archive to the rear of Calthorpe House and Phoenix Place define the east and west boundaries.

The massing of the proposed extension has been designed to negotiate with the height of the boundary wall - therefore stepping down from Calthorpe House and avoiding disruption to the natural light enjoyed by the neighbouring terrace houses.



2.0 Design Principles

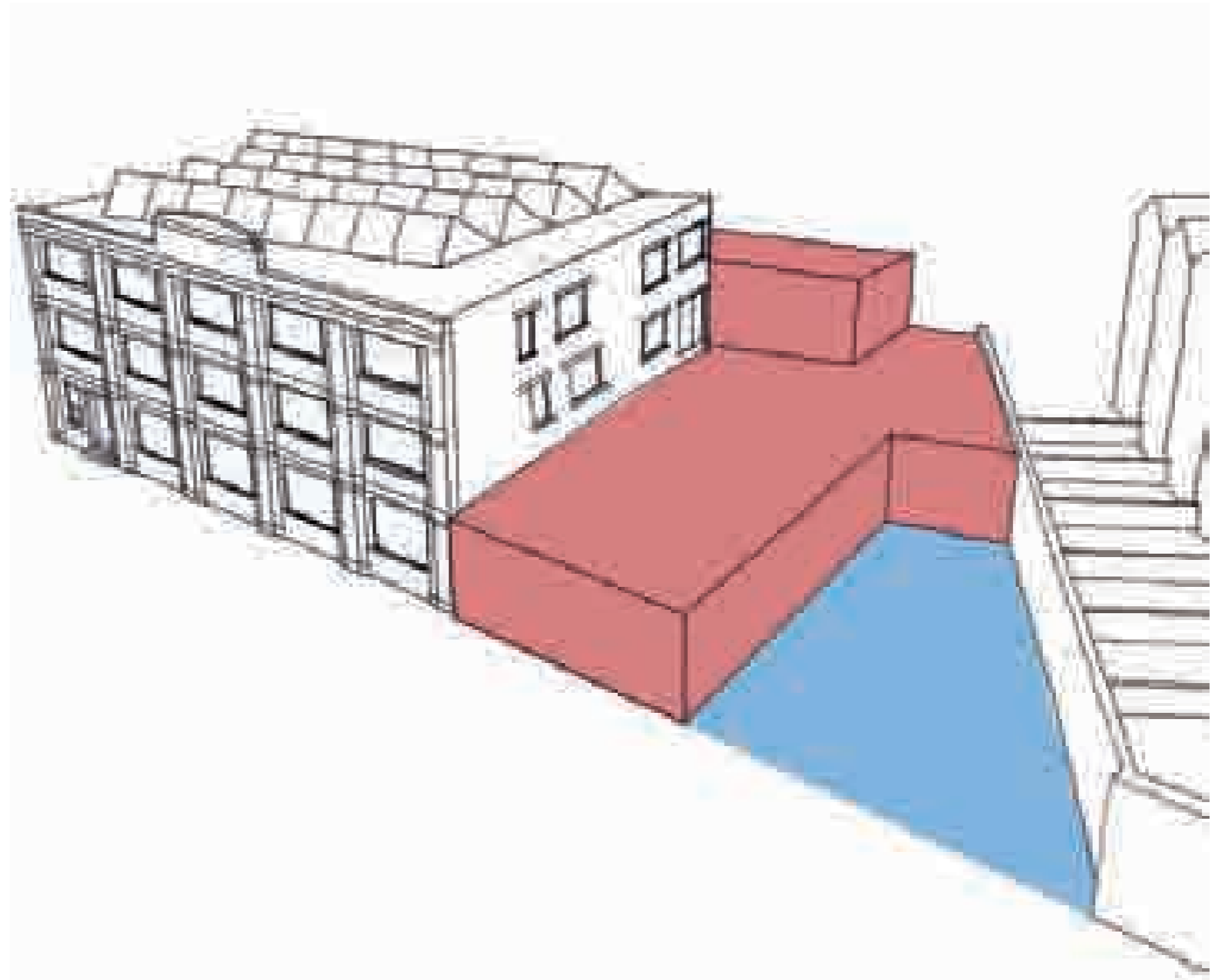
2.3 Design Development

Forming the Courtyard

The proposed Extension will consist of both a built volume as well as a semi-public courtyard, and will provide both pedestrian and vehicular access into the site.

The courtyard is envisaged to have a paved surface with some planting 'islands'.

It will function as an entrance courtyard to the BPMA and servicing access as well as a potential open air display area for individual larger exhibits.



2.0 Design Principles

2.3 Design Development

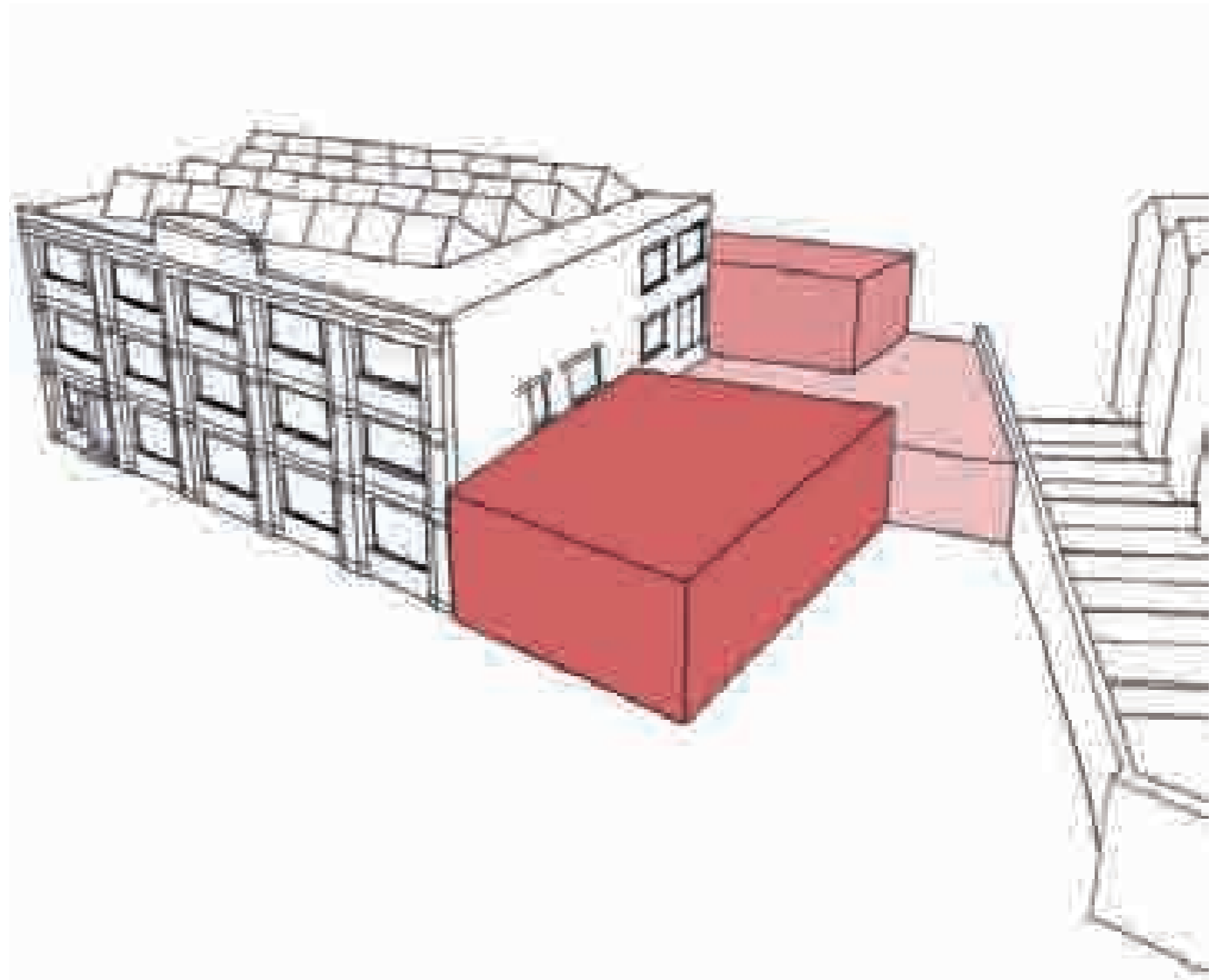
Forming the Extension

The Extension itself will be composed by a number of built volumes that vary in height. These varying heights reflect the space requirements detailed in the client's brief.

The loading bay and back of house areas such as Quarantine, the WC facilities and Reception are at a lower height than the multi function and Cafe space.

The back of house block is picking up the height of Calthorpe House and does not exceed the height of the adjacent boundary wall.

The multi function and Cafe space is approximately 1 1/2 storeys in order to respond to internal space requirements as well as tying in with the geometry of the main facade of Calthorpe House.



2.0 Design Principles

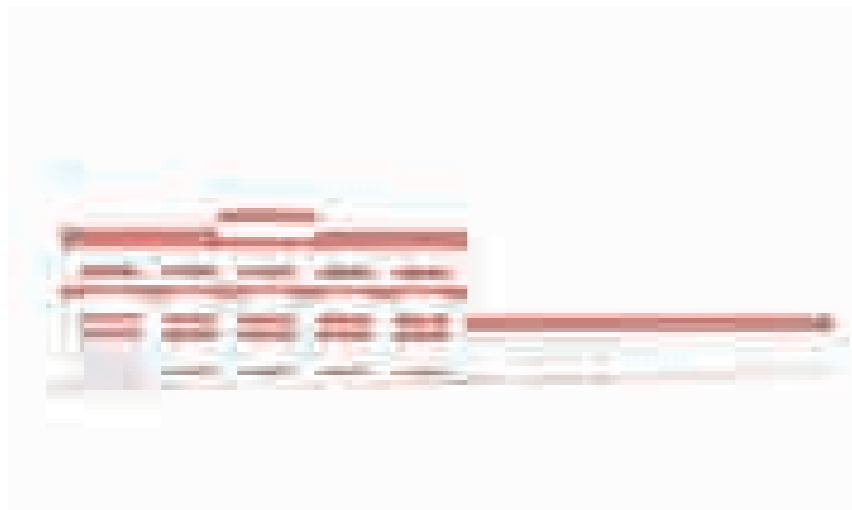
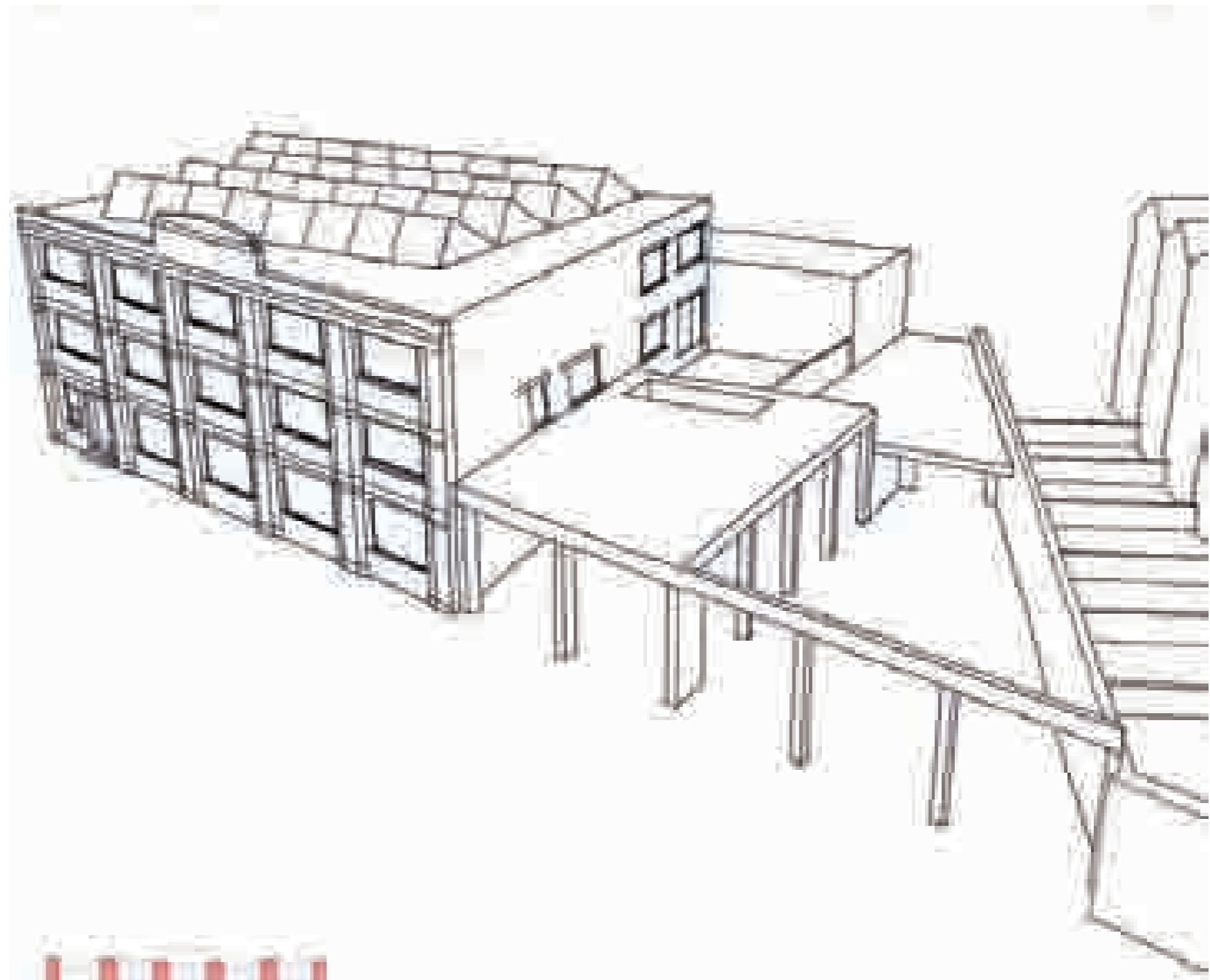
2.3 Design Development

Forming the Extension

The elevation of the proposed extension has been designed to reflect and tie in with the geometry and proportions established in the facade of Calthorpe House.

A pattern of columns and openings will therefore be introduced allowing both views into the extension and out of the building as well as providing access into the courtyard.

A linear rooflight will also be introduced to provide natural light over the reception area.



2.0 Design Principles

2.3 Design Development

Materials

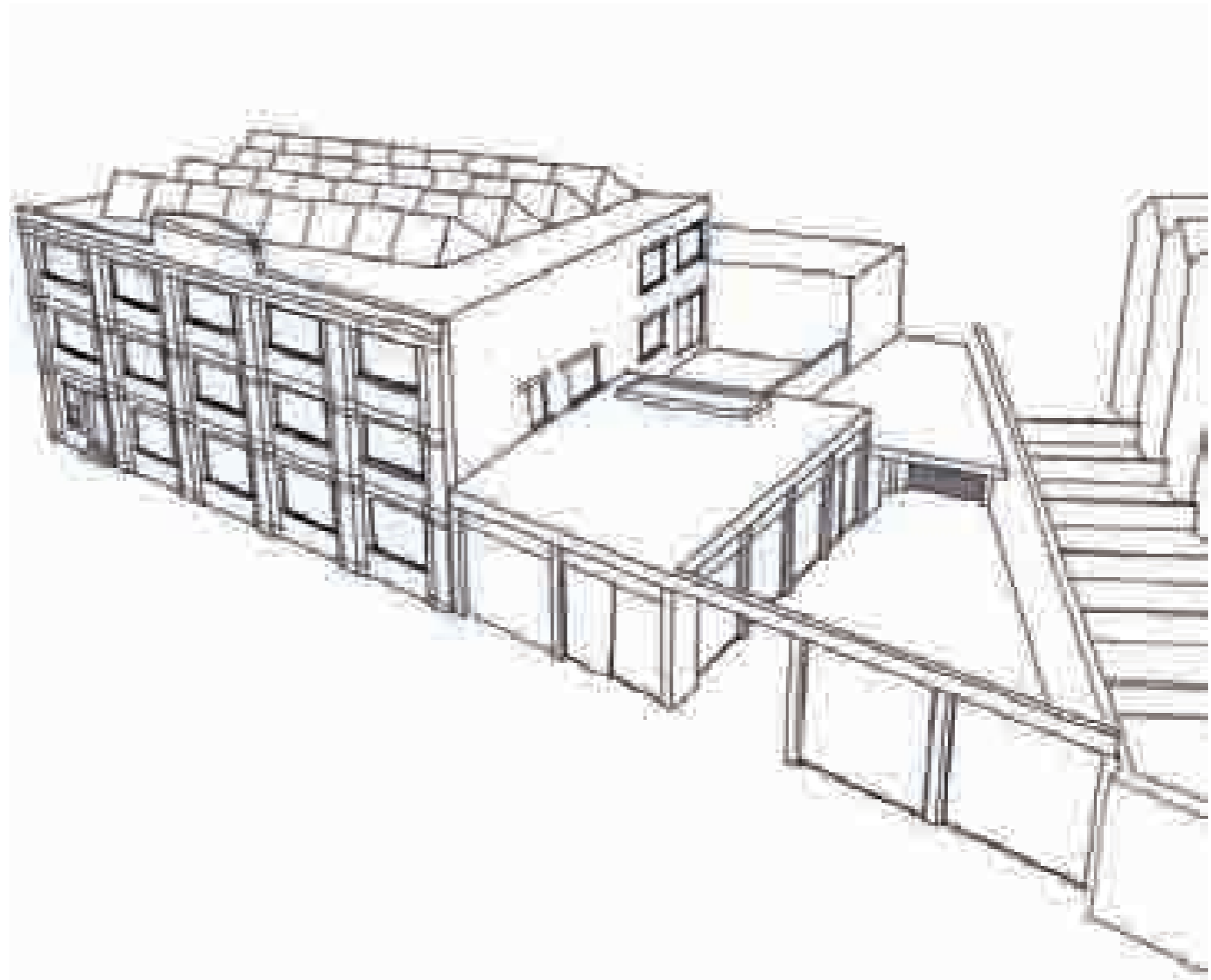
The material palette for the new extension and archive will be carefully chosen to relate to those used in Calthorpe House.

The facade of the new extension and the wall enclosing the new courtyard will utilise a matching red brick, with a light grey stone coping. These materials and their proportions reflect the language established on the Calthorpe House east facade. A green roof will be located over the higher section of the extension. Although this will not be visible from ground level, it will provide a softer view to the residents in Calthorpe Street, and will aid in the required water attenuation.

The archive will be constructed using a London Stock brick, with a metal standing seam roof.

The new window frames and top infill panels will be in dark PPC coated metal, emphasizing the industrial legacy of the building.

The courtyard is envisaged to be stone paved, with subtle external luminaires.



2.0 Design Principles

2.4 Archive Design Approach

The Archive is to be designed for passive environmental control as far as possible. This means constructing enclosures which maintain a stable internal environment and provide a buffer against changes in external conditions. Mechanical control (eg. air conditioning) is energy intensive, expensive to run and, unless powered from renewable sources, damaging to the environment. Minimising reliance on mechanical control reduces risk to the collection in the event of plant failure.

A key design guideline we will comply with is BS 5454:2000 "Recommendations for the storage and exhibition of archival documents". It contains detailed guidance for the design and operation of archive buildings (particularly those approved by The National Archives scheme since compliance is a pre requisite) and, using BS5454:2000, it should be no more difficult to achieve by passive rather than active means.

