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Design & Access Statement
0915 Kidderpore Gardens

RCKa

Proposed Side Window,
9 Kidderpore Gardens, London NW3 7SS

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1.0 INTRODUCTION

This report covers the issues related to the enlargement and alteration of a side window to number 9 Kidderpore Gardens.

The property recieved planning approval for an enlarged lower ground floor and rear extension in July 2012 (application ref. 2010/3581/P). As part of these works, the interior of the property is being renewed and replanned.

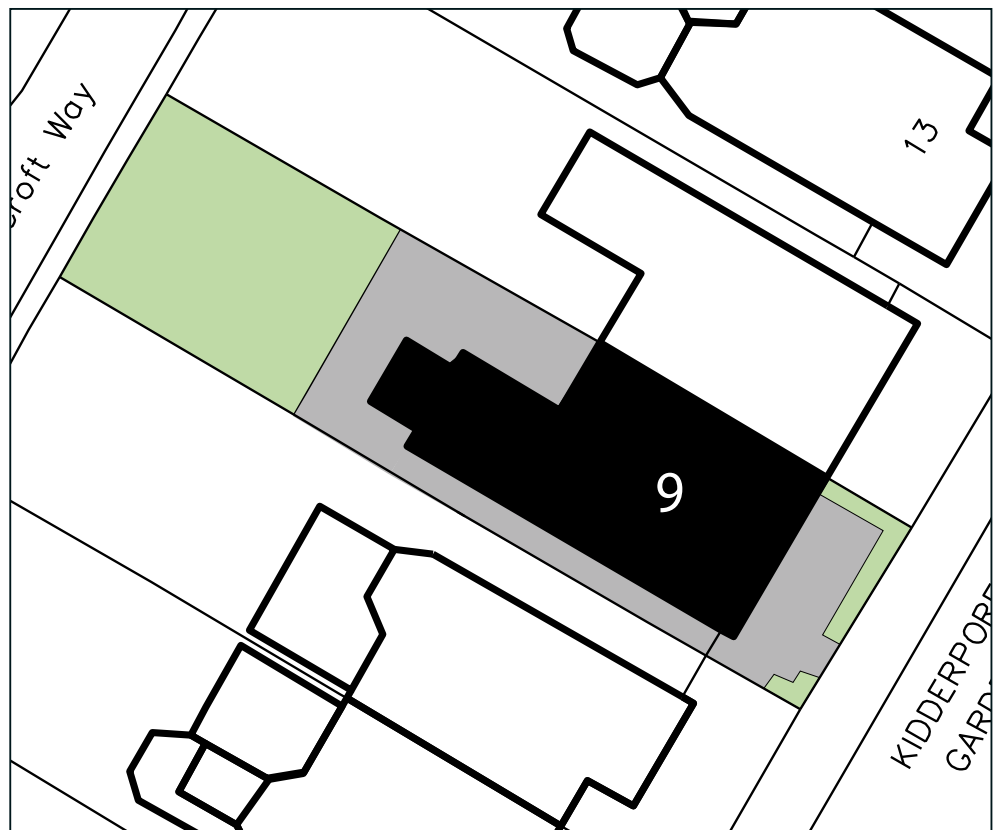
The proposal is to enlarge and alter the existing side window onto the internal stairs to accomodate a new, more efficient staircase. The proposed window respects the scale of existing windows and materials within the existing house and conservation area, and is an important aspect of the refurbishment of the property into a family home.

2.0 SITE ANALYSIS

The building is a semi-detached 3-storey house located in the Reddington & Frognal Conservation Area in the London Borough of Camden. No.9 is situated on the northern side of Kidderpore Gardens, which is within Camden's Conservation Area 20 in Sub-Area 5: Heath Drive and Environs.

The property has a north-west facing rear garden, which slopes upwards towards Croft Way, a small access road that bounds the site to the rear.

(Right)
9 Kidderpore Gardens
Garden coloured Green
Non-permeable paving Grey
House shaded Black



(Right)
Site location plan (Scale
1:1250) showing the site
boundary of existing
property outlined in red



(Right)
Aerial photograph - site
boundary highlighted





Front elevation and adjacent adjoining property



Front elevation and adjacent property



rear view of proposed/ as-built works



View of rear adjacent property No 7



View down side elevation

3.0 PROPOSAL

The proposal is to enlarge and replace the existing staircase window on the side elevation facing the neighbouring house at No7 Kidderpore Gardens. The new oriel window will project out from the building by just 200mm to allow for a new internal staircase between ground and first floor level.

The new window will be in materials to match the existing windows and dormers on the house with a timber frame to the glazing and lead facing to the larger frame projecting from the side wall. The fenestration on the glazing replicates the pane sizes of the window it will replace.

4.0 LOCAL STUDY

All of the houses along Kidderpore Gardens are characterised by large windows on the side elevations. This was to provide light into the centre of what are very large and deep-plan houses. The window onto the stairwell is particularly large on all of the houses along Kidderpore Gardens as shown in the photos below.

The window that would be replaced is particularly small and plain by the standards of the street. The proposed window respects the scale of the windows and the materials of the existing house but is an important aspect of the modernisation of the property to make it a suitable home for a modern family.



Existing side window of No 7 Kidderpore Gardens (adjacent to No 9)



Existing side window of No 13 Kidderpore gardens



Existing side window No 6 Kidderpore gardens



Existing side window No 17 Kidderpore gardens.

5.0 CONCLUSION

The new side window is an important part of the modernisation of the existing house which is currently inappropriate for the needs of a modern family. The new window will allow the space for a new stair layout that provides the main escape from the floors above.

The window has a minimal impact on the view from the highway but still respects the scale and materials of the existing windows and dormers of the house.