

KEY:

existing wall construction

I

O

existing steel structure - location to be confirmed on site following strip out

00

partition and lining type

DT.XX

door type

WT.XX

window type

ROOM KEY:

ceiling ht:	mm	
room		
FF	WF	CF
detail dwg:		

FF

floor finish [FX.YY]
FX: floor construction type
YY: floor finish type
refer to drawing 300

WF

wall finish
01: plastered and painted
02: 10mm porcelain tile finish
refer to drawings 310 - 313

CF

ceiling finish [FX.YY]
FX: ceiling construction type
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- 01: plastered and painted
- 02: boarded and taped only
- 03: hunter douglas techstyle system
refer to drawing 300

NOTE

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GENERAL NOTES

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All structural work is to be carried out in accordance with the struct. eng.'s details and spec.

D.

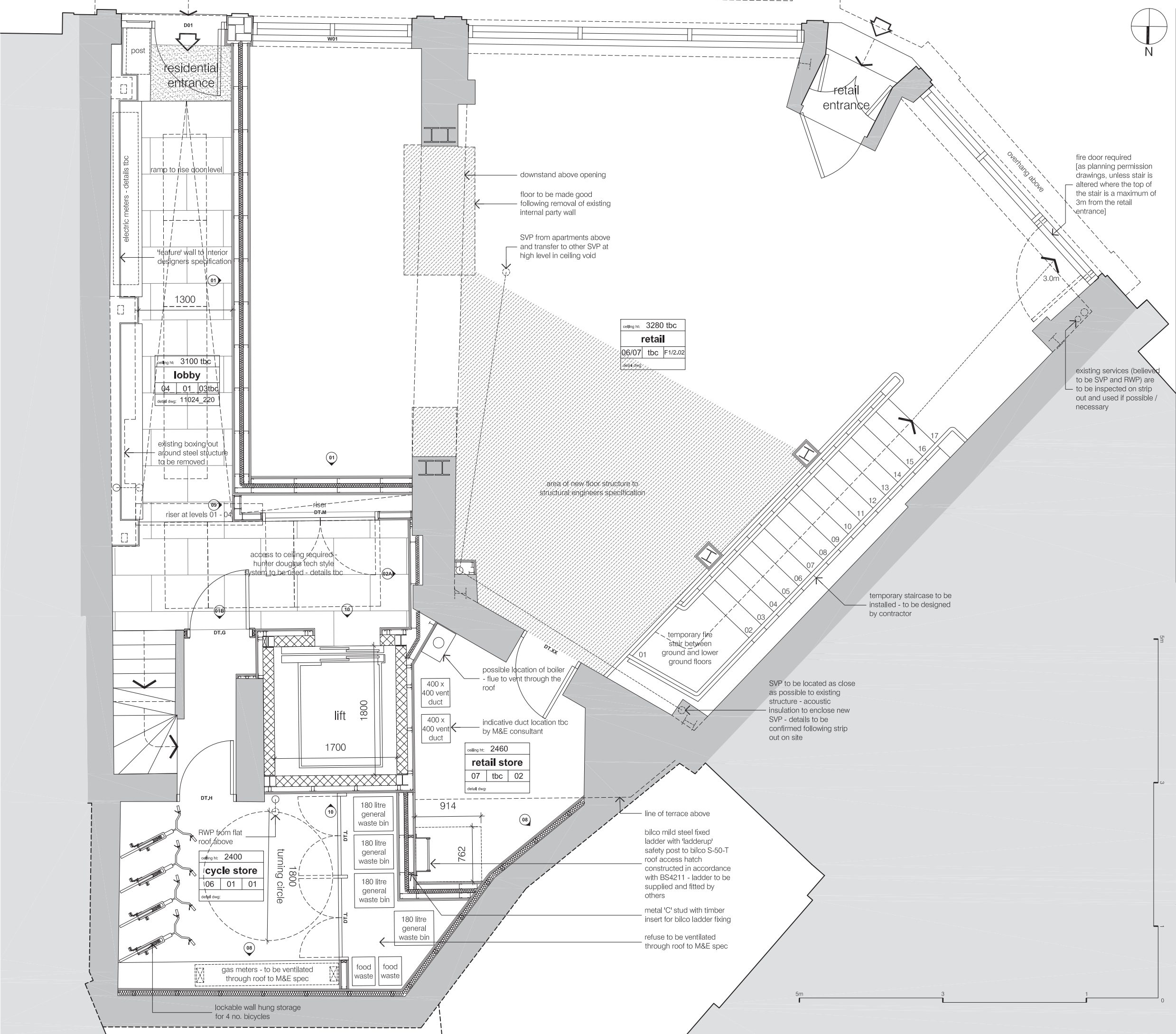
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E.

Allow for the protection of all finishes and fittings that are to be retained.