The general principles of the design of the archive include:

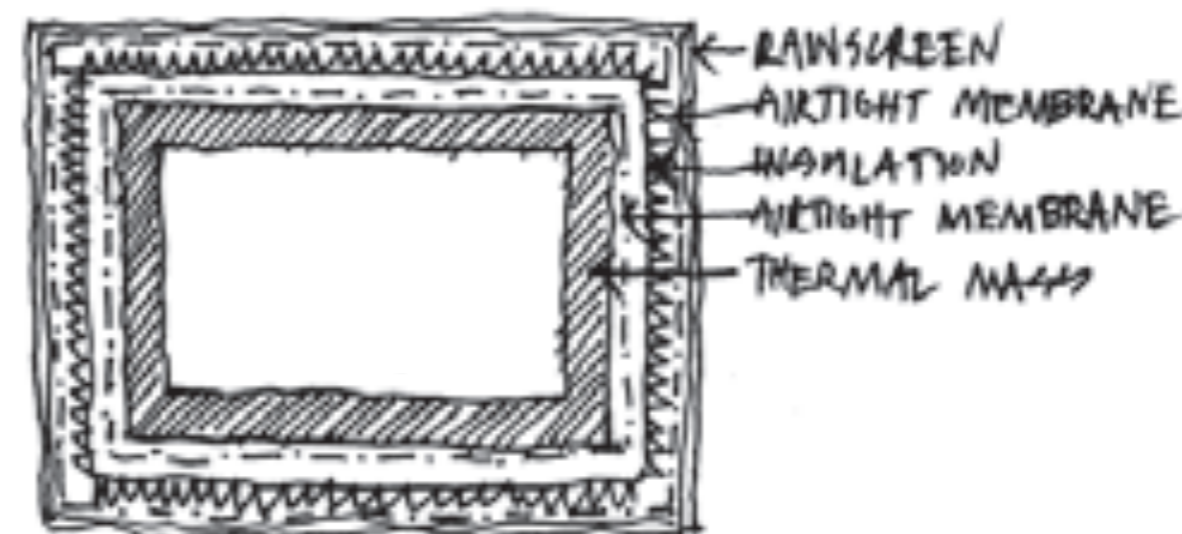
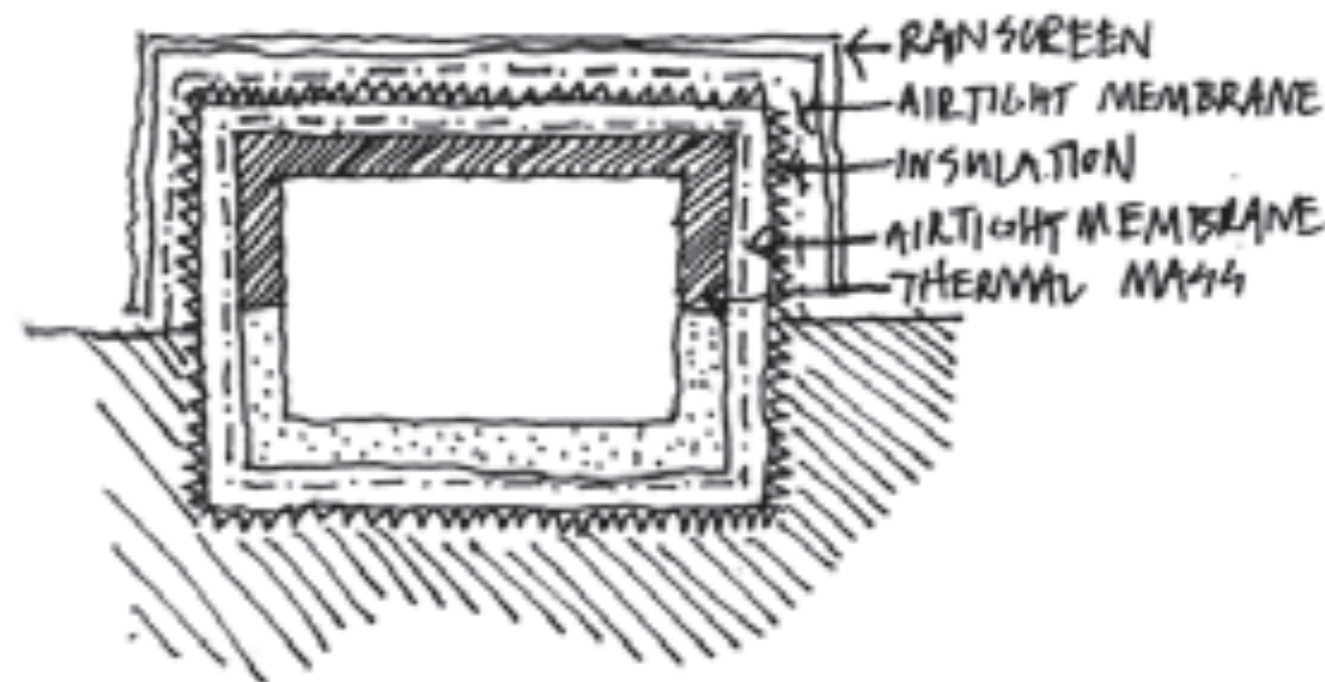
Orientation and Shape: The storage spaces should create optimal internal conditions through the careful design of their shape and orientation. By reducing the areas of wall facing south and, where possible, utilising cubic volumes (that maximise internal volume while reducing external surface area). The archive will be able to maintain a constant internal environment.

A Heavyweight Building: The main storage spaces within the archive, (the strongrooms) should be built from thermally massive concrete boxes that are well insulated and airtight.

Controlled Storage Spaces: The storage spaces within the strongrooms should have 4hr fire compartments, be served by pipes that are located outside the strongrooms and have a tight control of temperature, RH and air infiltration.

A Layered Envelope: These strongrooms should be located within a lighter weight, insulated and airtight outer envelope. This provides a 'buffer zone' between the internal and external environment and allows space for circulation, plant, etc.

A Solid Facade: Openings (such as windows) in the external facade should be minimised to ensure that the internal conditions are consistent.



2.0 Design Principles

2.4 Archive Design Approach

Passive Paper Archives

A passive approach to the storage of paper collections relies on the ability of both the enclosure and the paper collections stored inside to buffer temperature and relative humidity (RH). This buffering controls the rate of change of temperature and RH in response to external influences, giving rise to a slow drift between winter and summer.

It will be necessary to heat the repository in winter to ensure that the internal RH does not rise too far. This is classic conservation heating. The simplest way to introduce heating is to install a steel heating pipe with welded joints around the perimeter of the archive. Dehumidification may be required in summer, but this requirement is greatly reduced due to the buffering action of the enclosure and the collection.

A passive archive is air tight and air circulation within the archive is achieved by opening and closing the doors. The number of times the doors are opened and closed should be limited and doors must never be propped open. The length of time people spend inside the store must also be limited as the effects of body heat and exhaled moisture will destabilise the environment within the repository. People should only enter the repository infrequently (once or twice a day, for example) and for short periods of time (up to 15 minutes, for example). A passive archive is therefore not suitable for frequently accessed collections, nor as a work space or area where a number of people need to have access at the same time.

Photographic Archives

Due to the low temperature and RH required for photographic material, mechanical control is unavoidable. The BPMA will store the photographic material in the new archive repository.

Mixed Media Collections

The environmental requirements for the storage of mixed media collections must be reviewed and agreed during the next design stage. A strategy for passive environmental control should be proposed as far as possible in order to minimise the requirement for mechanical control.

Frequently Accessed Collections

Heat and moisture from people working inside passively controlled repositories destabilises the internal environment. The BPMA have aspects of their collection which are accessed frequently and also conduct guided public tours of the repositories. In the areas of the repository which are frequently accessed, passive environmental control will need to be supplemented mechanically to cancel out the effects of air infiltration and the introduction of heat and moisture.

Strategy for Archive Repository Design

A compartmentalised repository design is recommended for fire separation purposes and to enable separate zones for a range of different environmental conditions and control. The design of a compartmentalised repository is determined by the following:

- structural efficiency and fire containment
- environmental conditions
- areas which are accessed more and less frequently
- security (including requirement for a secure vault)
- storage and collection cataloguing strategies

Non Paper Collections

The BPMA have confirmed the following capacities for non paper collections:

Secure Vault:	30 linear metres of shelving
Philatelic Area:	180 linear metres of shelving
Photographic:	Glass Plate Negatives: 40 linear metres Photographic Prints: 65 linear metres Transparencies: 35 linear metres
Textiles:	30 square metres

Patterns of Access to the Collections

The BPMA records retrieval patterns from the archive collection. This information can be used to arrange the archive into areas which are more and less frequently accessed. More frequently accessed documents can be stored together in an area where mechanical control can be introduced to maintain the environment, enabling staff to spend time working in that area. Areas of the archive which are rarely accessed can be housed in a separate compartment and the environment controlled primarily by passive means.

The retrieval patterns of the archive collection have therefore informed the design and location of the new archive repository. For example, the ground floor will hold items that are less frequently accessed than those on the first floor due to the location of the Search Room - where material will be accessed on a daily basis by visitors.

2.0 Design Principles

2.4 Archive Design Approach

Accommodating the Collection

The table below indicates the size of the collection. These figures also include an allowance for expansion.

The diagrams to the right show the results of the preliminary space planning exercise that has occurred to date.

Material Type	Type	Quantity	m ³
Museum Collection Shelving:	Small Shelving	442	82
	Large Shelving	41	24
	Long span shelving	12	14
Hanging Rails for textiles (Christies)		37	105
Hanging Rails for textiles		7	20
Picture Racking (Wall mount)		12	11
Picture Racking (existing 'book' system)		10	10
Bespoke painting box		1	1
Steel cabinets (handstamps) - In Secure Area		6	1
Philatelic material	Secure Area - Small albums	133	41
	Secure Area - Large albums	12	5
	Boxes	42	53
	Stand Alone Bay 1	1	2
	Stand Alone Bay 2	1	2
	Stand Alone Bay 3	1	2
	Stand Alone Bay 4 (multiple)	21	4
Secure Vault	Shelves	65	11
	Cabinets	6	3
	Stand Alone Unit 1	1	3
	Stand Alone Unit 2	1	6
Philatelic material (Christies Room 317)	Shelves	1	4
	Shelving	40	66
Archive data			480
Total			949



Ground Floor Layout



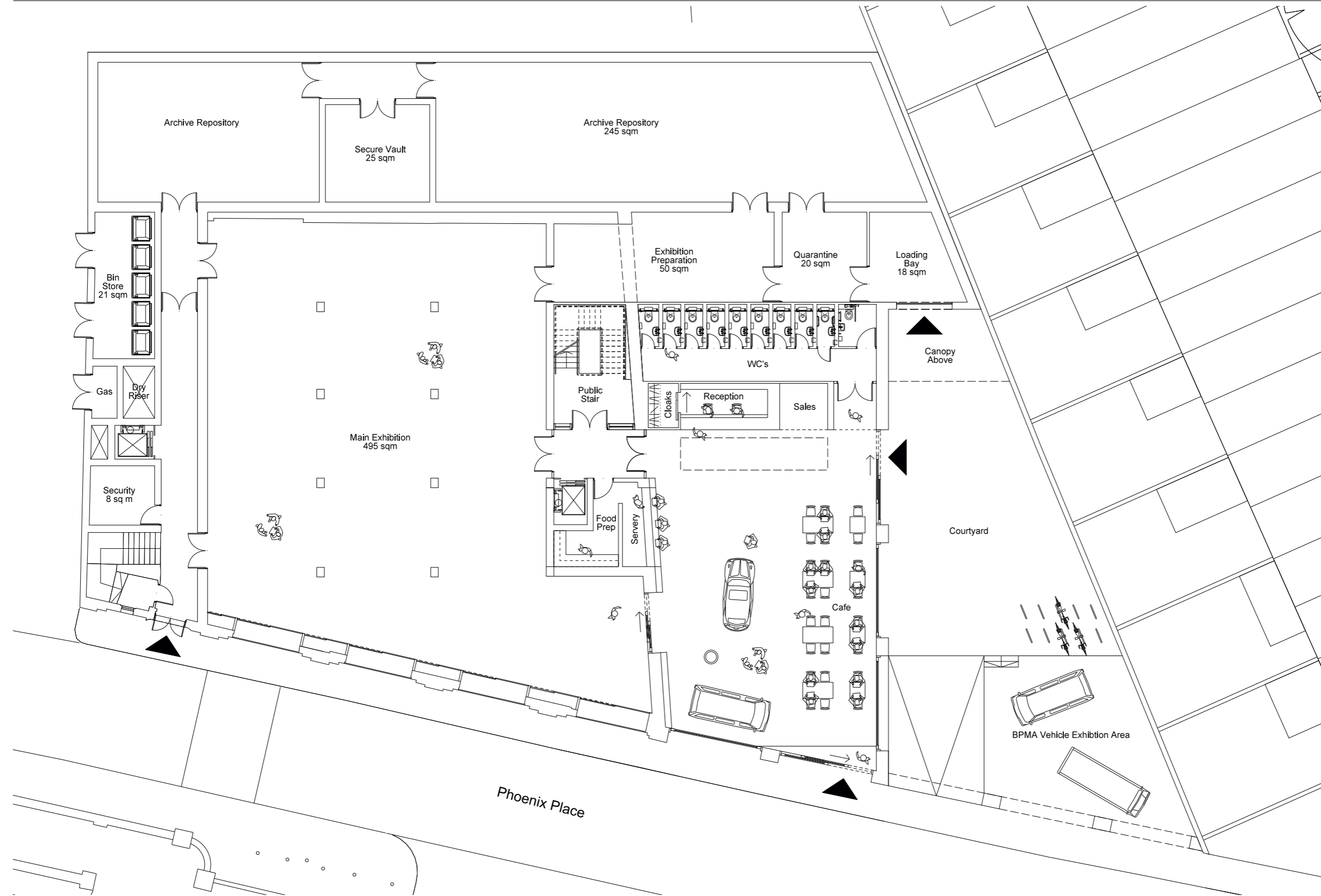
First Floor Layout



2.0 Design Principles

2.5 Plans

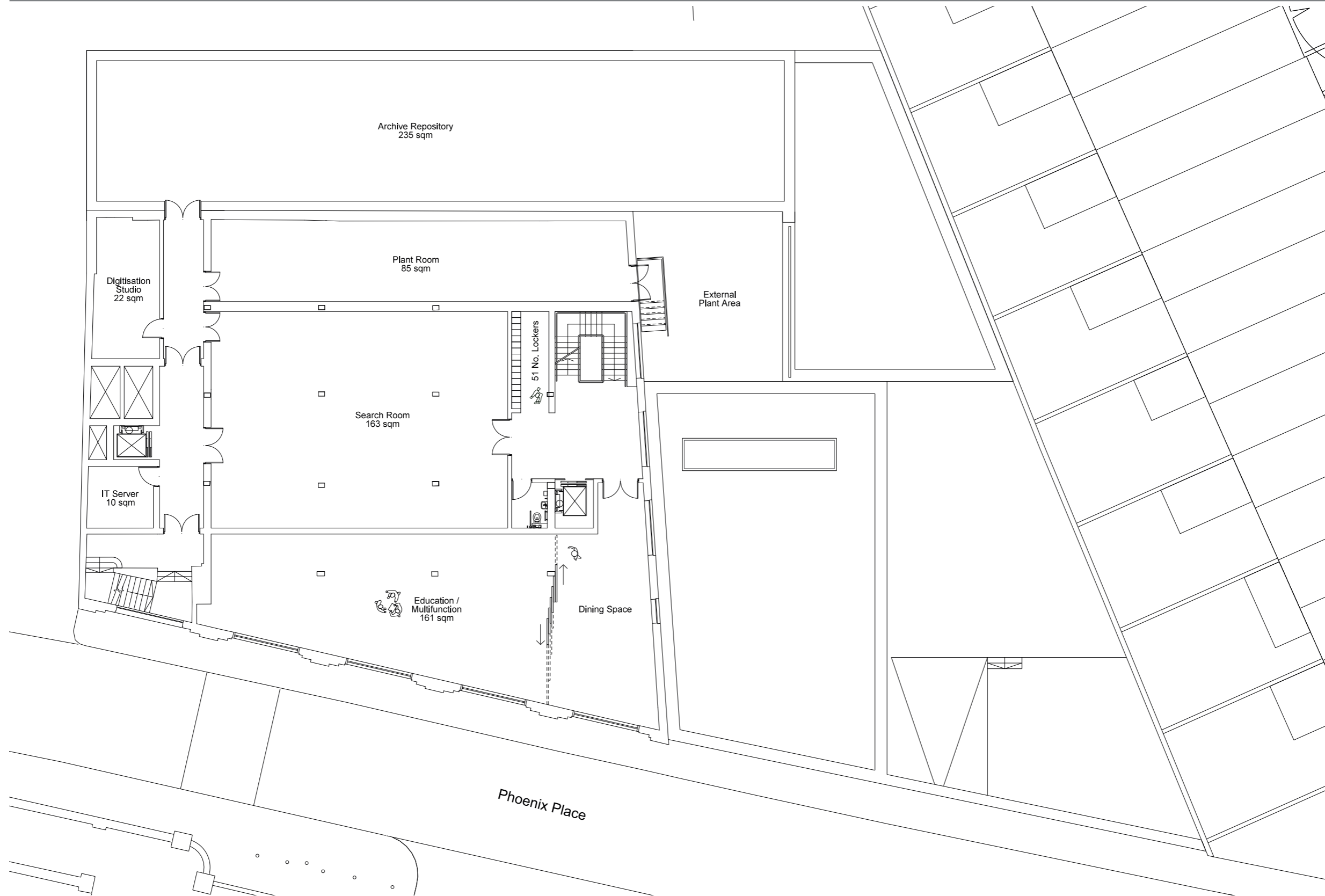
Ground



2.0 Design Principles

2.5 Plans

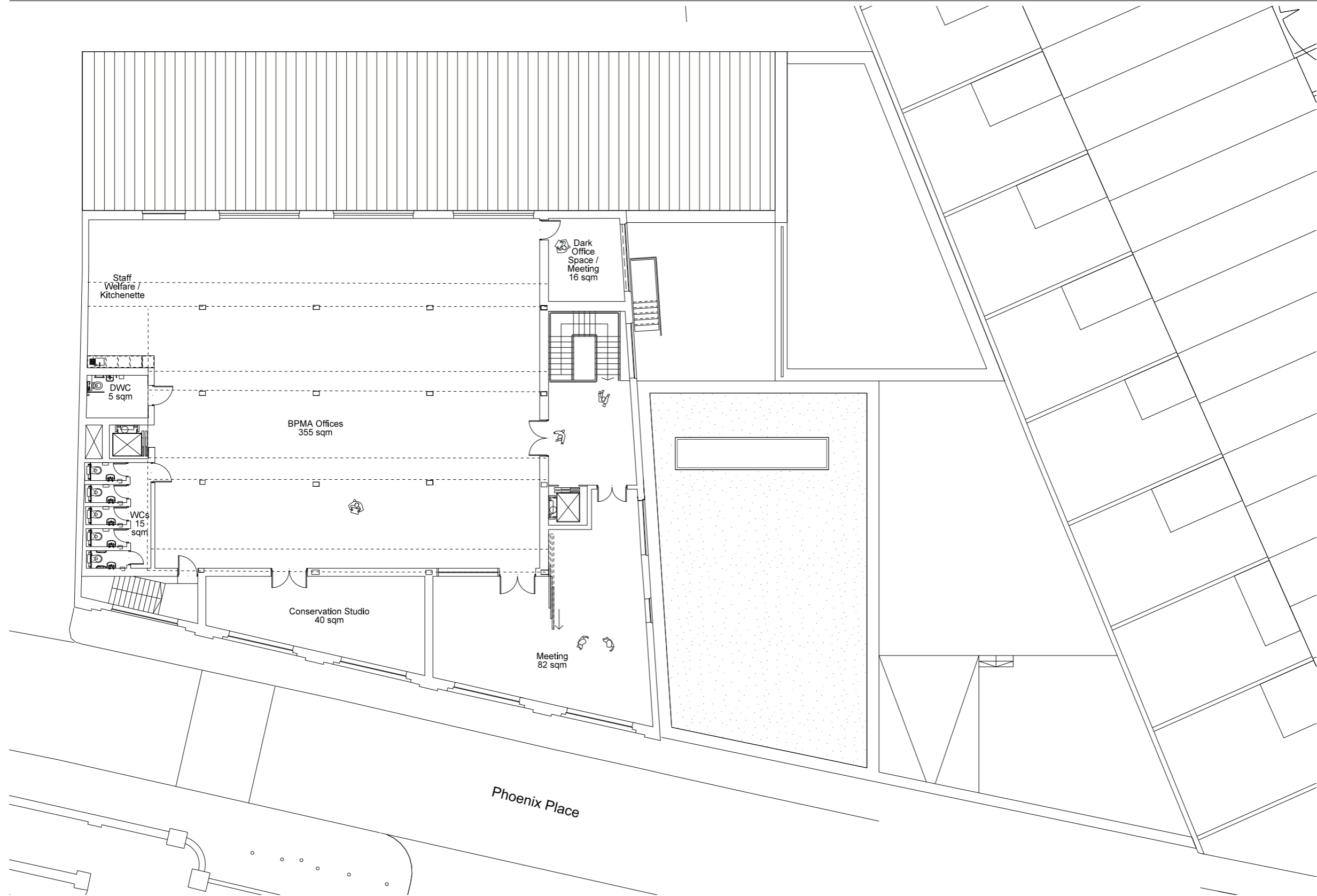
First



2.0 Design Principles

2.5 Plans

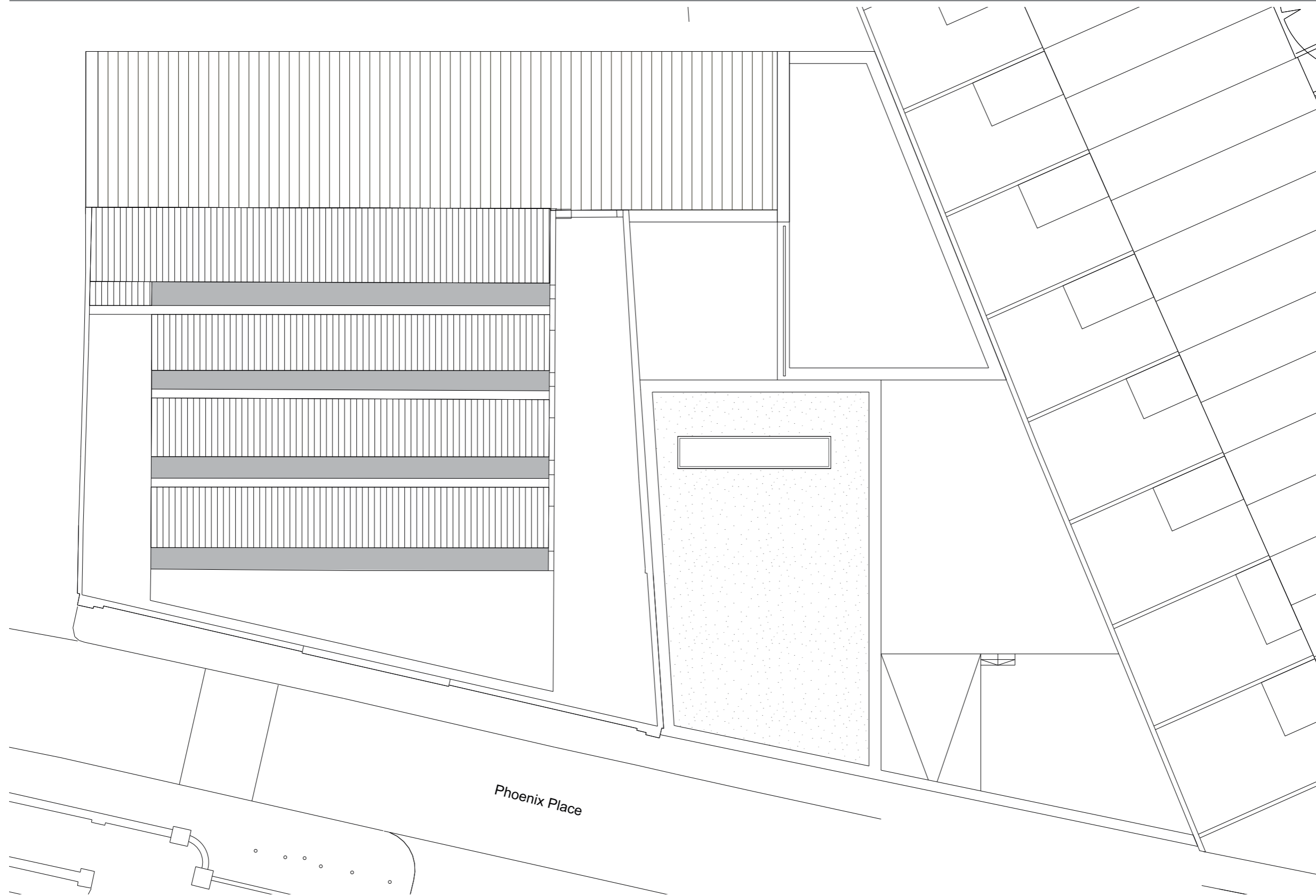
Second



2.0 Design Principles

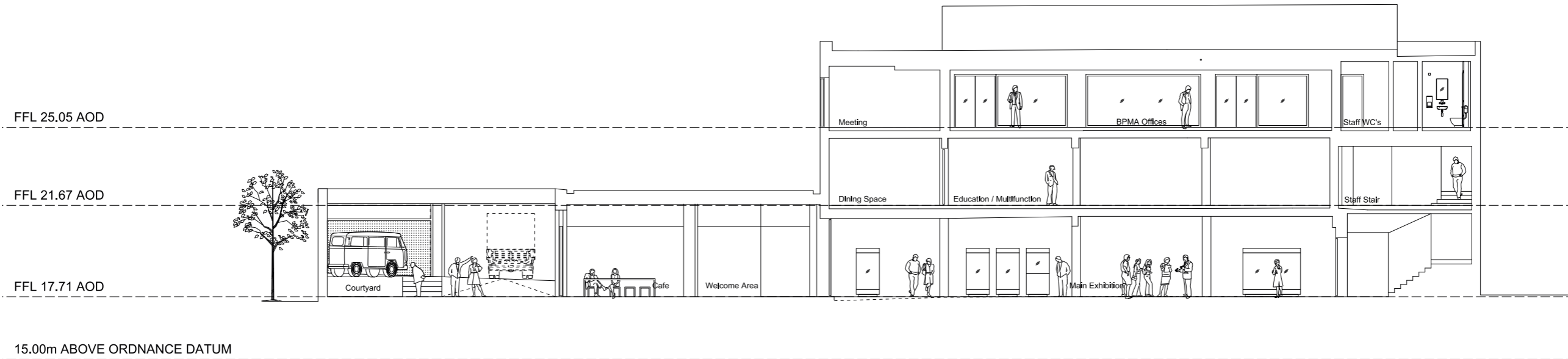
2.5 Plans

Roof

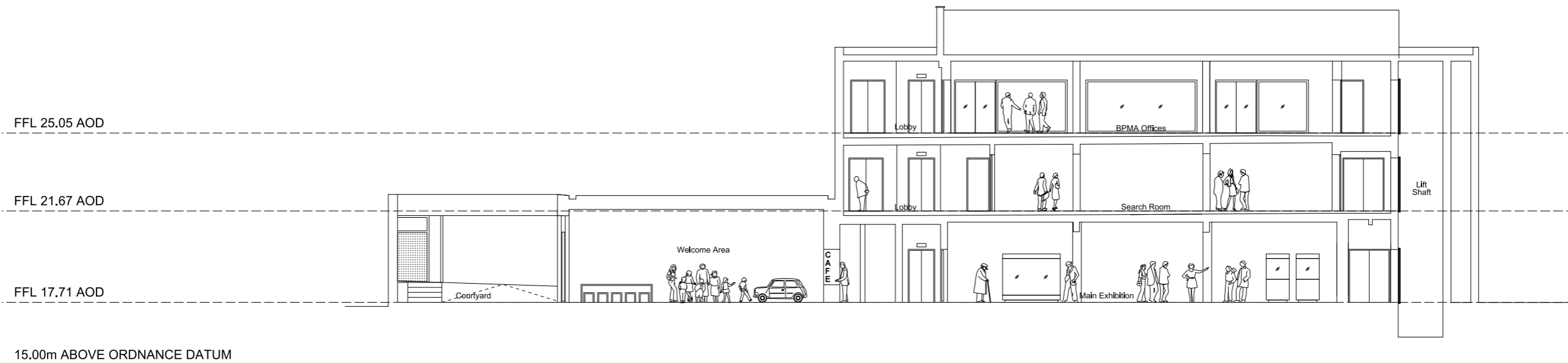


2.0 Design Principles

2.6 Sections



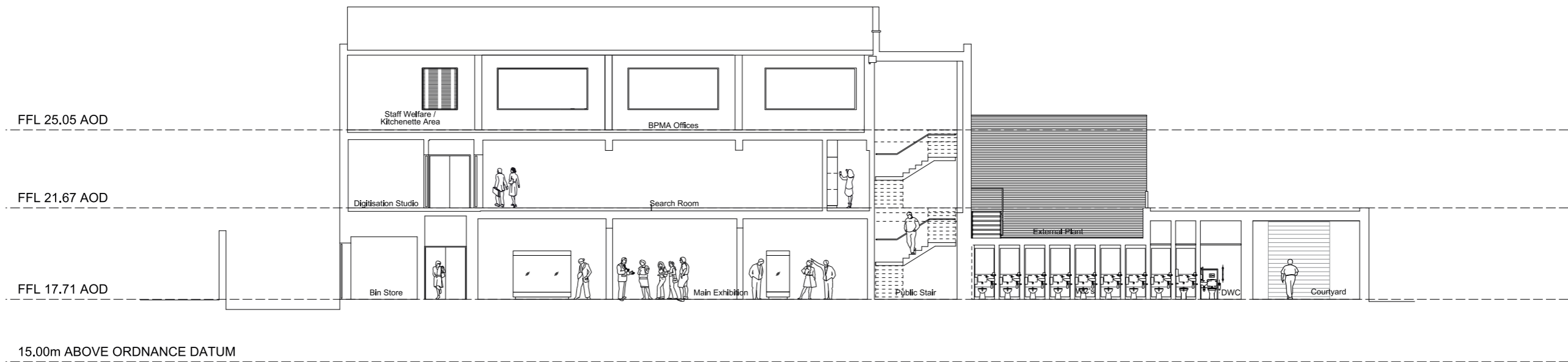
SECTION A



SECTION B

2.0 Design Principles

2.6 Sections

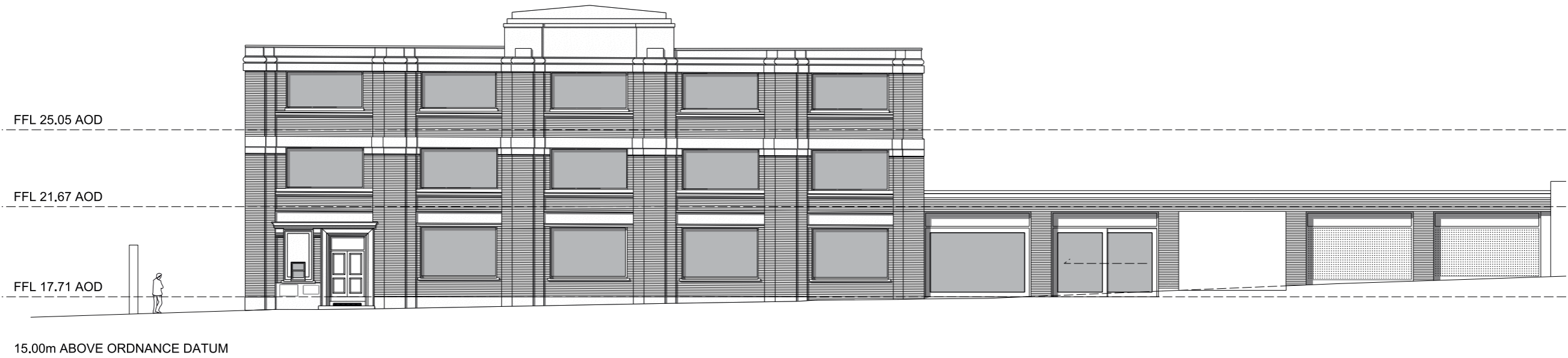


SECTION C

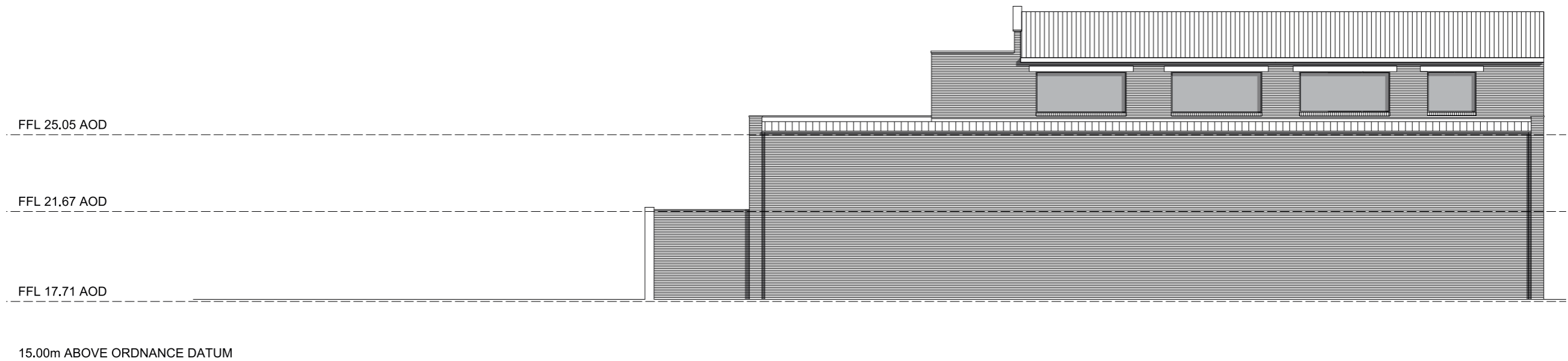


2.0 Design Principles

2.7 Elevations



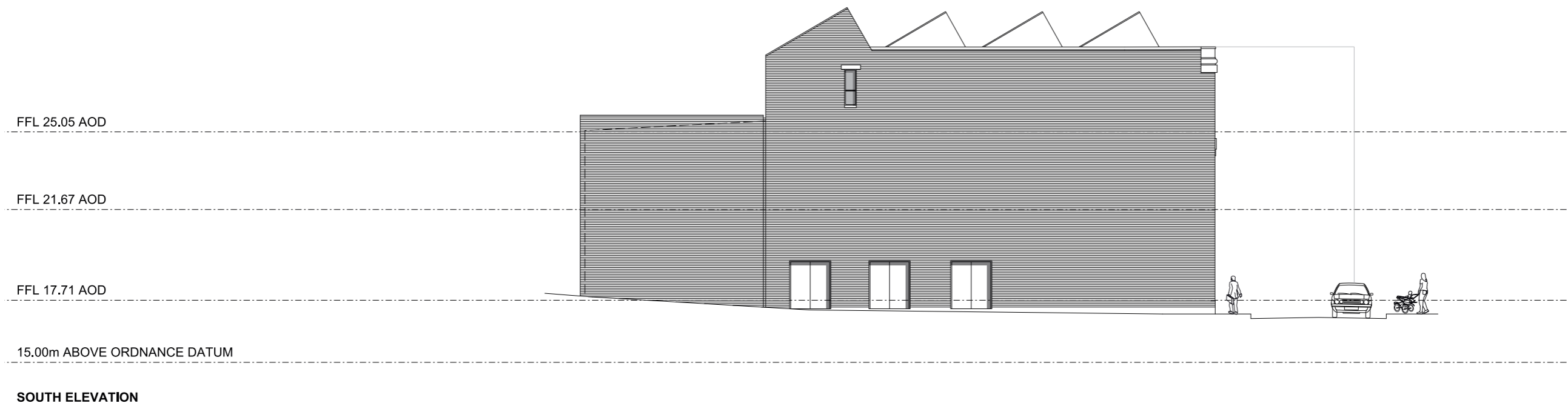
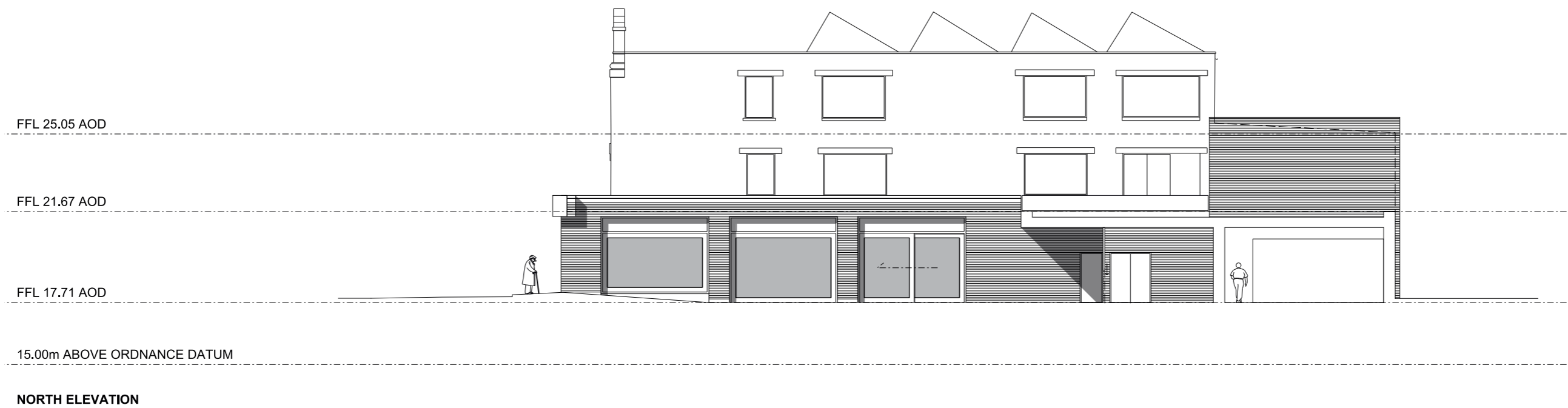
EAST ELEVATION



WEST ELEVATION

2.0 Design Principles

2.7 Elevations



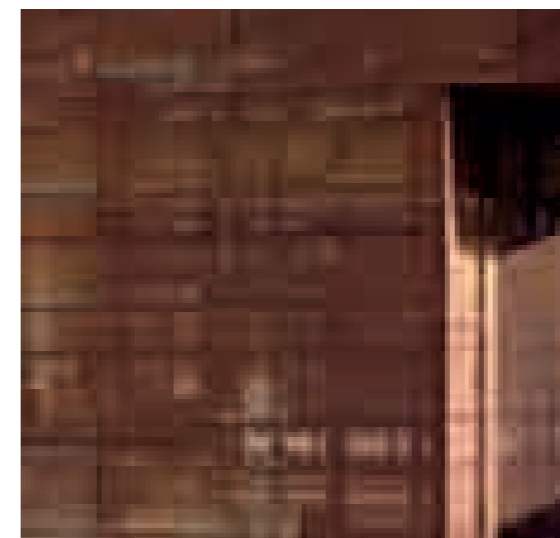
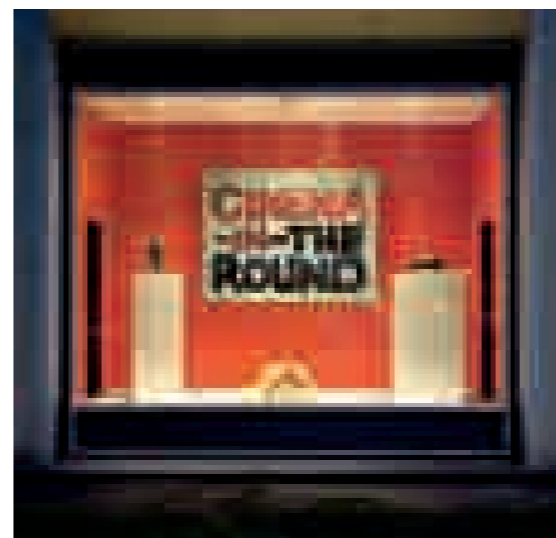
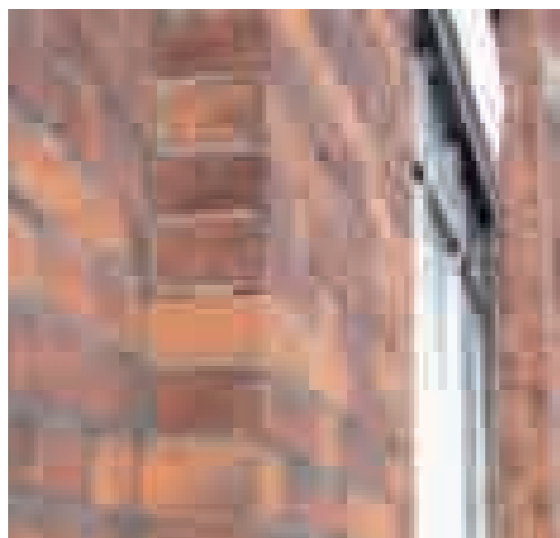
2.0 Design Principles

2.8 Cues and Precedents



A pattern of solid and open.