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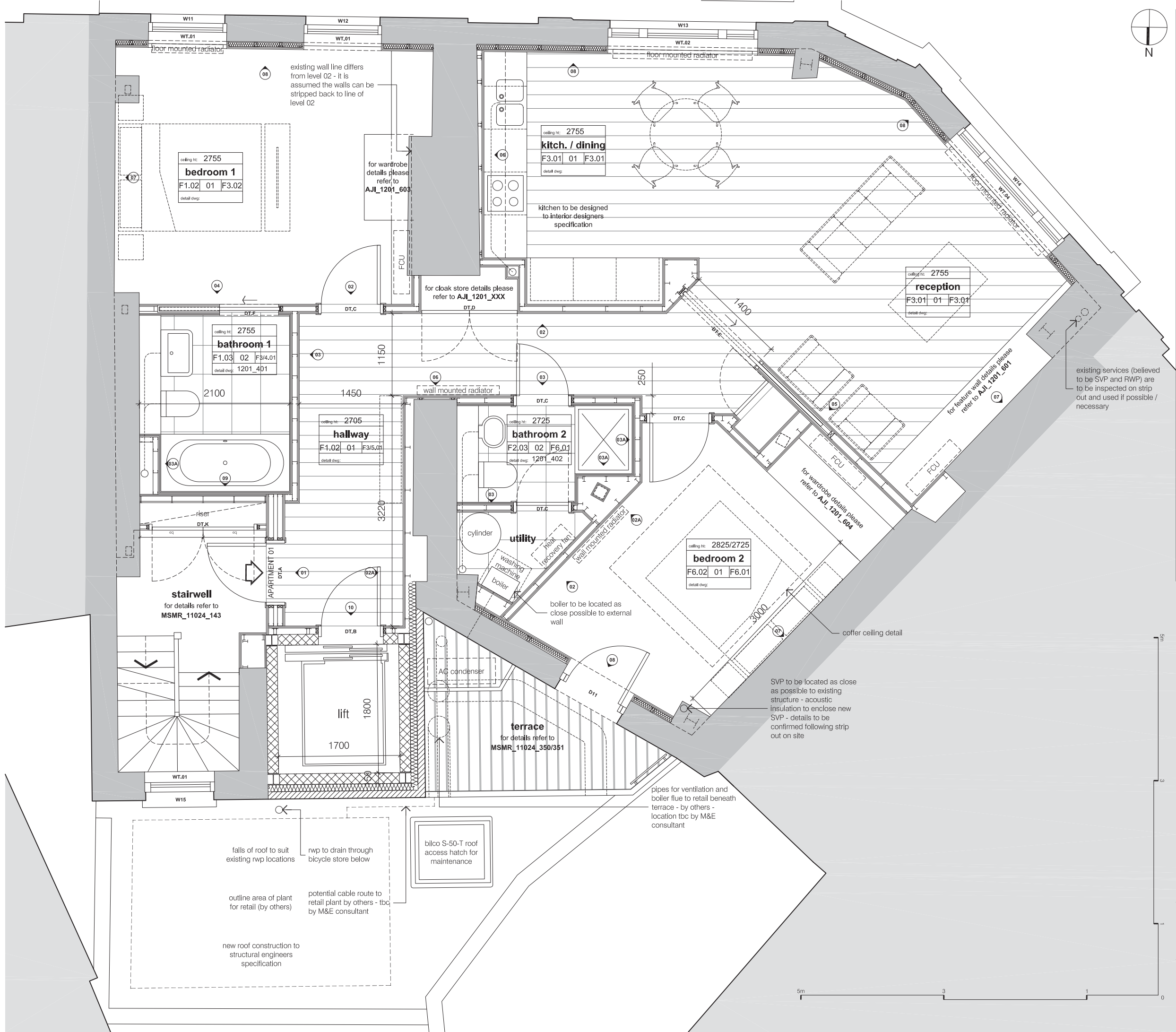
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-	14.05.12	ISSUED TO PLANNING	DB	SR	
rev	date	description	job no.	drawn	checked
dwg no.			11024		
			7 Upper St Martin's Lane		
			Proposed plan: level GF		
			1:50@A3		