A grain of horizontality and verticality.



A language of layering.

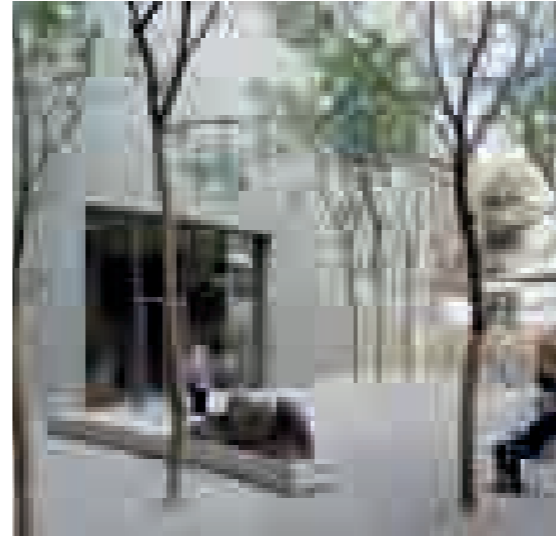
Displaying and intriguing.

2.0 Design Principles

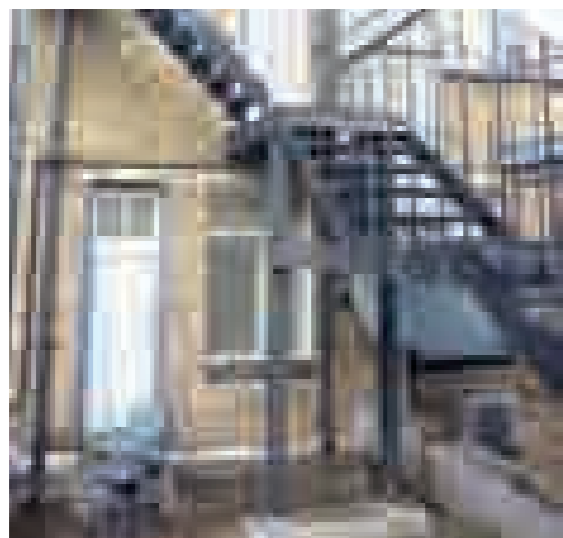
2.8 Cues and Precedents



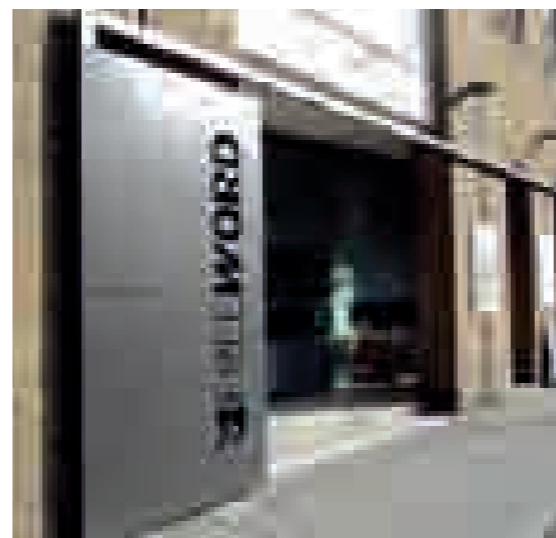
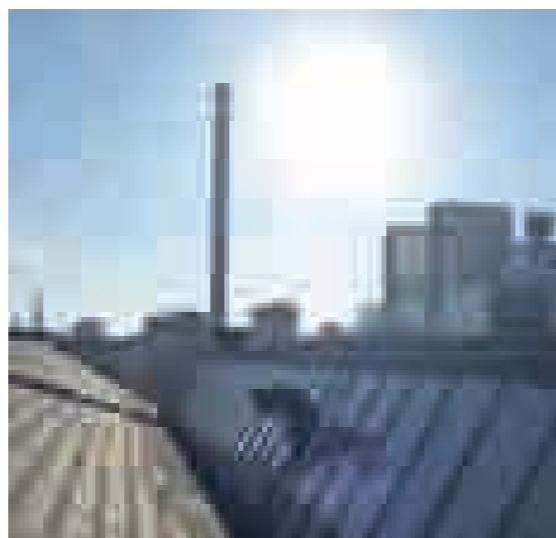
Variety and similarity of materials.



A semi-public, multi-use courtyard.



Industrial legacy.



Linking of existing building & extension through related proportions & materials.

2.0 Design Principles

2.9 Material Treatment

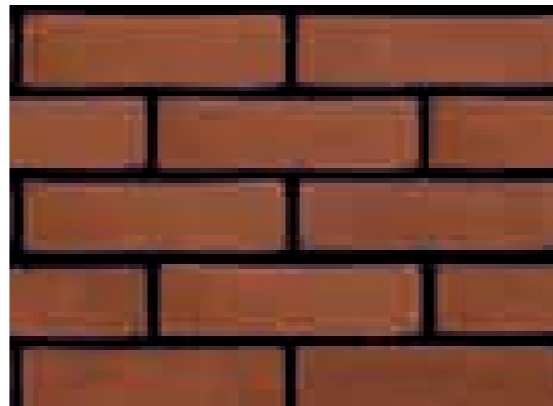
Extension

1. Stone Coping



1

1. Red Stock Brick



2

3. Metal Door and Windows



Green Roof (behind parapet)



3

2.0 Design Principles

2.9 Material Treatment

Archive

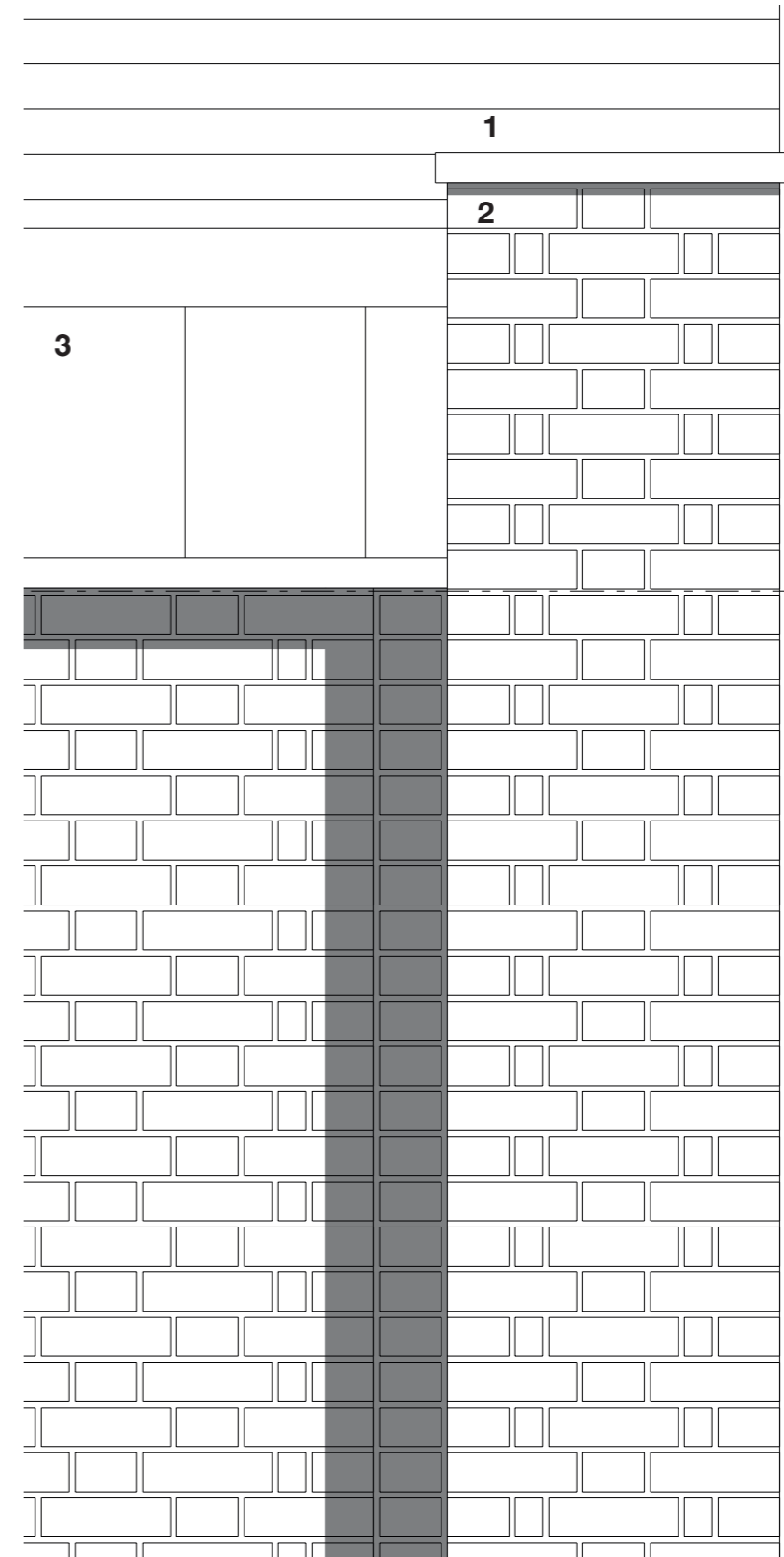
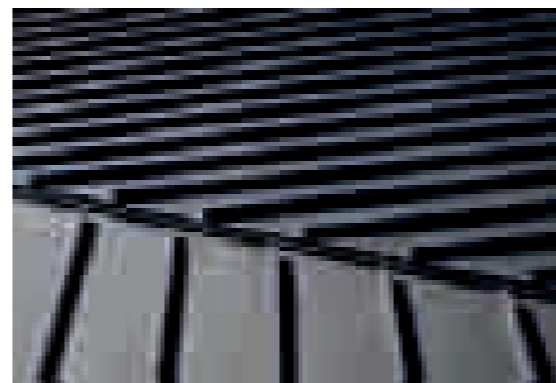
1. Metal Coping



2. London Stock Brick



3. Metal Standing Seam Roof



2.0 Design Principles

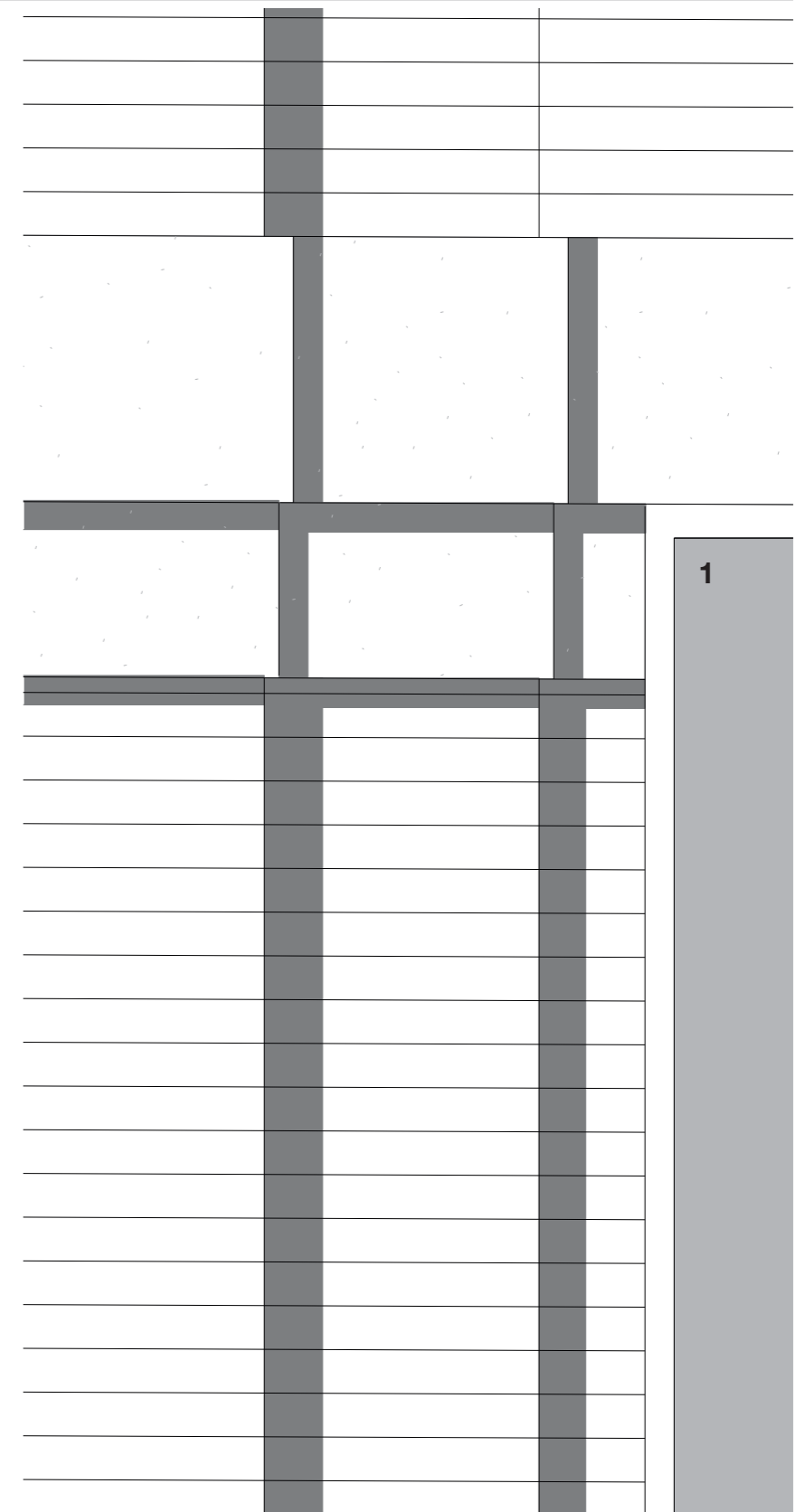
2.9 Material Treatment

Calthorpe House

1. Metal Door and Windows



The brickwork, render panels and the stone copings will be sensitively cleaned, to reveal the original colour variance of the existing elevations.





2.0 Design Principles

2.10 Visualisations

Phoenix Place - View from the North



2.0 Design Principles

2.10 Visualisations

Phoenix Place - View from the South



2.0 Design Principles

2.10 Visualisations

Entrance from Phoenix Place



2.0 Design Principles

2.10 Visualisations

View of the Archive



2.0 Design Principles

2.10 Visualisations

Internal View of the Extension



2.0 Design Principles

2.10 Visualisations

View of Welcome Space



2.0 Design Principles

2.11 Ecology and Landscape

Ecology

Refer to the Ecology Statement which accompanies this document.

Landscape

The new courtyard will be landscaped using stone paviors.

The green roof will be an extensive system. This requires a relatively shallow substrate, and only minimal maintenance.



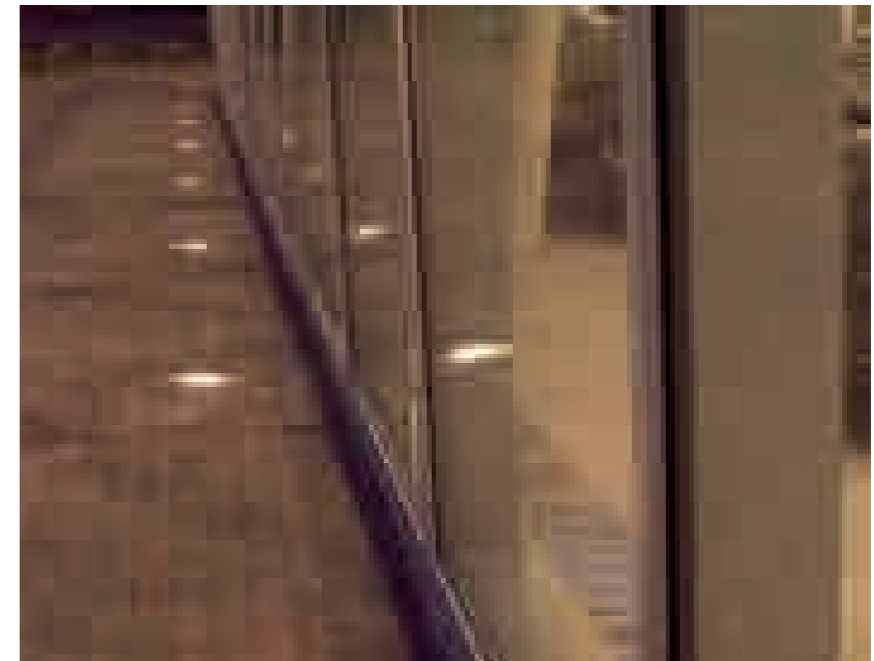
External Lighting

The external lighting scheme will provide illumination only where it is required for safe and practical use, to meet health and safety standards or guidelines, and where it is recommended by Secure By Design for the purposes of archive / museum security.

A key consideration will be the avoidance of light pollution or spillage, both in terms of proximity to residential properties and in the interests of conserving energy use and minimising maintenance.

External Noise Control

Please refer to the Acoustic Statement which accompanies this document.



2.0 Design Principles

2.12 Sustainability

Sustainability Statement

Sustainability is a broad and general topic and will be fully integrated throughout the project at every level.

Social

The Museum & Archive will provide a new long term use for a disused but important building on a central site in Mount Pleasant. It will create a new facility and visitor attraction and open up an important collection of artefacts related to postal heritage for public access.

Economic

The funding for this development is private. There is a finite budget that needs to be adhered to, however, the final facility is intended for long term use. Designing the archive as a passive space will reduce running costs over the lifetime of the building, materials used should also be low maintenance, again reducing running costs.

Environmental

Any interventions into Calthorpe House will focus on the repair of the existing building. The archive building, however, will be designed as a passive archive. A passive approach dictates that, where possible, the building fabric and form will create the internal conditions to satisfy the buildings function. This will limit the need to employ mechanical or electrical services to create satisfactory internal conditions and reducing the energy consumption of the building. This will minimise the impact of the archive on the surrounding environment.

2.0 Design Principles

2.13 Access

Arriving at the Building

Calthorpe House is accessible by public transport with many Underground stations an easy walk from the location.

Access to the Building

Calthorpe House is accessible to the general public via a level courtyard to the north of the site. Staff access is via an entrance to the south of the building.

Inside the Building

Level access is provided to all parts, with a part M compliant lift serving all levels.

Part M

The building is designed to be fully inclusive and accessible for all users. Level thresholds, pass doors and appropriately designed landscaping will cater for disabled access.

Emergency Access

All emergency access for fire fighting will be Phoenix Place.

Construction Compound/ Access

The detail of how this will be arranged will be worked through when a contractor is appointed.

3.0 Drawings

Existing Layout

1625-SU-001A	Ground Floor Plan
1625-SU-002A	First Floor Plan
1625-SU-003A	Second Floor Plan
1625-SU-004A	Roof Plan
1625-SU-100A	Sections
1625-SU-101A	Sections
1625-SU-102A	Sections
1625-SU-200A	Elevations
1625-SU-201A	Sections

Demolition Drawings

1625-P-400A	Ground Floor Plan
1625-P-401A	First Floor Plan
1625-P-402A	Second Floor Plan
1625-P-403A	Roof Plan
1625-P-409A	Extents of Demolition

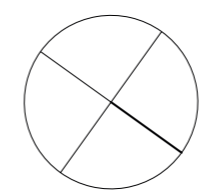
Proposed Layout

1625-P-001J	Ground Floor Plan
1625-P-002G	First Floor Plan
1625-P-003G	Second Floor Plan
1625-P-004D	Roof Plan
1625-P-112A	Sections
1625-P-113A	Sections
1625-P-200A	Elevations
1625-P-201A	Sections



Phoenix Place

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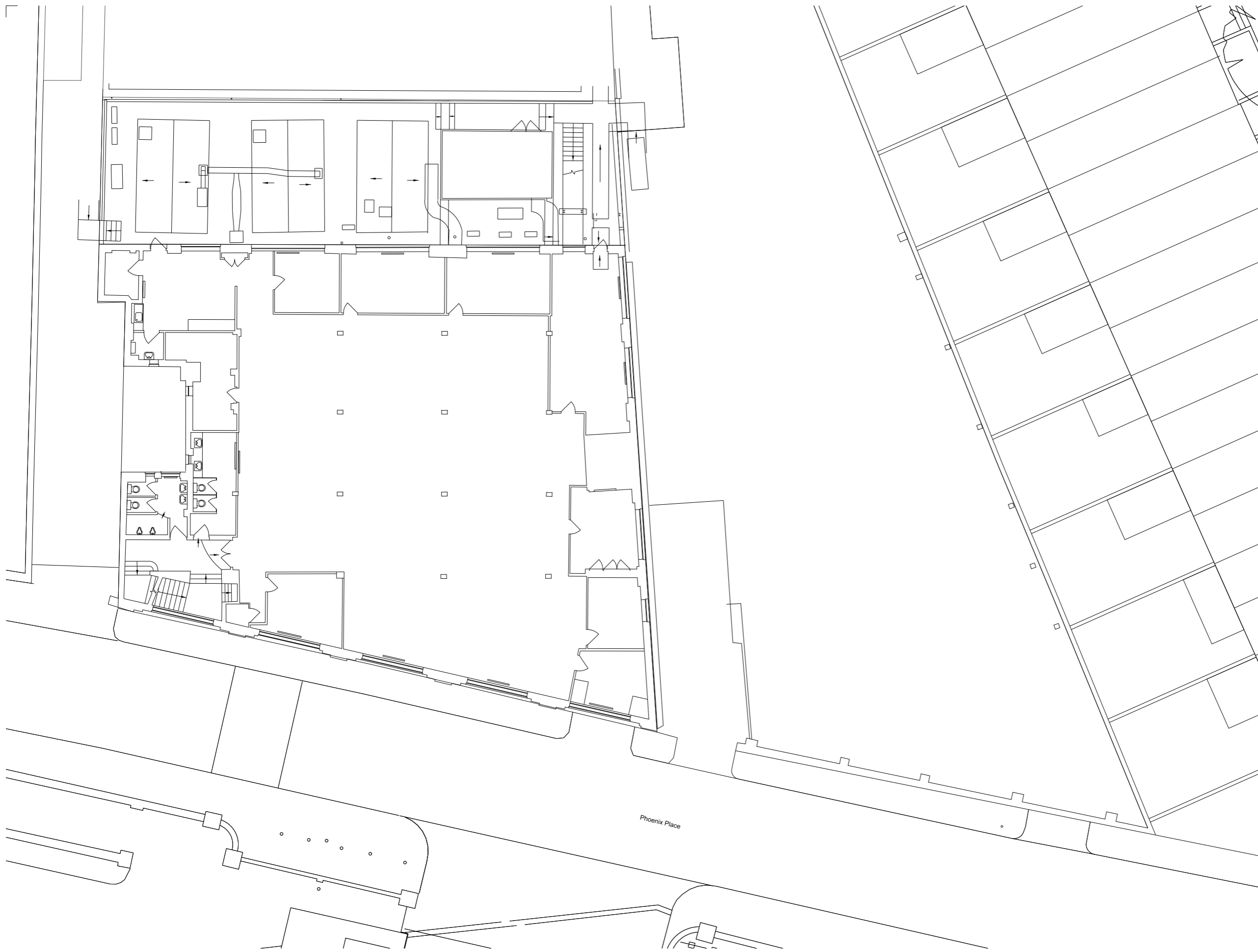


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 CALTHORPE HOUSE
 GROUND FLOOR PLAN
 EXISTING
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Phoenix Place

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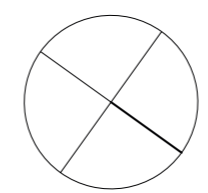
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CALTHORPE HOUSE
FIRST FLOOR PLAN
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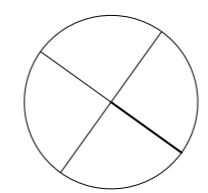
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 CALTHORPE HOUSE
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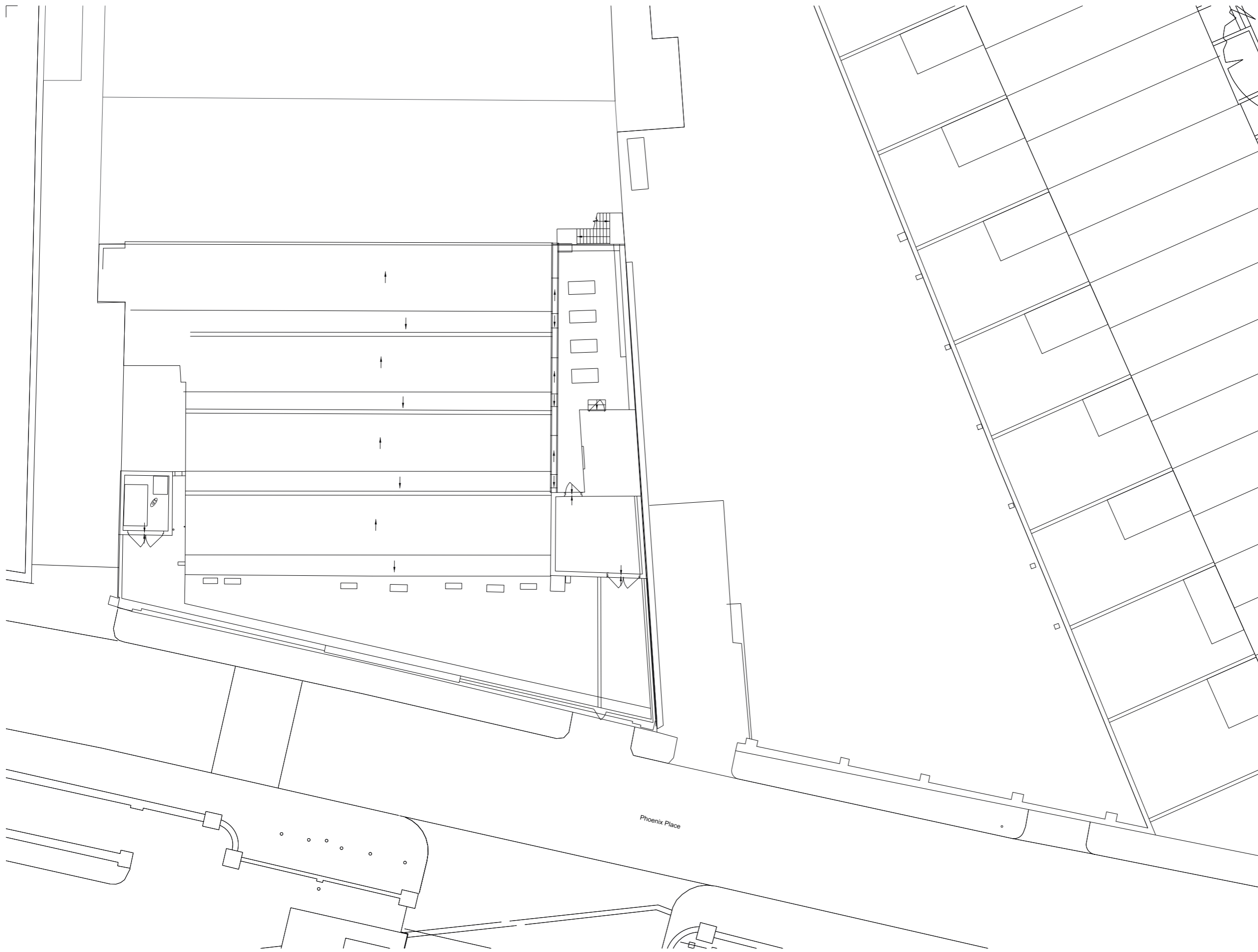
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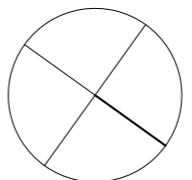


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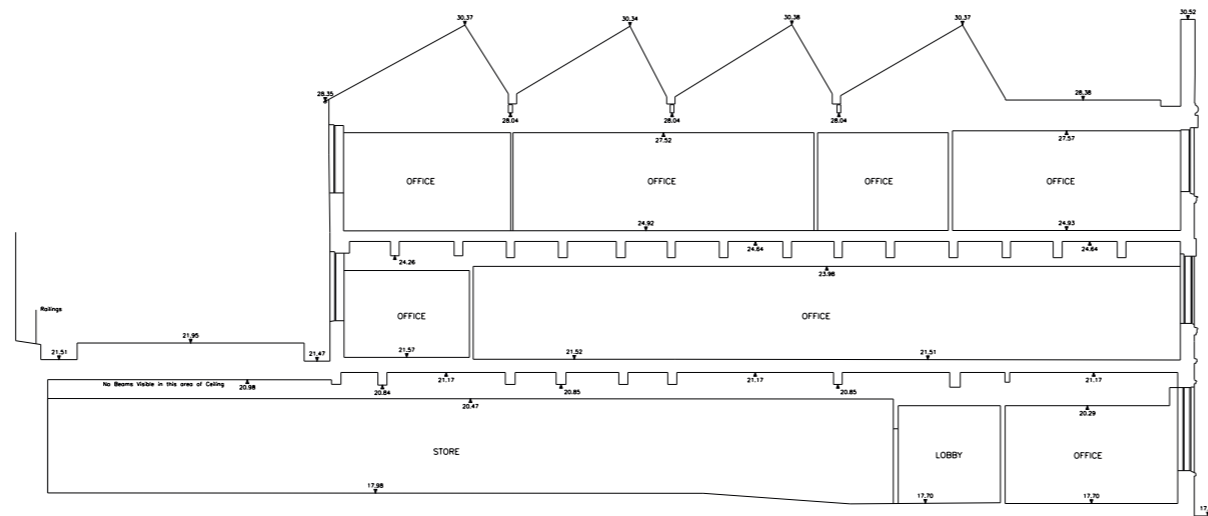
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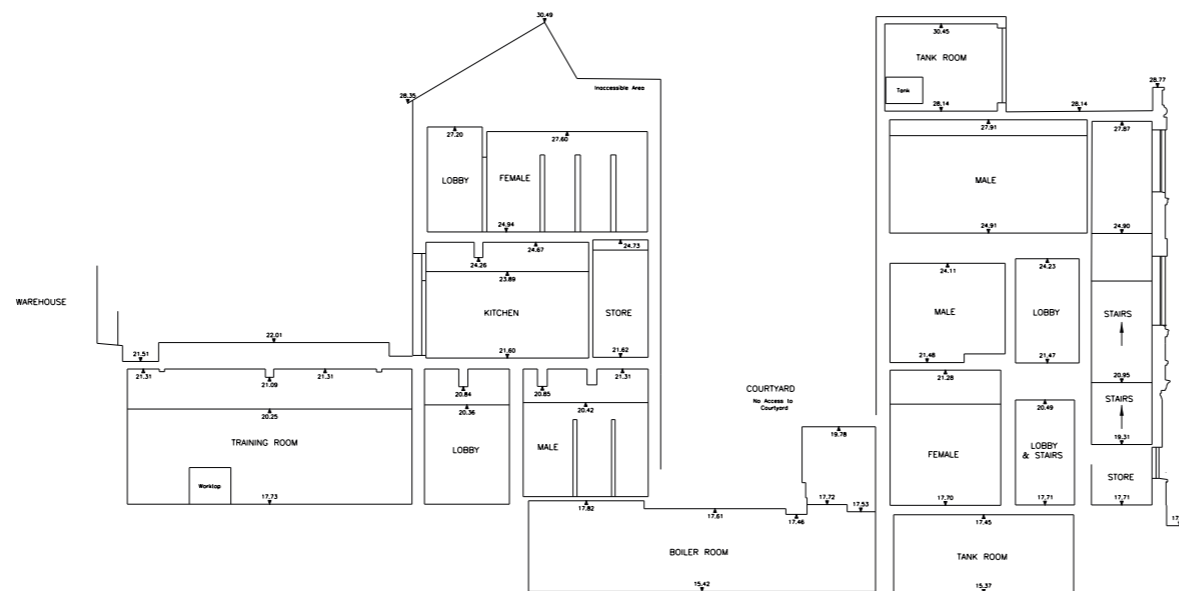
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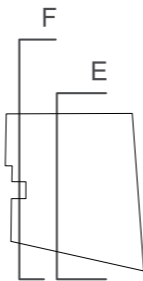
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SECTION E - E



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SECTION F - F



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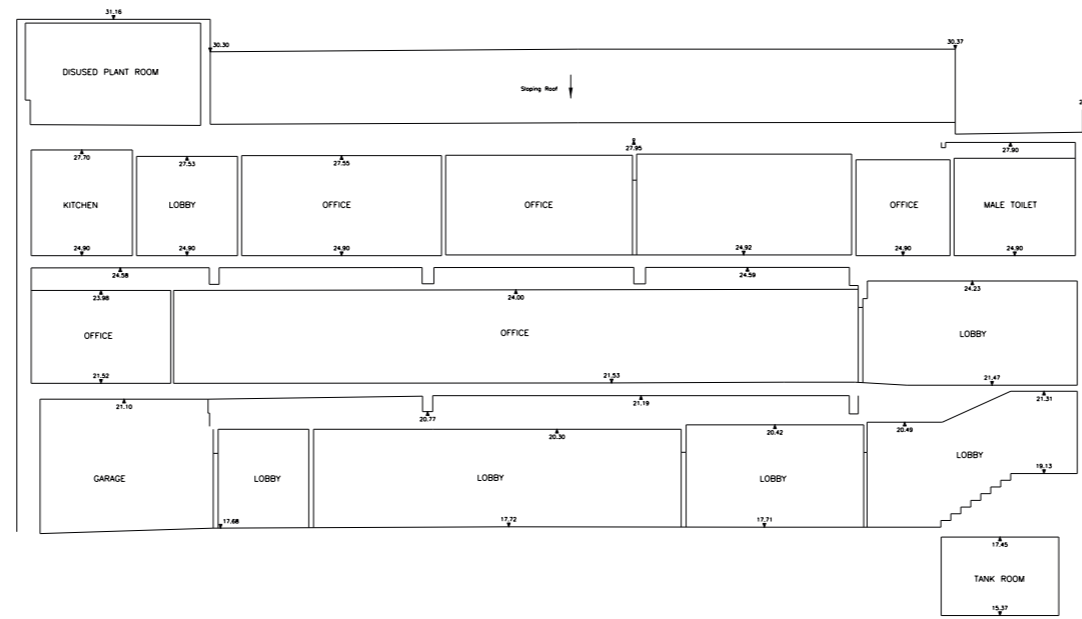
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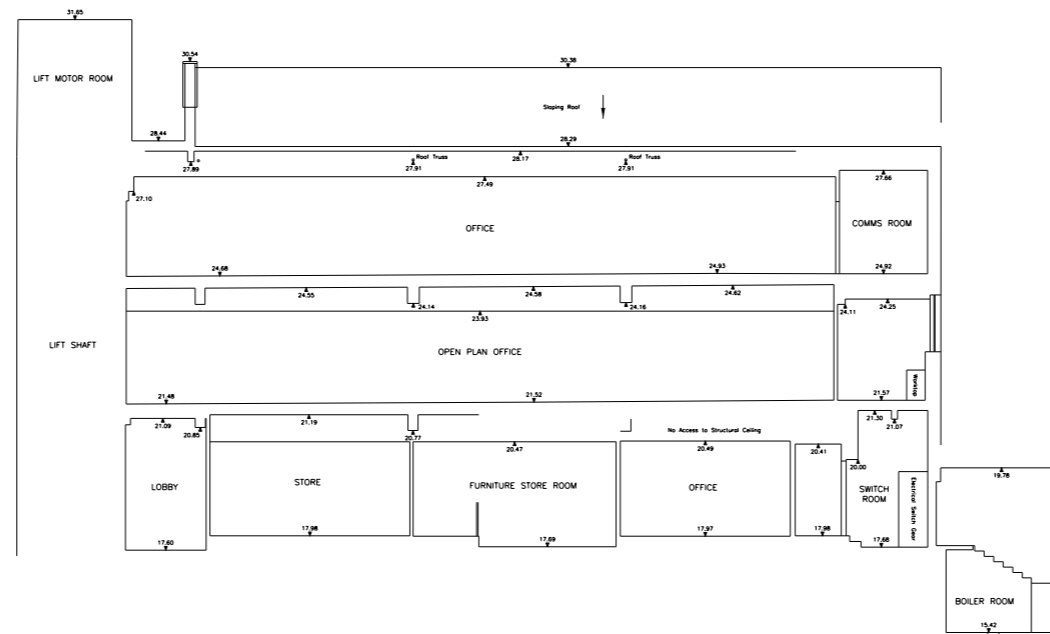
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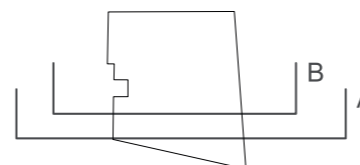
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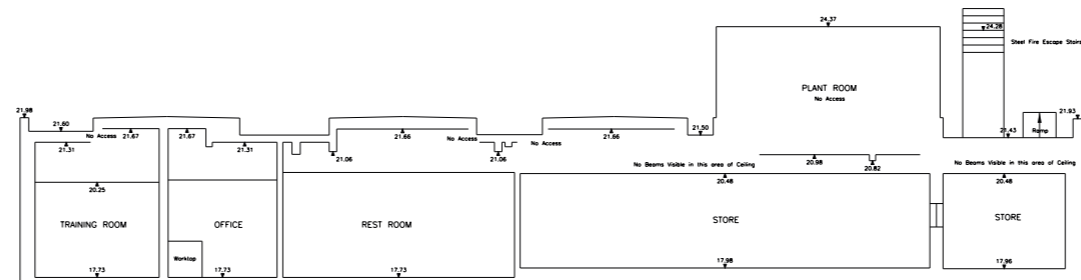
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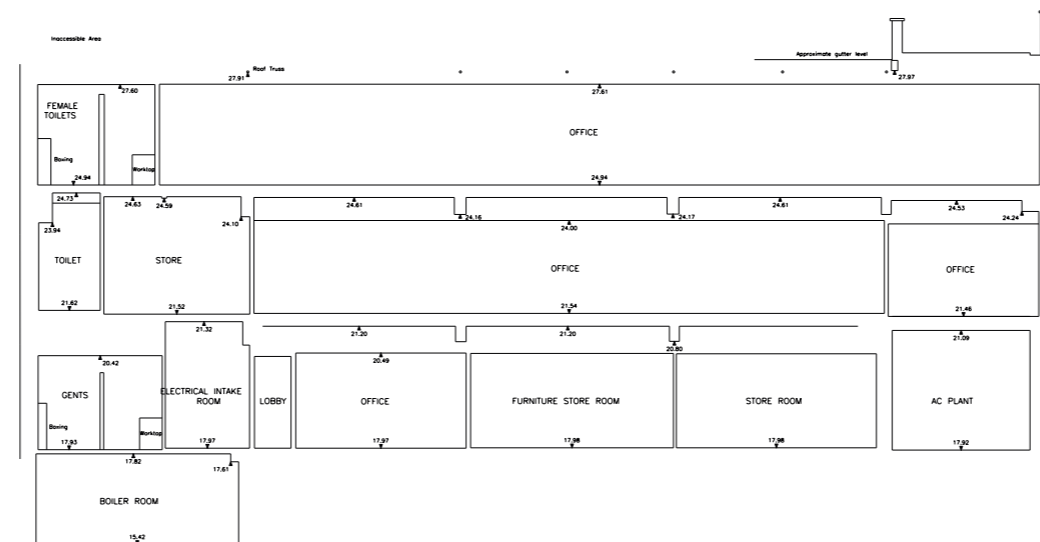
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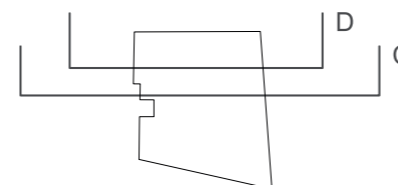
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CALTHORPE HOUSE
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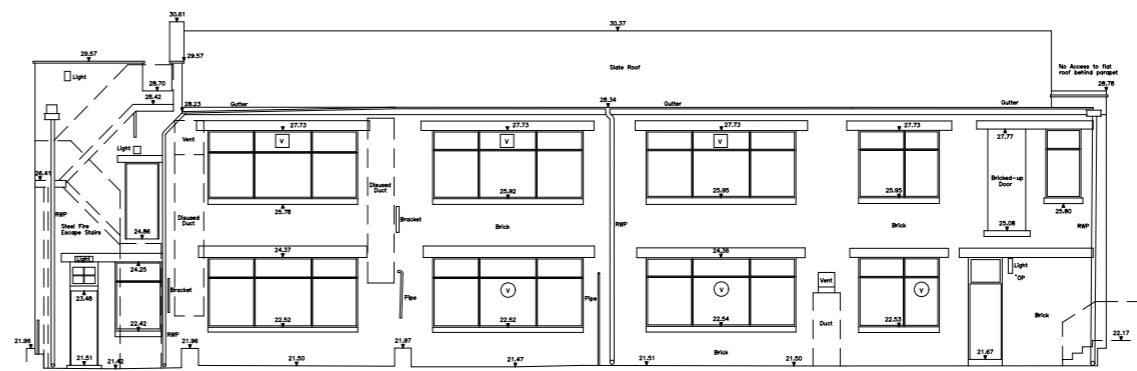
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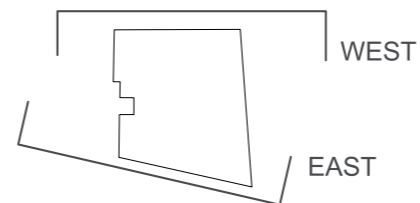
EAST ELEVATION