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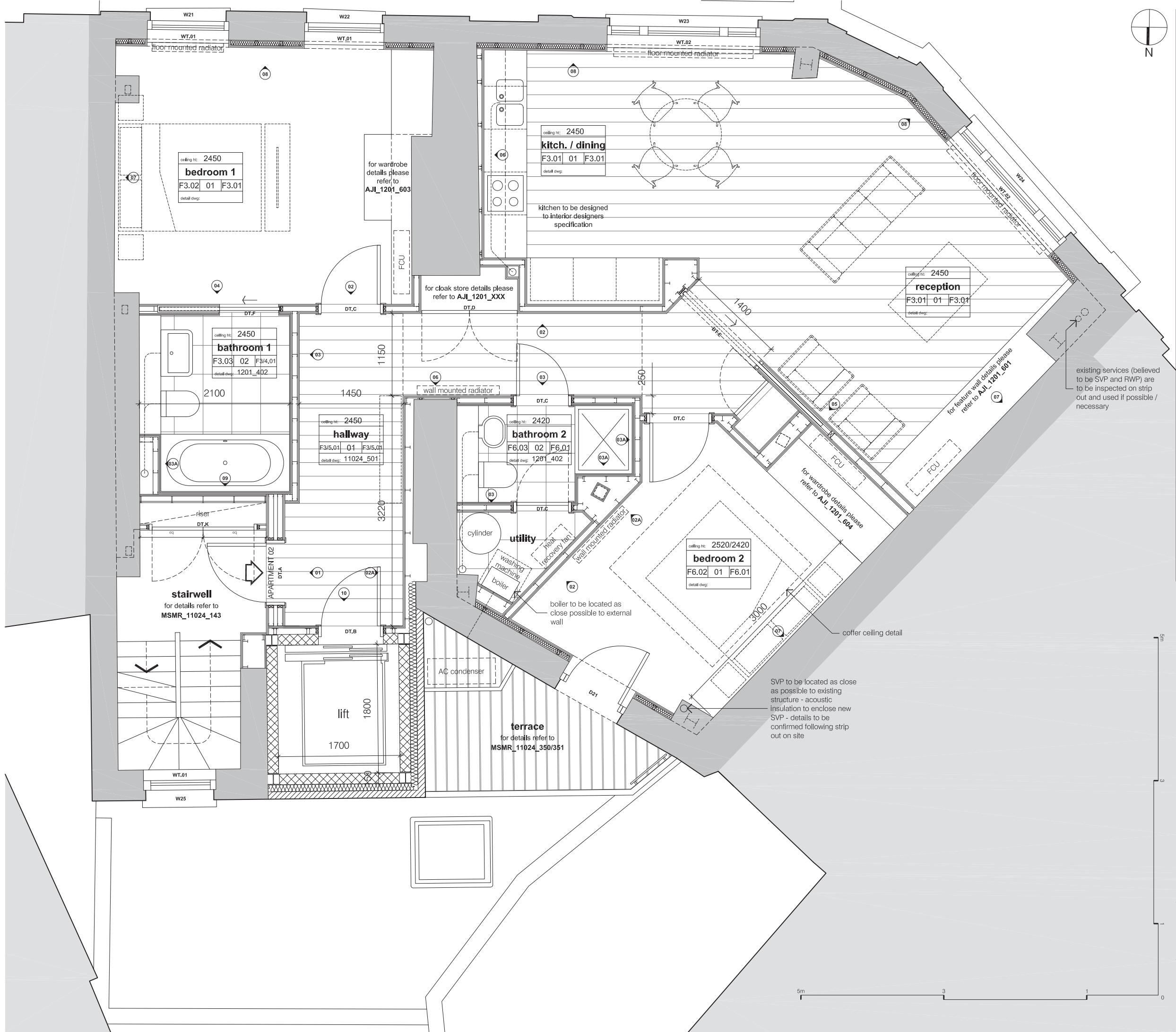
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-	14.05.12	ISSUED TO PLANNING	DB	SR
rev	date	description	job no.	drawn checked
dwg no.			11024	
121			7 Upper St Martin's Lane	
			Proposed plan: level 01	
			1:50@A3	



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ceiling ht:	mm
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FF	WF
CF	

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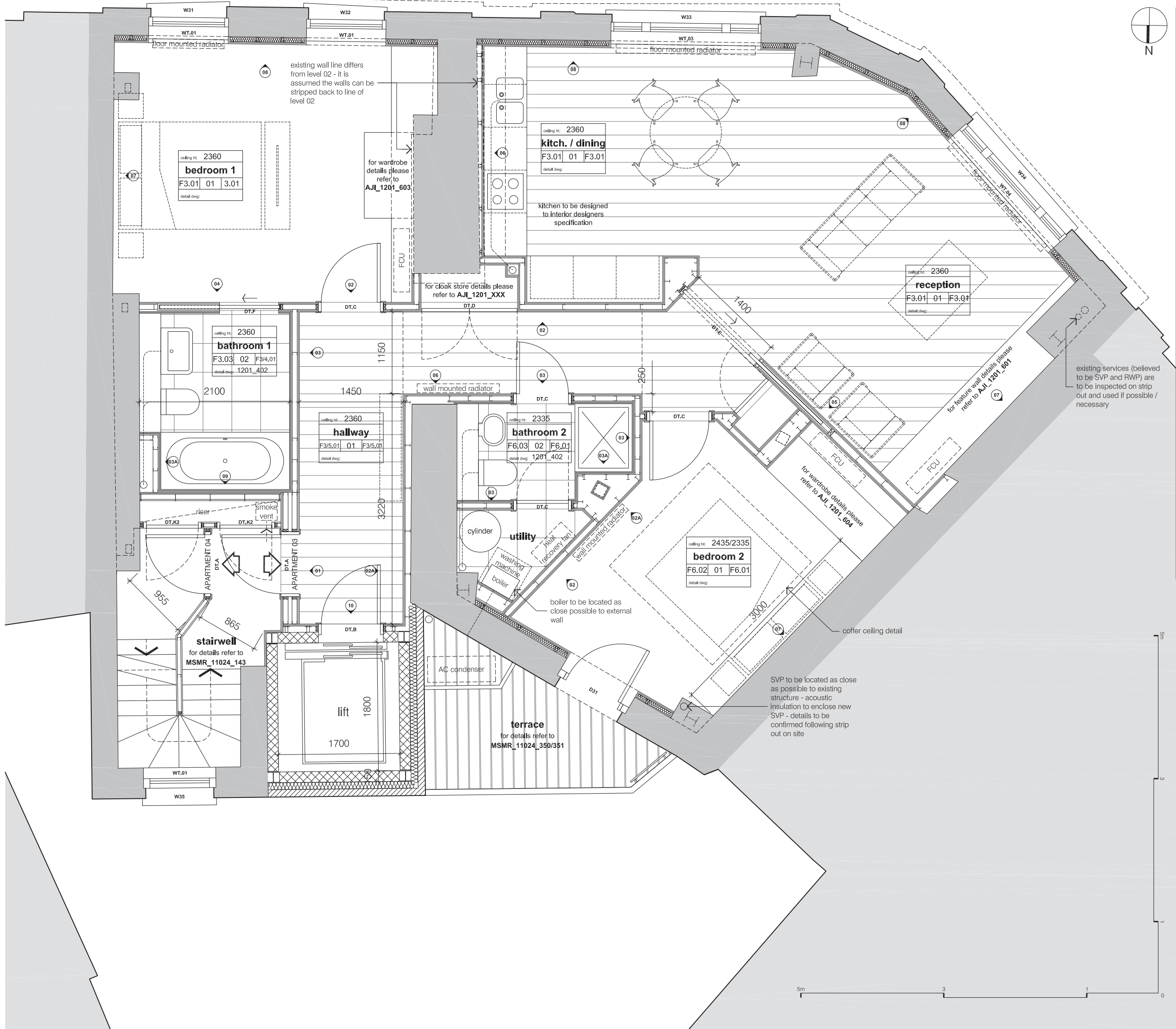
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rev	date	description	job no.	drawn	checked
-----	------	-------------	---------	-------	---------