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WEST ELEVATION

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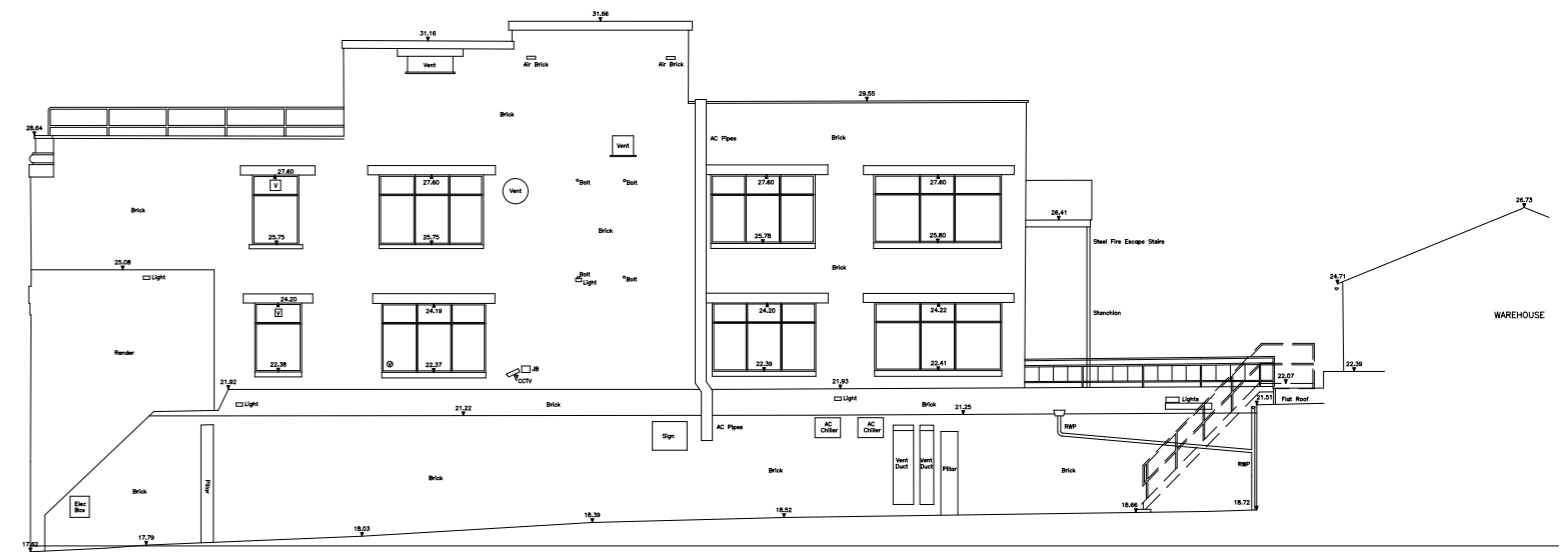
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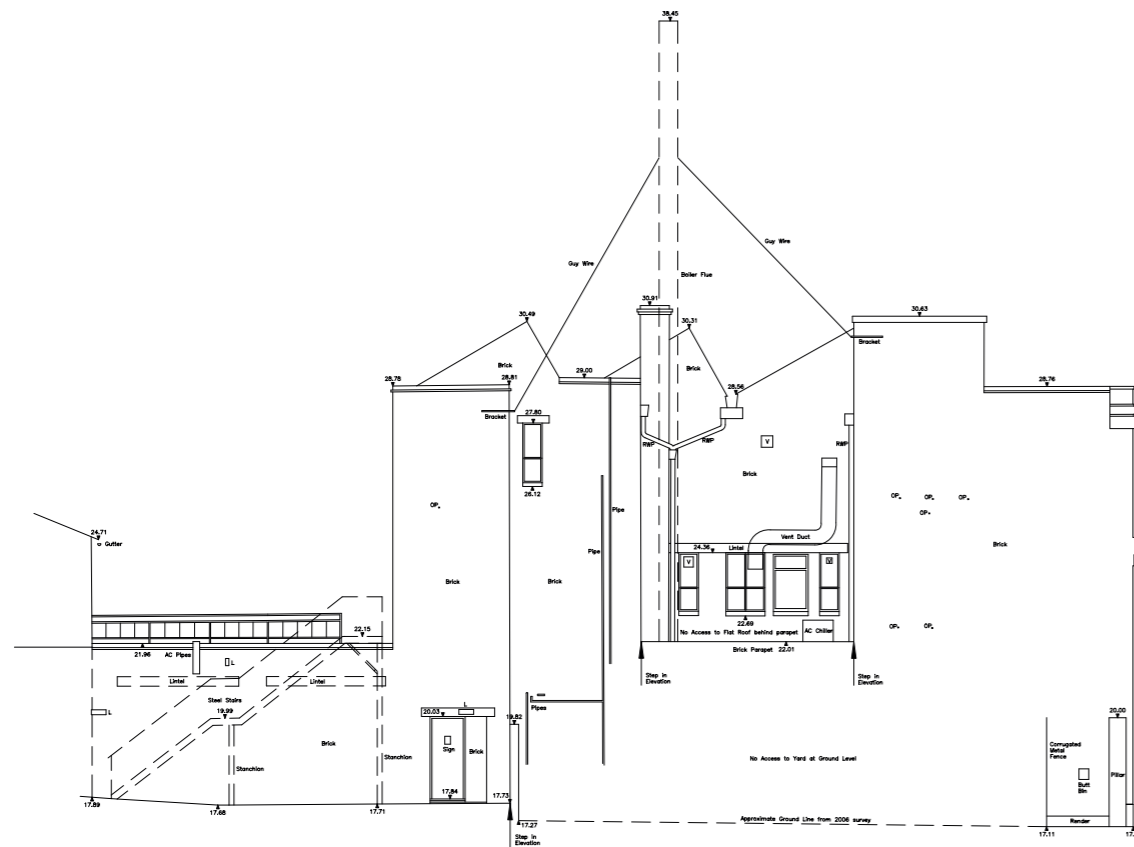
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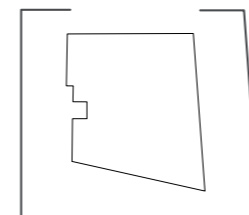
NORTH ELEVATION



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SOUTH ELEVATION

SOUTH NORTH



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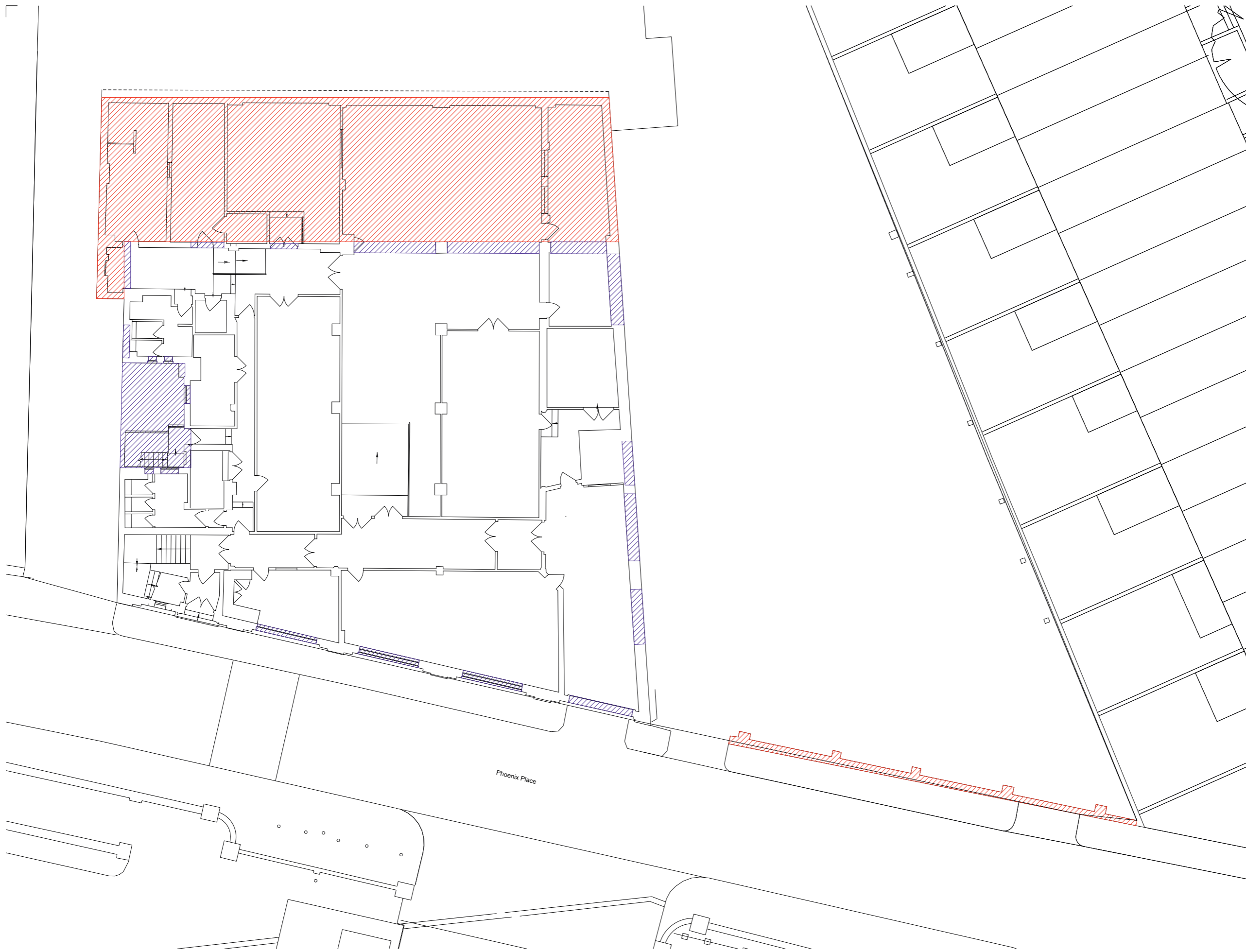
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MOUNT PLEASANT, LONDON

CALTHORPE HOUSE
ELEVATIONS AS EXISTING
SHEET 2 OF 2
Do not scale



Job/Drawing No. Amendment
1625/SU/201 A
Scale 1:100 (1:200 @ A3)
Date OCTOBER 2011
Drawn STUDIO 8
All dimensions to be checked on site

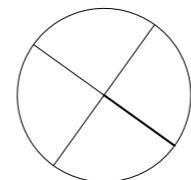
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-  DEMOLITION OF EXISTING STRUCTURE
-  AMENDMENT TO EXISTING STRUCTURE



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A SUBMITTED FOR PLANNING
 Amendment
 28.02.12
 Date

APPLICATION FOR FULL PLANNING CONSENT

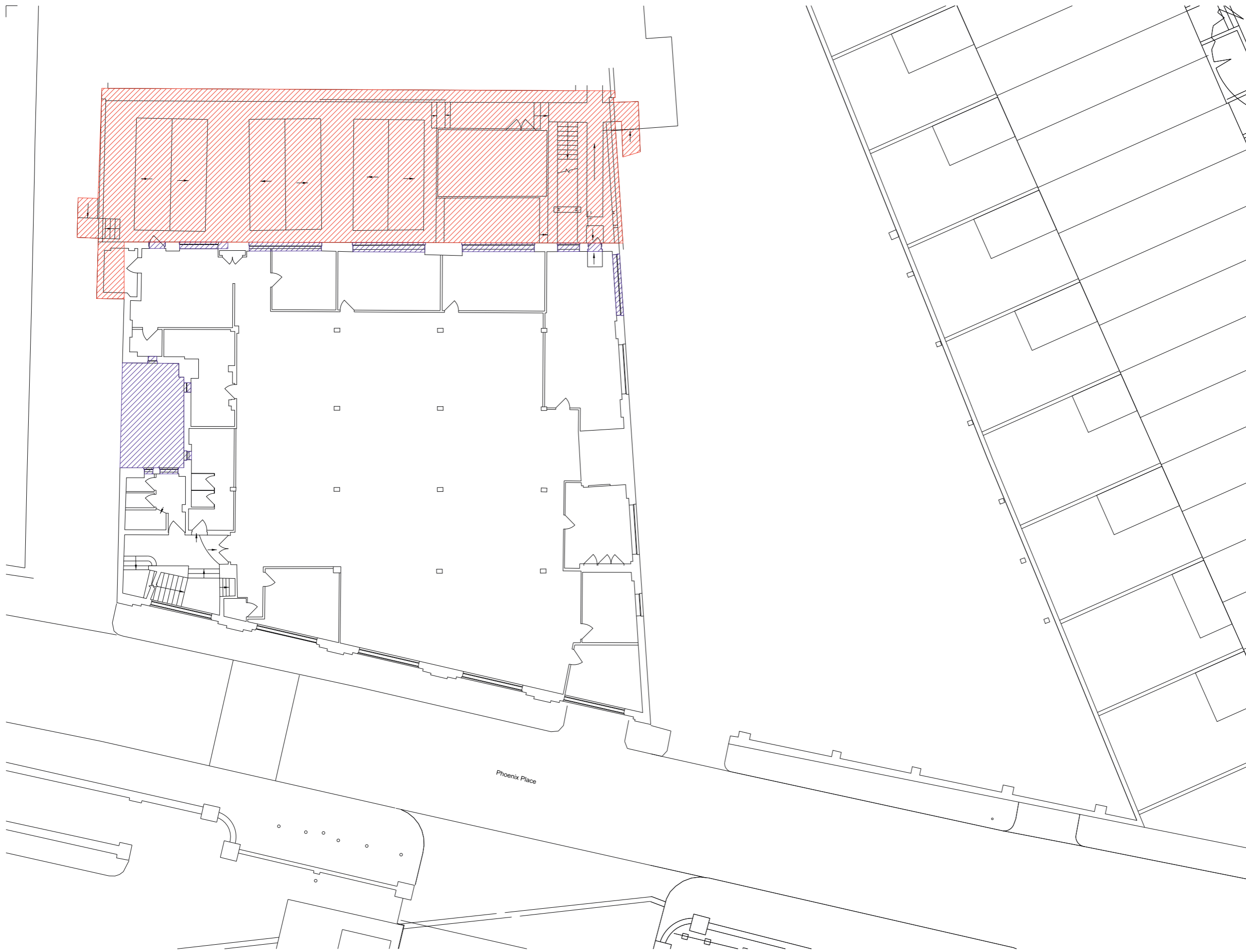
BRITISH POSTAL MUSEUM & ARCHIVE
 MOUNT PLEASANT, LONDON
 CALTHORPE HOUSE
 GROUND FLOOR PLAN
 DEMOLITIONS AND AMENDMENTS
 Do not scale

Job/Drawing No
1625/P/400
 Amendment
A



Scale 1:100 (1:200 @ A3)
 Date February 2012
 Drawn STUDIO 8

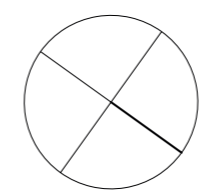
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 MOUNT PLEASANT, LONDON
 CALTHORPE HOUSE
 FIRST FLOOR PLAN
 DEMOLITIONS AND AMENDMENTS
 Do not scale
 Original printed at A1

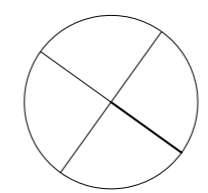
Job/Drawing No
1625/P/401
 Amendment
A

Scale 1:100 (1:200 @ A3)
 Date February 2012
 Drawn STUDIO 8
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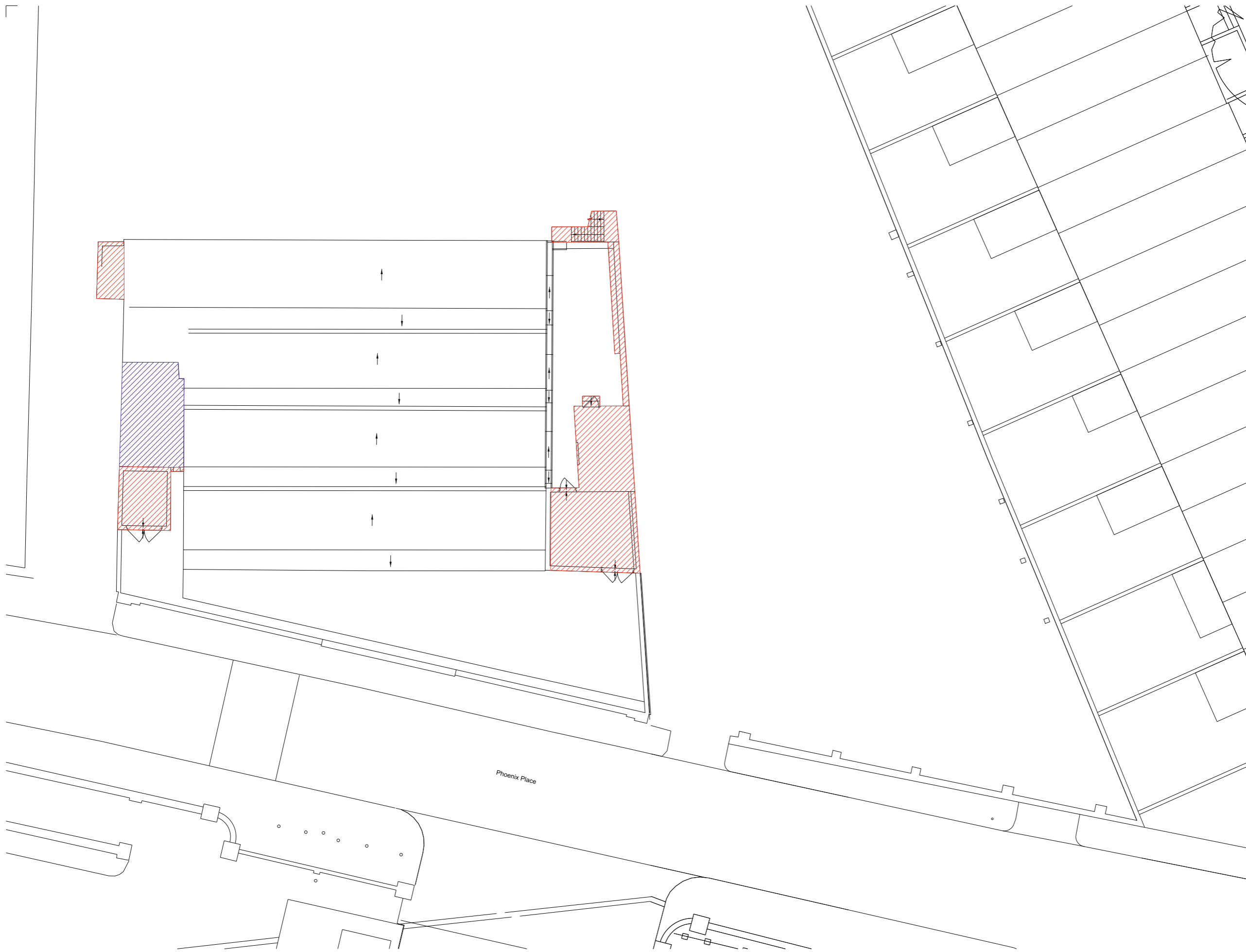
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 Amendment
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 Date



APPLICATION FOR FULL PLANNING CONSENT

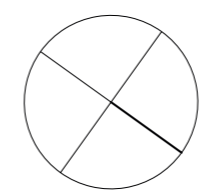
BRITISH POSTAL MUSEUM & ARCHIVE MOUNT PLEASANT, LONDON CALTHORPE HOUSE SECOND FLOOR PLAN DEMOLITIONS AND AMENDMENTS Do not scale	Job/Drawing No 1625/P/402 Amendment A Scale 1:100 (1:200 @ A3) Date February 2012 Drawn STUDIO 8 All dimensions to be checked on site
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APPLICATION FOR FULL PLANNING CONSENT

BRITISH POSTAL MUSEUM & ARCHIVE
 MOUNT PLEASANT, LONDON
 CALTHORPE HOUSE
 ROOF PLAN
 DEMOLITIONS AND AMENDMENTS
 Do not scale





Job/Drawing No
1625/P/403
 Amendment
A

Scale 1:100 (1:200 @ A3)
 Date February 2012
 Drawn STUDIO 8

All dimensions to be checked on site

Original printed at A1



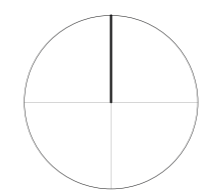
- KEY**
-  CALTHORPE HOUSE SINGLE STOREY FOR DEMOLITION
 -  LIGHT INDUSTRIAL B2 UNITS FOR DEMOLITION
 -  SITE BOUNDARY FOR DEMOLITION WORKS
 -  EXTENT OF BPMA OWNERSHIP

Gross External Areas

Unit A	452	sq m	- 2 Storey
Unit B	58	sq m	- 1 Storey
Unit C	15	sq m	- 1 Storey

 APPLICATION SITE BOUNDARY

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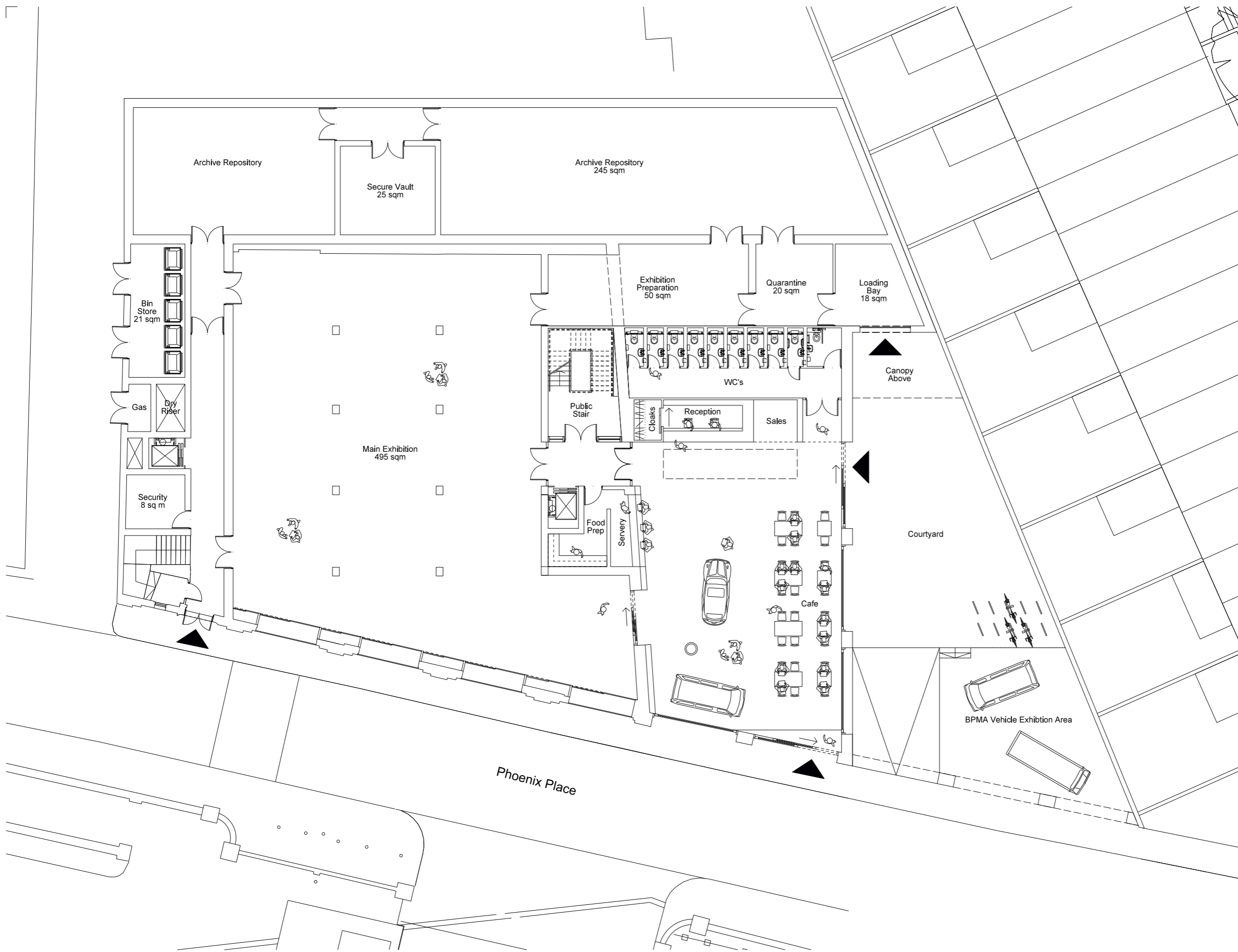
A SUBMITTED FOR PLANNING 28.02.12
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APPLICATION FOR FULL PLANNING CONSENT

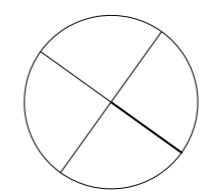
BRITISH POSTAL MUSEUM AND ARCHIVE MOUNT PLEASANT, LONDON Job/Drawing No **1625/P/409** A

SITE BOUNDARY AND PROPOSED DEMOLITION Scale 1:200 (1:400 @ A3) Date JAN 2012 Drawn STUDIO 8

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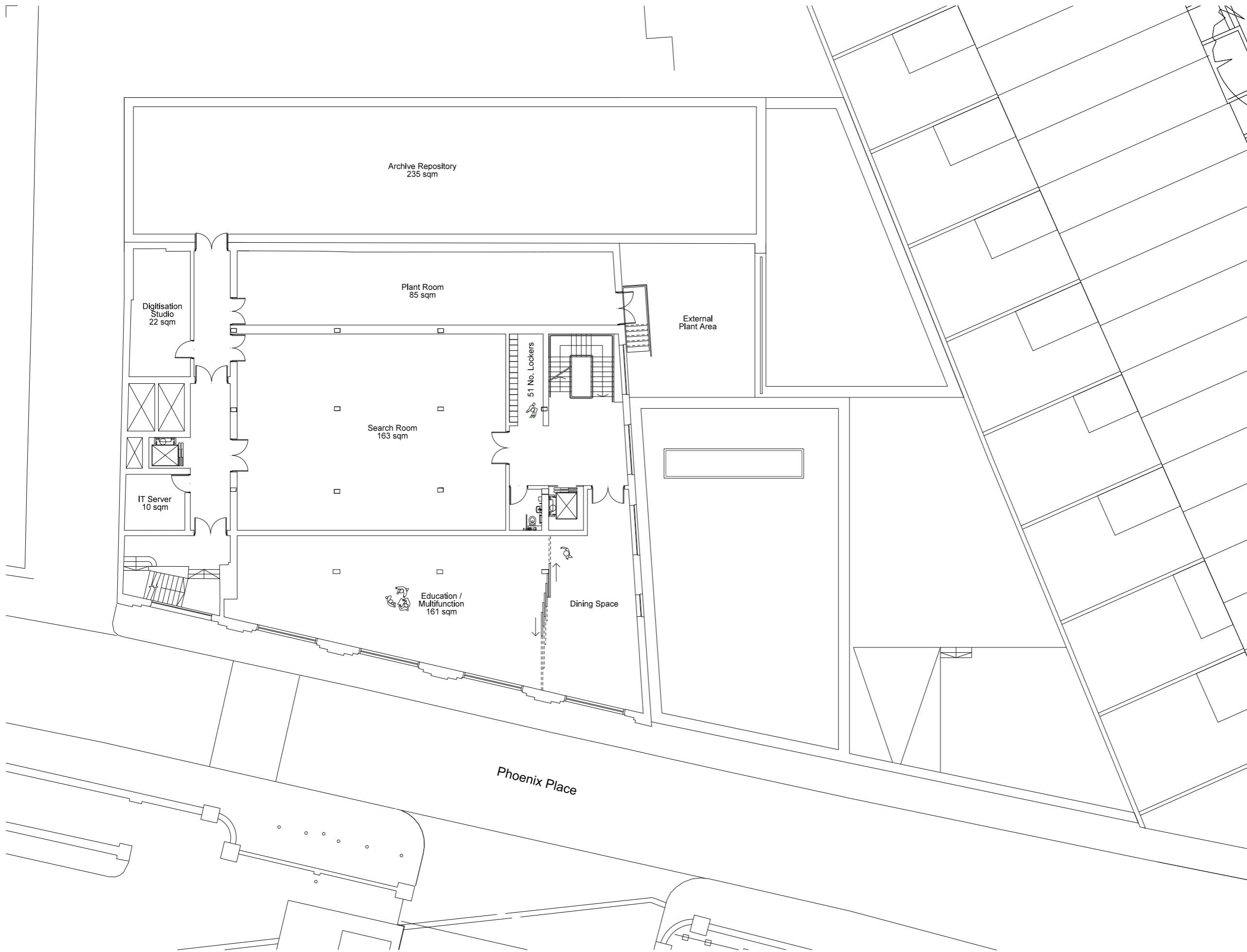
J SUBMITTED FOR PLANNING 28.02.12
 Amendment Date

**APPLICATION FOR
 FULL PLANNING CONSENT**

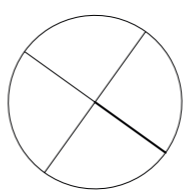
BRITISH POSTAL MUSEUM & ARCHIVE
 MOUNT PLEASANT, LONDON
 CALTHORPE HOUSE
 GROUND FLOOR AS PROPOSED
 Do not scale
 Original printed at A1

Job/Drawing No
1625/P/001
 Amendment
J

Scale 1:100 (1:200 @ A3)
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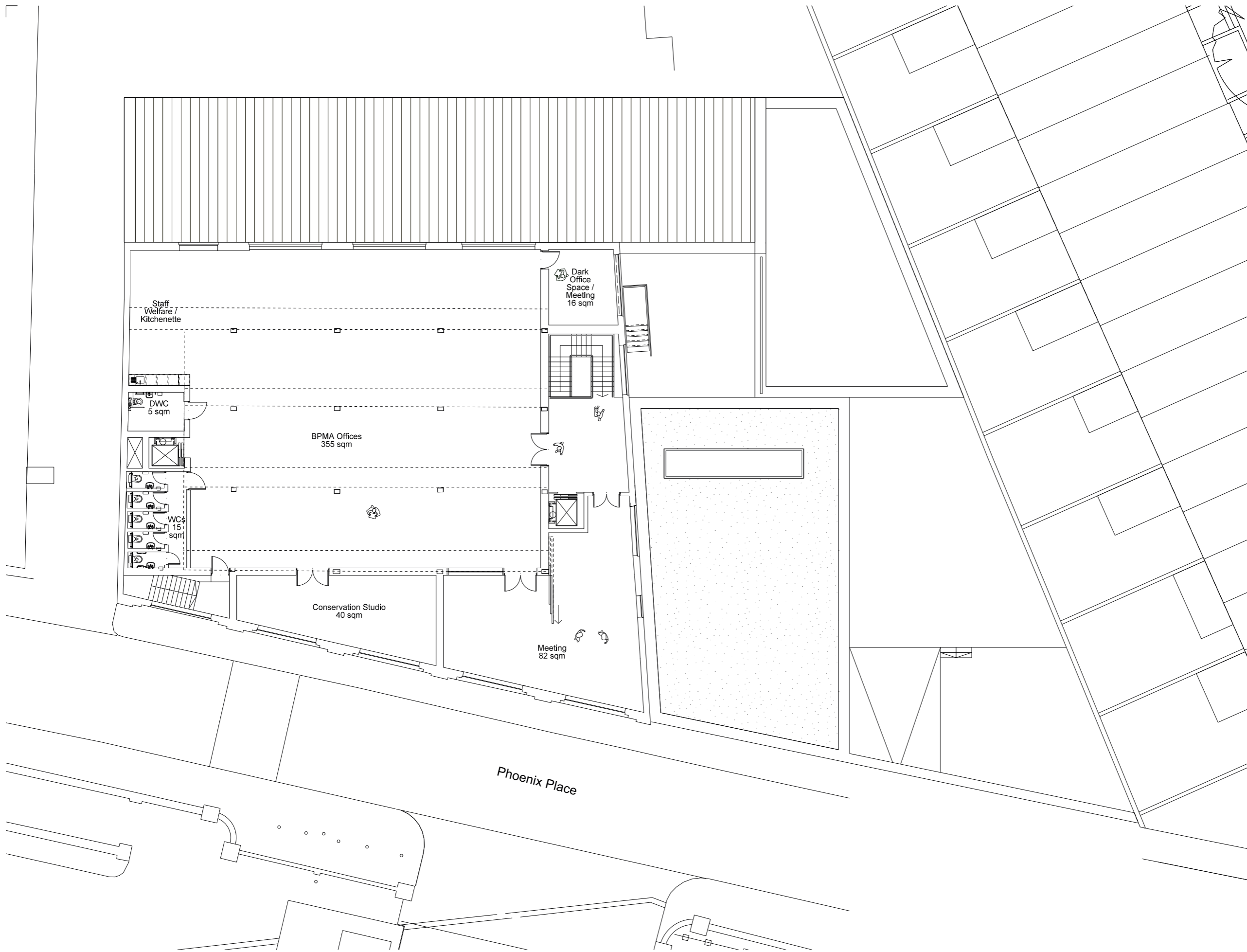
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 Amendment Date

**APPLICATION FOR
 FULL PLANNING CONSENT**

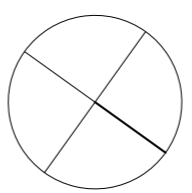
BRITISH POSTAL MUSEUM & ARCHIVE
 MOUNT PLEASANT, LONDON
 CALTHORPE HOUSE
 FIRST FLOOR AS PROPOSED

Job/Drawing No
1625/P/002 G
 Scale 1:100 (1:200 @ A3)
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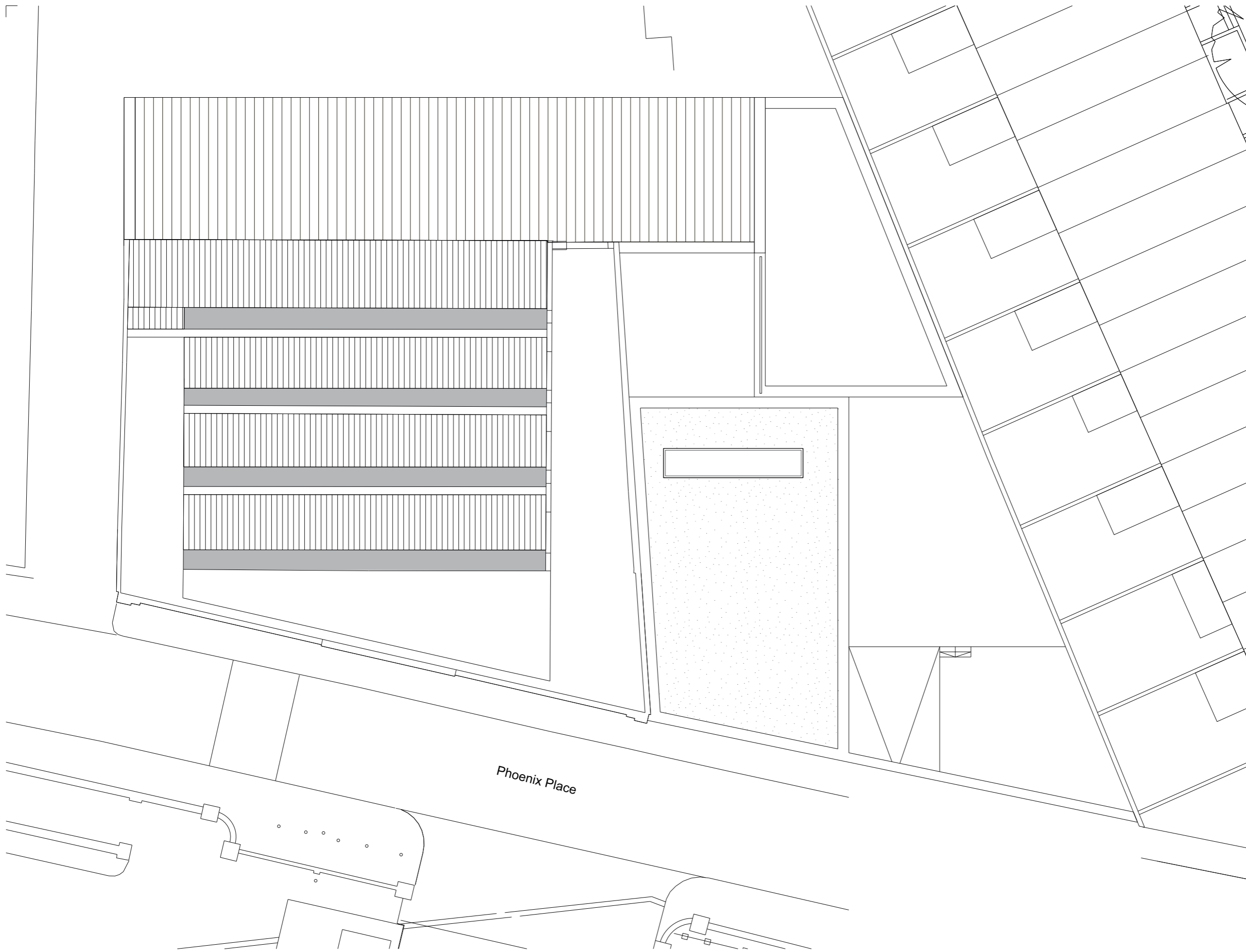
G SUBMITTED FOR PLANNING 28.02.12
 Amendment Date