11024
7 Upper St Martin's Lane
Proposed plan: level 02
1:50@A3





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ROOM KEY:

ceiling ht: mm

room

FF WF CF

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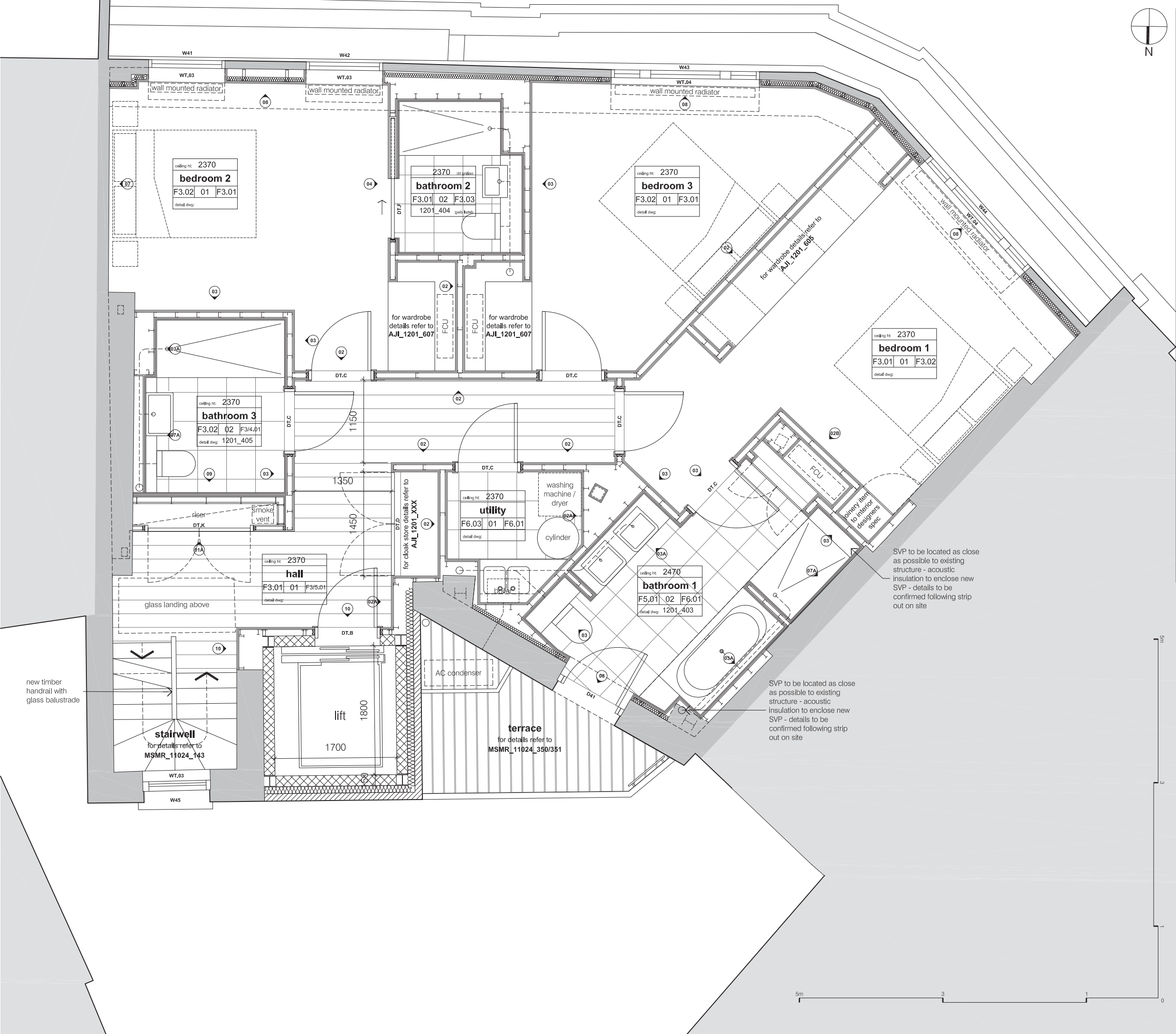
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-	14.05.12	ISSUED TO PLANNING	DB	SR
rev	date	description	job no.	drawn checked
dwg no.			11024	
123			7 Upper St Martin's Lane	
			Proposed plan: level 03	
			1:50@A3	



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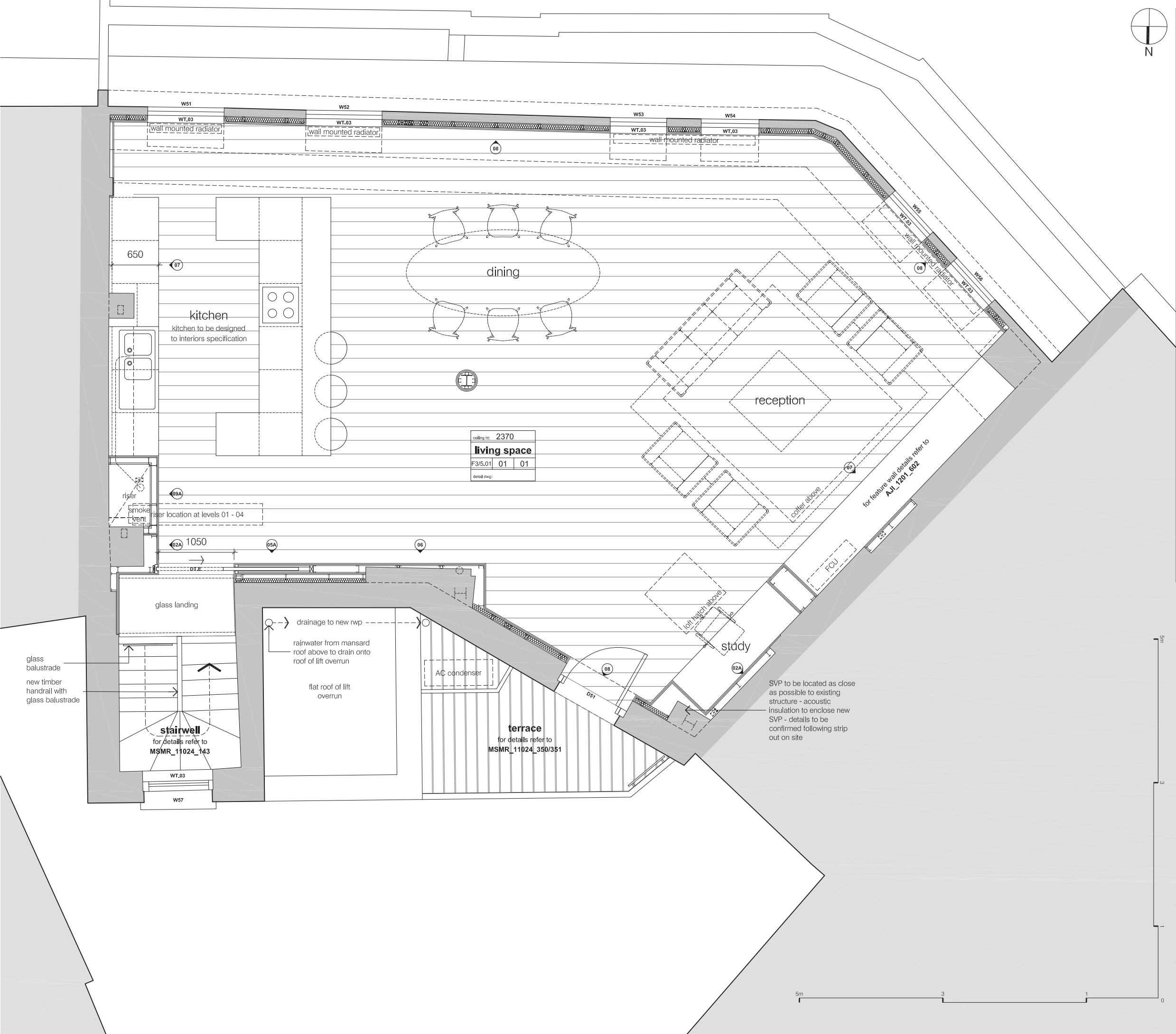
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rev	date	description	drawn	checked
dwg no.		job no. 11024		
124		7 Upper St Martin's Lane		
		Proposed plan: level 04		
		1:50@A3		