**APPLICATION FOR
 FULL PLANNING CONSENT**

BRITISH POSTAL MUSEUM & ARCHIVE
 MOUNT PLEASANT, LONDON
 Job/Drawing No
1625/P/003 G

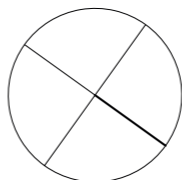
CALTHORPE HOUSE
 SECOND FLOOR AS PROPOSED
 Scale 1:100 (1:200 @ A3)
 Date OCTOBER 2011
 Drawn STUDIO 8

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Phoenix Place

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 Amendment
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**APPLICATION FOR
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BRITISH POSTAL MUSEUM & ARCHIVE
 MOUNT PLEASANT, LONDON
 CALTHORPE HOUSE
 ROOF PLAN AS PROPOSED
 Do not scale
 Original printed at A1

Job/Drawing No
1625/P/004
 Amendment
D

Scale 1:100 (1:200 @ A3)
 Date OCTOBER 2011
 Drawn STUDIO 8
 All dimensions to be checked on site

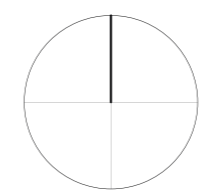


CALTHORPE STREET

PHOENIX PLACE

— APPLICATION SITE BOUNDARY

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 Amendment Date

**APPLICATION FOR
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BRITISH POSTAL MUSEUM AND ARCHIVE MOUNT PLEASANT, LONDON
 Job/Drawing No 1625/P/008 A

SITE BOUNDARY
 Scale 1:200 (1:400 @ A3)
 Date JAN 2012
 Drawn STUDIO 8

Do not scale
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 All dimensions to be checked on site



KEY

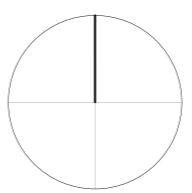
-  CALTHORPE HOUSE SINGLE STOREY FOR DEMOLITION
-  LIGHT INDUSTRIAL B2 UNITS FOR DEMOLITION
-  SITE BOUNDARY FOR DEMOLITION WORKS
-  EXTENT OF BPMA OWNERSHIP

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Unit A	452	sq m	- 2 Storey
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Unit C	15	sq m	- 1 Storey

 APPLICATION SITE BOUNDARY

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 Amendment Date

APPLICATION FOR FULL PLANNING CONSENT

BRITISH POSTAL MUSEUM AND ARCHIVE MOUNT PLEASANT, LONDON
 Job/Drawing No **1625/P/409** A

SITE BOUNDARY AND PROPOSED DEMOLITION
 Scale 1:200 (1:400 @ A3)
 Date JANUARY 2012
 Drawn STUDIO 8

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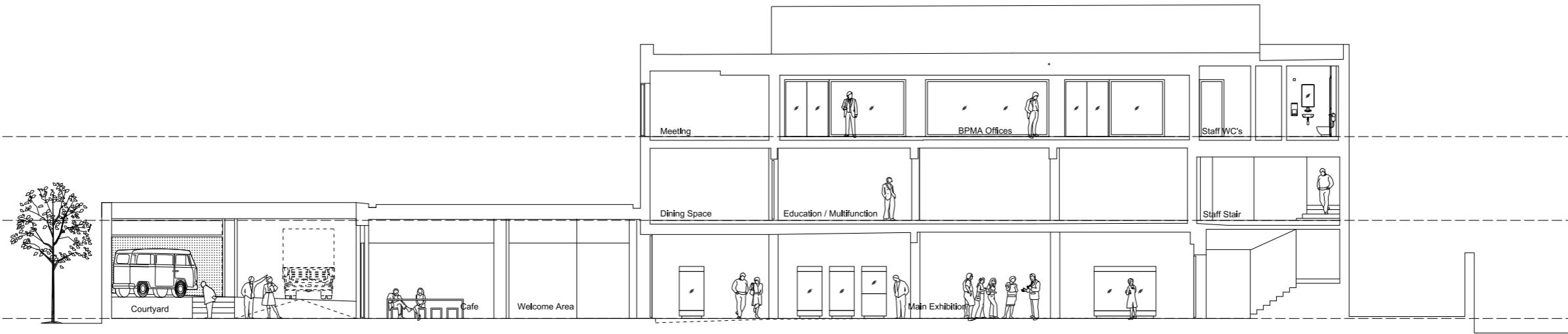
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FFL 21.67 AOD

FFL 17.71 AOD

15.00m ABOVE ORDNANCE DATUM

SECTION A



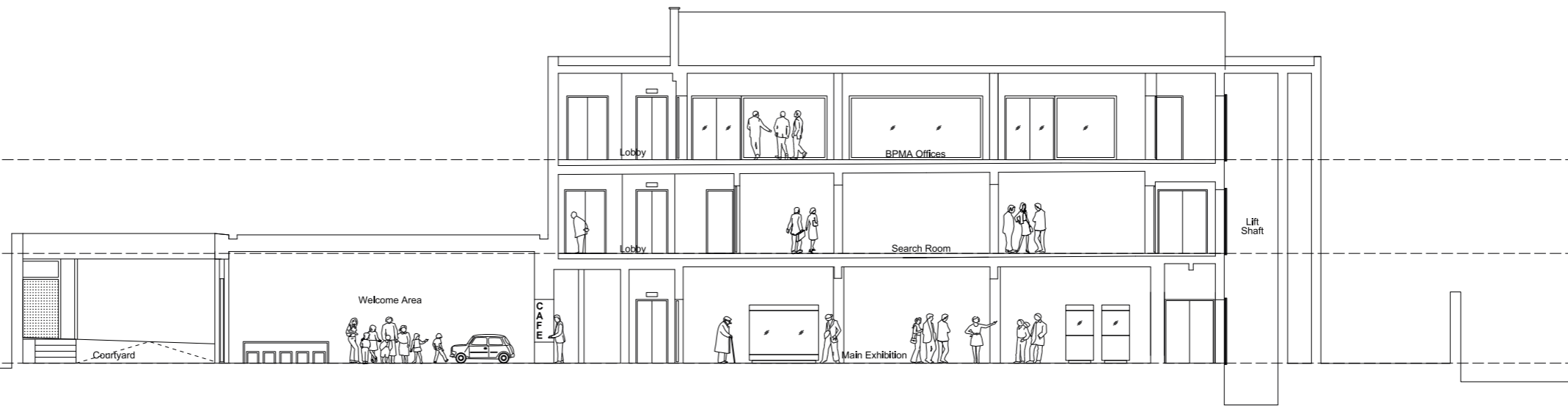
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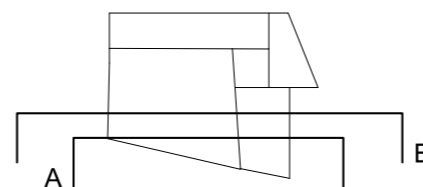
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SECTION B



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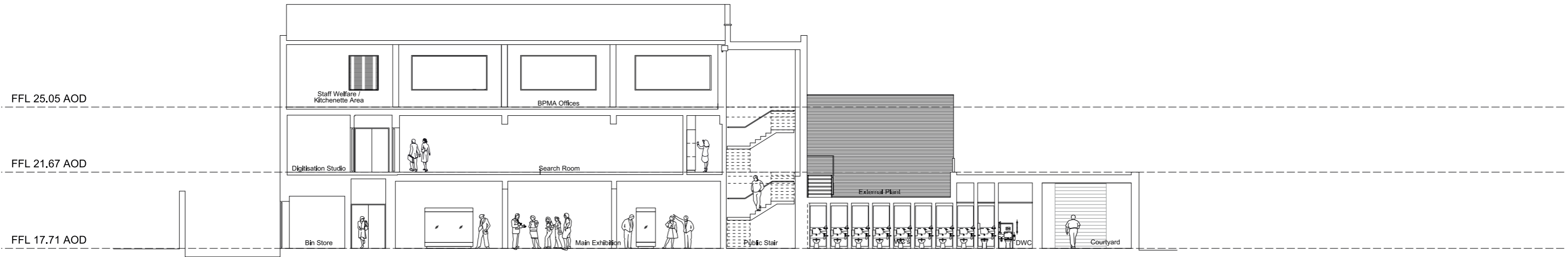
28.02.12
 Date

APPLICATION FOR
 FULL PLANNING CONSENT

BRITISH POSTAL MUSEUM & ARCHIVE
 MOUNT PLEASANT, LONDON
 CALTHORPE HOUSE
 SECTIONS AS PROPOSED
 SHEET 1 of 3
 Do not scale

Job/Drawing No
 1625/P/112
 Amendment
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 Scale 1:100 (1:200 @ A3)
 Date DECEMBER 2011
 Drawn STUDIO 8
 All dimensions to be checked on site

Original printed at A1



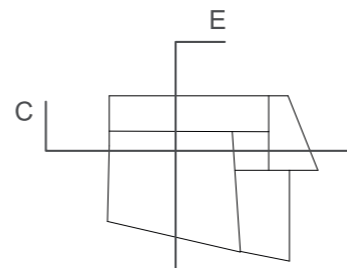
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SECTION C



15.00m ABOVE ORDNANCE DATUM

SECTION E



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Amendment
Date 28.02.12

APPLICATION FOR FULL PLANNING CONSENT

BRITISH POSTAL MUSEUM & ARCHIVE
MOUNT PLEASANT, LONDON
CALTHORPE HOUSE
SECTIONS AS PROPOSED
SHEET 2 of 3
Do not scale
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Job/Drawing No
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Date DECEMBER 2011
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FFL 25.05 AOD

FFL 21.67 AOD

FFL 17.71 AOD

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SECTION M



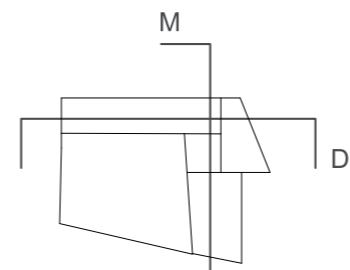
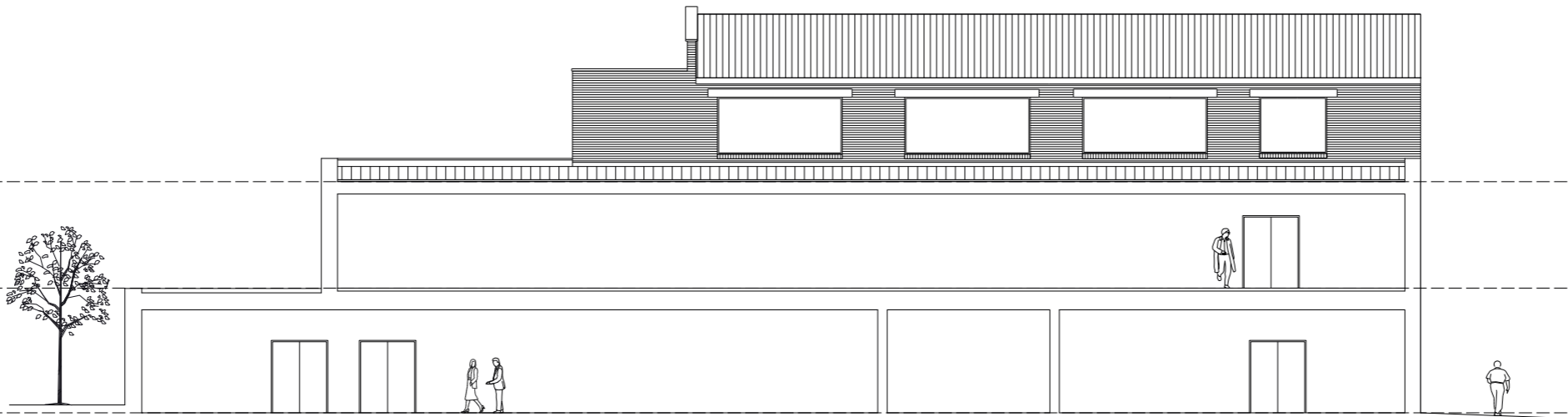
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FFL 21.67 AOD

FFL 17.71 AOD

15.00m ABOVE ORDNANCE DATUM

SECTION D



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Amendment

28.02.12
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APPLICATION FOR
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BRITISH POSTAL MUSEUM & ARCHIVE
MOUNT PLEASANT, LONDON
CALTHORPE HOUSE
SECTIONS AS PROPOSED
SHEET 3 of 3
Do not scale

Job/Drawing No
1625/P/114
Amendment
A
Scale 1:100 (1:200 @ A3)
Date FEBRUARY 2012
Drawn STUDIO 8

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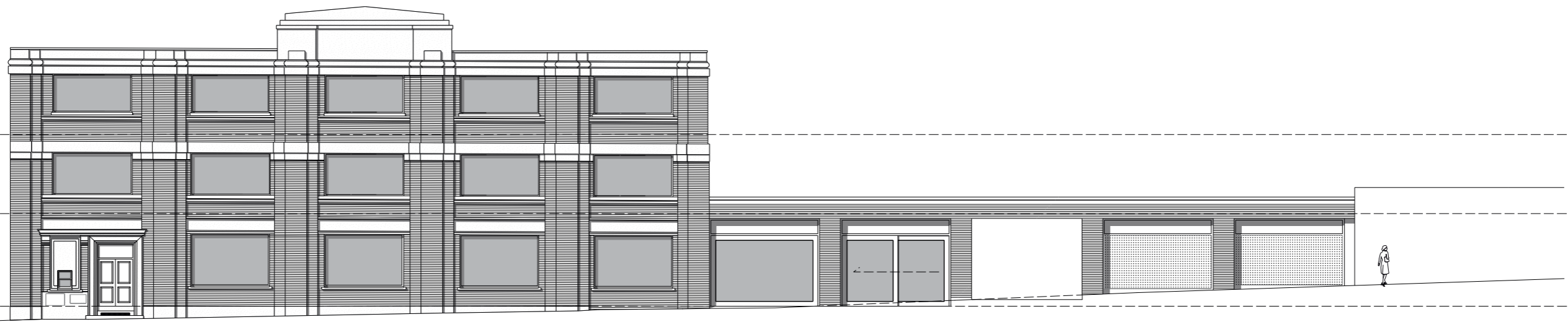
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FFL 17.71 AOD

15.00m ABOVE ORDNANCE DATUM

EAST ELEVATION



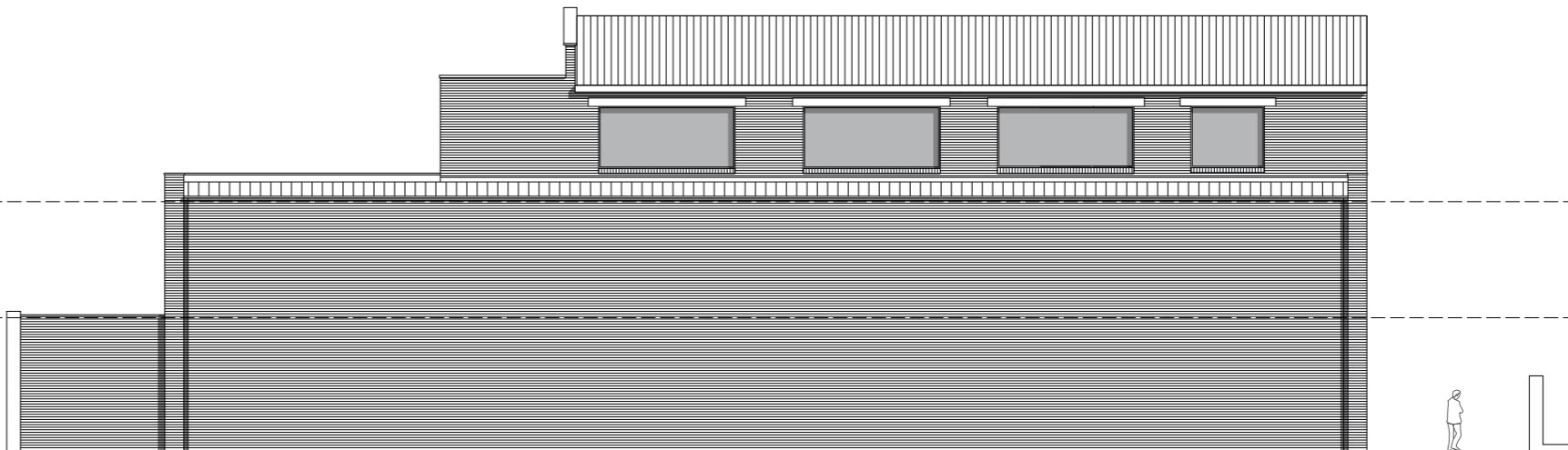
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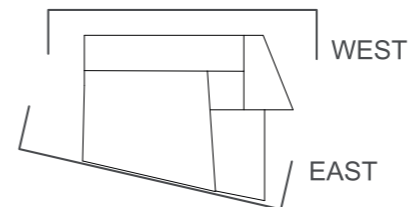
FFL 17.71 AOD

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WEST ELEVATION



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**APPLICATION FOR
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BRITISH POSTAL MUSEUM & ARCHIVE
 MOUNT PLEASANT, LONDON

Job/Drawing No
1625/P/200 Amendment
A

CALTHORPE HOUSE
 ELEVATIONS AS PROPOSED
 SHEET 1 of 2
 Do not scale

Scale 1:100 (1:200 @ A3)
 Date OCTOBER 2011
 Drawn STUDIO 8

All dimensions to be checked on site

Original printed at A1

FFL 25.05 AOD

FFL 21.67 AOD

FFL 17.71 AOD

15.00m ABOVE ORDNANCE DATUM

NORTH ELEVATION



FFL 25.05 AOD

FFL 21.67 AOD

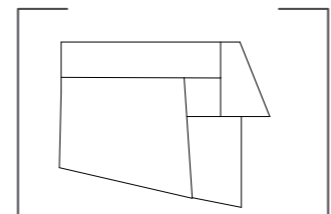
FFL 17.71 AOD

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SOUTH ELEVATION



SOUTH NORTH



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**APPLICATION FOR
FULL PLANNING CONSENT**

BRITISH POSTAL MUSEUM & ARCHIVE
MOUNT PLEASANT, LONDON
CALTHORPE HOUSE
ELEVATIONS AS PROPOSED
SHEET 2 of 2
Do not scale
Job/Drawing No
1625/P/201
Amendment
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Scale 1:100 (1:200 @ A3)
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