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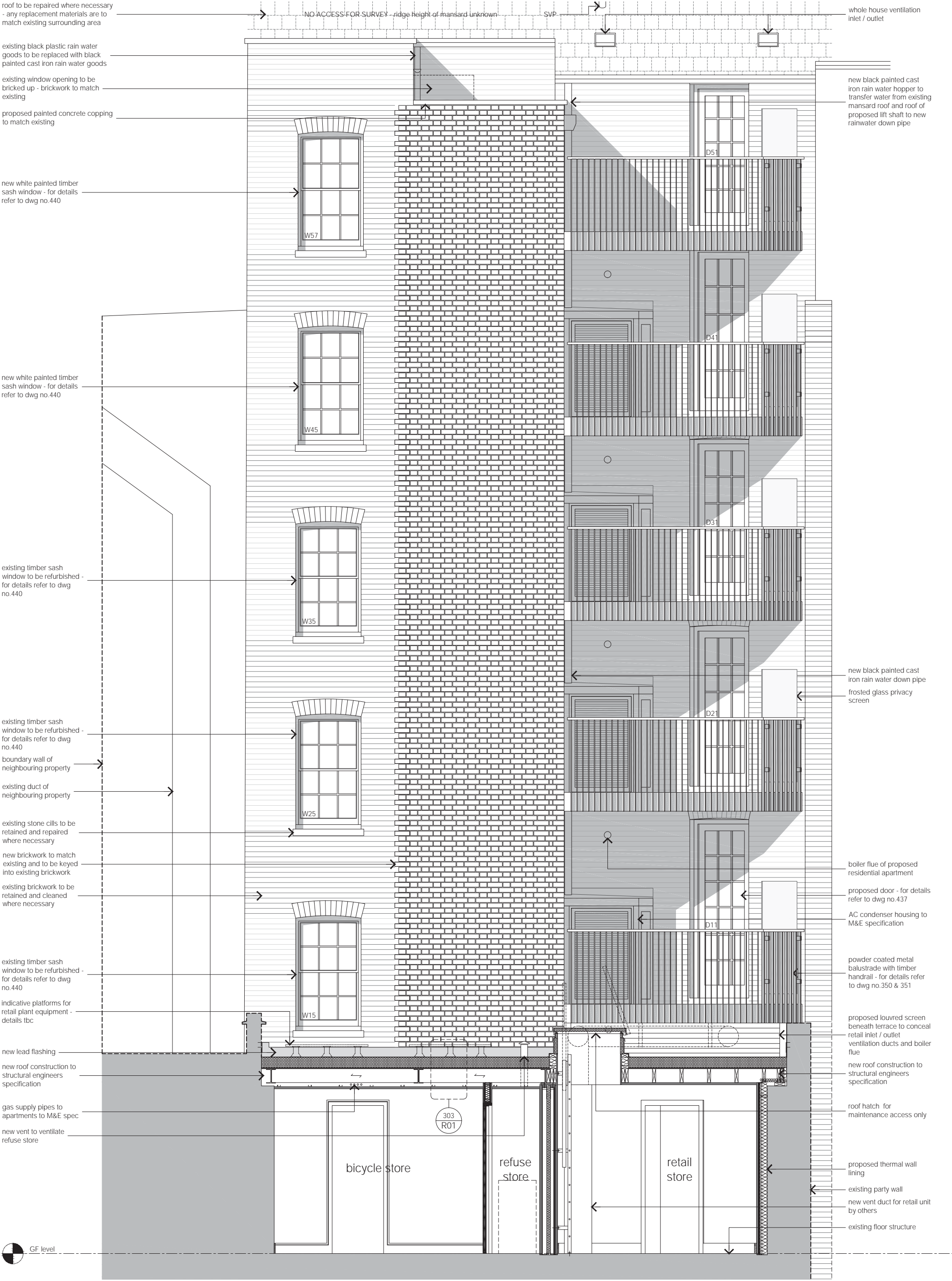
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rev	date	description	job no.	drawn checked
dwg no.			11024	
125			7 Upper St Martin's Lane	
			Proposed plan: level 05	
			1:50@A3	



roof to be repaired where necessary
- any replacement materials are to
match existing surrounding area

existing black plastic rain water
goods to be replaced with black
painted cast iron rain water goods

existing window opening to be
bricked up - brickwork to match
existing

proposed painted concrete coping
to match existing

new white painted timber
sash window - for details
refer to dwg no.440

new white painted timber
sash window - for details
refer to dwg no.440

existing timber sash
window to be refurbished -
for details refer to dwg
no.440

existing timber sash
window to be refurbished -
for details refer to dwg
no.440

boundary wall of
neighbouring property

existing duct of
neighbouring property

existing stone cills to be
retained and repaired
where necessary

new brickwork to match
existing and to be keyed
into existing brickwork

existing brickwork to be
retained and cleaned
where necessary

existing timber sash
window to be refurbished -
for details refer to dwg
no.440

indicative platforms for
retail plant equipment -
details tbc

new lead flashing

new roof construction to
structural engineers
specification

gas supply pipes to
apartments to M&E spec

new vent to ventilate
refuse store

GF level

NO ACCESS FOR SURVEY - ridge height of mansard unknown

SVP

whole house ventilation
inlet / outlet

new black painted cast
iron rain water hopper to
transfer water from existing
mansard roof and roof of
proposed lift shaft to new
rainwater down pipe

new black painted cast
iron rain water down pipe
frosted glass privacy
screen

boiler flue of proposed
residential apartment

proposed door - for details
refer to dwg no.437

AC condenser housing to
M&E specification

powder coated metal
balustrade with timber
handrail - for details refer
to dwg no.350 & 351

proposed louvred screen
beneath terrace to conceal
retail inlet / outlet
ventilation ducts and boiler
flue

new roof construction to
structural engineers
specification

roof hatch for
maintenance access only

proposed thermal wall
lining

existing party wall
new vent duct for retail unit
by others

existing floor structure

dwg no.

job no.

11024

7 Upper St Martins Lane

183

Proposed elevation: Rear

1:50 @ A3

14.05.12 ISSUED TO PLANNING

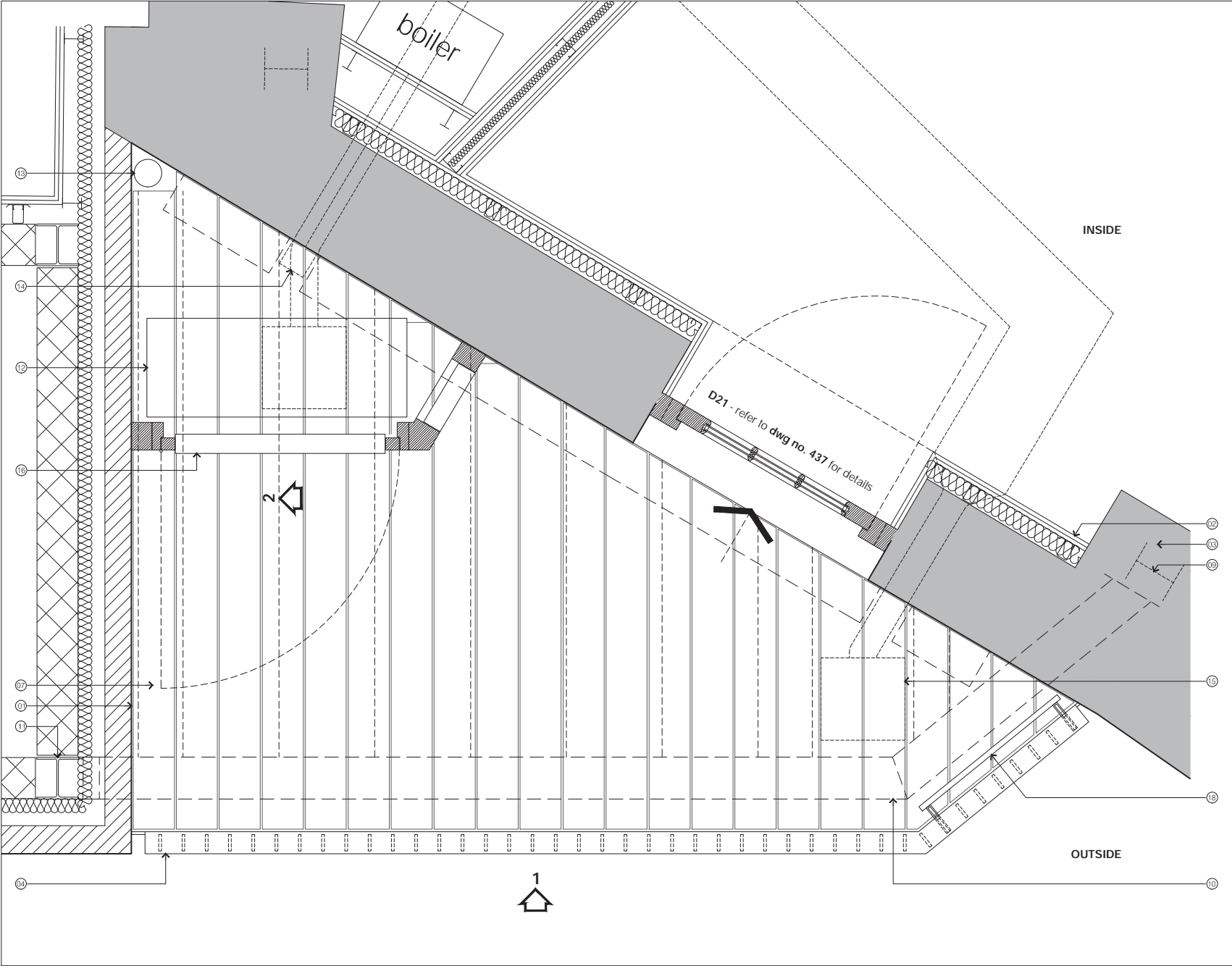
DB SR

rev date description

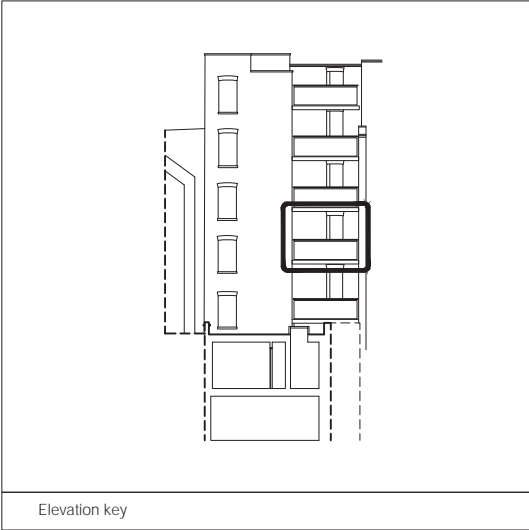
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TYPICAL TERRACE: plan



Elevation key

01. New brickwork of lift shaft to match existing
02. Proposed thermal wall lining
03. Existing brickwork to be retained and cleaned in accordance with spec clause xx/yyy - mortar joints / pointing to be inspected and repairs assessed when access permits - any necessary re-pointing and repairs are to be carried in accordance with spec clause (xx/yyy)
04. Timber handrail of new balustrade
05. Proposed powder coated metal balustrade
06. Powder coated metal fascia of new terrace
07. Open jointed hardwood timber decking of proposed terrace
08. Open jointed hardwood timber lining to soffit
09. Existing steel structure
10. New structure to structural engineers specification
11. Steel structure of proposed lift shaft to engineers specification
12. AC condenser to M&E specification
13. New black painted cast iron rainwater down pipe
14. New boiler flue
15. Inlet/outlet vents for the whole house ventilation system in soffit
16. Naturally ventilated timber louvred housing to conceal AC condenser to M&E spec
17. Single ply membrane
18. Frosted glass privacy screen

Key



IMAGE: existing balconies for plant equipment



IMAGE: location for new terraces

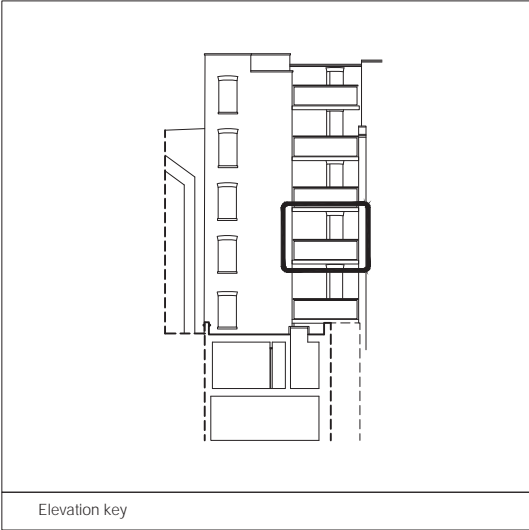
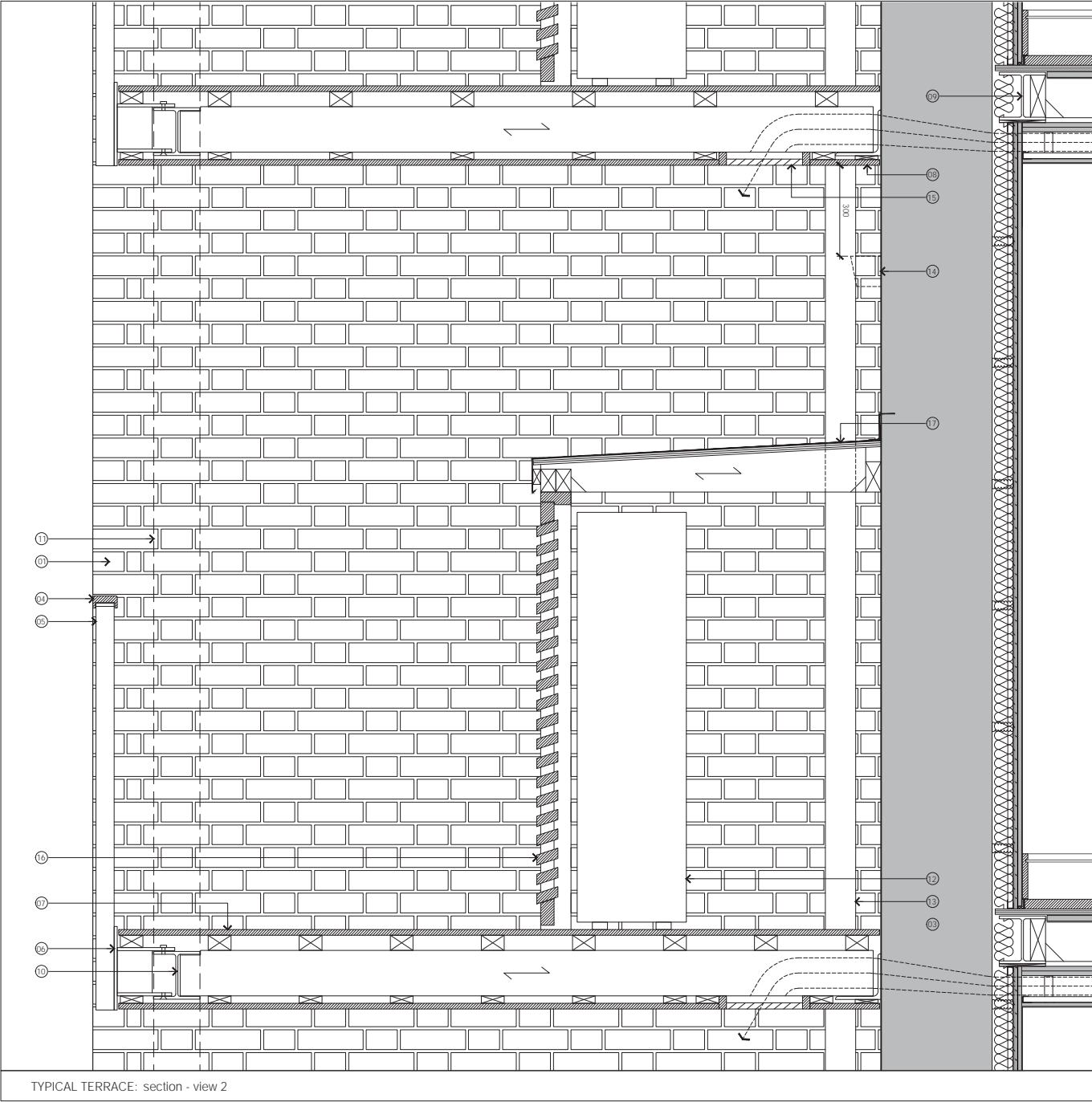
-	14.05.12	ISSUED TO PLANNING
rev	date	description

DB	SR
drawn	checked

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dwg no. 350 job no. 11024
7 Upper St Martins Lane
Terrace details: plan & existing photographs
1:10 @ A1



01. New brickwork of lift shaft to match existing
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BRICK SAMPLE - ibstock: Funton old chelsea yellow



CASE STUDY - ibstock: Funton old chelsea yellow - a completed project utilising the brick

-	14.05.12	ISSUED TO PLANNING
rev	date	description

DB	
drawn	checked

diag no.	job no.
600	11024
	7 Upper St Martins Lane
	Brick sample
	nts

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