

## Design and Access Statement:

Alterations and Extension to Family Dwelling:  
The Coach House, 102 Haverstock Hill, London NW3 2BD

Document Ref: 144-D01-120807- D&A Statement  
August 2012



Fig. 1 Front Elevation. Image Copyright Google Streetview.

## Project Details:

### Site Address:

The Coach House, 102 Haverstock Hill, London NW3 2BD

### Applicant:

Mr & Mrs Duffy  
Garden Flat,  
28 Fellows Road,  
London  
NW3 3LH

### Agent:

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This document is to be read in conjunction with the following drawings and documents submitted as part of the application.

### MSA Drawings:

P144-100	Location Plan	1:1250	A3
P144-101	Existing Site Plan	1:100	A1
P144-111	Proposed Site Plan	1:100	A1
P144-200	Existing Ground Floor Plan	1:50	A1
P144-201	Existing First Floor Plan	1:50	A1
P144-202	Existing Second Floor Plan	1:50	A1
P144-203	Existing Roof Plan	1:50	A1
P144-210	Proposed Ground Floor Plan	1:50	A1
P144-211	Proposed First Floor Plan	1:50	A1
P144-300	Existing Section XX	1:50	A1
P144-310	Proposed Section AA	1:50	A1
P144-400	Existing Front Elevation	1:50	A1
P144-401	Existing Rear Elevation and Section YY	1:50	A1
P144-410	Proposed Front Elevation	1:50	A1
P144-411	Proposed Rear Elevation and Section BB	1:50	A1

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## 1.0 Introduction

This Design and Access Statement sets out details of proposed alterations to The Coach House, 102 Haverstock Hill, London NW3 2BD.

The submission proposes changes to the internal configuration, demolition of existing ground floor projection and construction of a new ground floor extension and minor alteration to the front door, ground floor fenestration and first floor balcony railings

The building is a 3 storey dwelling house constructed in 1991.

The format of the report is in line with suggested structure set out by the Design Council-CABE in their document: Design and Access Statements: How to write read and use them (first published in 2006).

## 2.0 The Design Process

### Assessment

- The Site and Context



Fig. 2 Aerial view of site- Building highlighted in red circle. Copyright Google Maps. Not to Scale.

Located on the north side of Haverstock Hill, The Coach House No102 Haverstock Hill was built in 1991 on a plot of land which was originally a part of the adjoining property 102 Haverstock Hill, a semi-detached Victorian property. The building is rendered brick to the front elevation and new London stock brick with a pitched slate roof and a flat roof ground floor projection at the rear.

The property lies within the Park Hill Conservation Area.





At the rear of the property the house sits sandwiched between the flank party walls. The first and second floors are set to line though with the adjacent dwelling to the north. At the ground floor level the footprint extends further out and remains flanked between the adjacent gardens walls.

The rear lower ground floor gives on to a low level patio with steps up to the raised garden area beyond.



Fig. 5 Rear Elevation

- Social and Economic

The area is mostly residential properties. There is a parade of shops opposite the building and it is a short distance from the larger facilities provided in Belsize Park and Chalk farm.

- Sustainable Development

The continued use of the buildings as a residential property represents a sustainable use. The building is located within a sustainable location with public transport routes in close proximity.

The new built elements will be more energy and thermally efficient and fully compliant with building regulations.

- Planning Policy

We have reviewed local and national policy and we believe that we have developed a sensitive design that, within the constraints of the site, is compliant with local authority design guidance set out in CPG1 (Camden Planning Guidance-Design)

### Involvement

- People and parties consulted

Given the size and nature of the project there has been no formal public consultation. We have however spoken with the previous owners so as to understand the complexities of the context.

- Professional Team

Design professionals including MSA as architect, Party Wall services (Dixon Payne) and Planning Consultants (Assent Building Control) have been employed to review the site context and develop design proposals that have been developed within planning policy guidance.

Further to this the design team has the input of a fully qualified structural engineer.



### 3. Design

#### Introduction

The scheme will moderately increase the habitable area within the property and change the internal layout to make better use of the house and amenity.

The front of the ground floor will have minor modifications to provide a lobby entrance suitable for a family dwelling and reduce heat loss. The first floor projecting balcony will be reduced in depth so that it is consistent across the façade with minor alterations to the arrangement of the balustrade.

The current ground floor rear projection will be demolished to allow the construction of a new more suitable element. The proposal will extend an additional 1m and raise the roof level to 3.2m allowing for a more generous floor to ceiling height. The current ceiling height is below recommended minimum guidance at 2.3m. The introduction of a larger roof light will allow great natural lighting to the rear of the existing ground floor space.

Some of the internal walls will be altered to improve the internal occupancy, but these are not statutory planning matters.

#### Use

- Justification of land use policy

The use of land will continue as existing.

- Explanation of use

The use of the property The Coach House No.102 is a single family dwelling house.

Ground Floor: The existing entrance to the property which is set in the building will be removed and a new entrance will be made on the front to create an entrance lobby. The existing kitchen will be divided into a lobby and utility room. New openings will be made in the existing kitchen wall, one open into the lobby and a second opening with a door into the utility room. A new door will be created to separate the entrance lobby from the Hall. Part of the walls for the hall store room will be removed and a new partition created to make the store only accessible from the utility room. The hall doors leading to the living space will be changed into a single sliding door.

The existing ground floor projection will be demolished and a new projection will be constructed. This projection will extend the ground floor by 1m. It will be a flat roof construction with a new skylight window covering one half of the roof. The patio will be reached through a 4 panel folding door. The use of the extension will be split between a kitchen/dining room in the new construction and a sitting room in the existing space.

First Floor: The balcony on the front of the property will be reduced in depth with respective alterations to the balustrading in a similar style to existing. The wall separating the two WC will be removed and a new wall constructed to give a greater sized en-suite bathroom for Bedroom 01 and a reduced size en-suite for the snug/study.

Second Floor: There are no alterations to the second floor.

Roof: There are no alterations to the upper level roof.

### Amount of Development

- Planned development in response to site constraints

The planned development works to have minimal impact on the neighbouring properties. The ground floor alterations at the front of the property are below the street level and partially hidden behind a retaining wall. The proposed front elevation balcony will create a more homogeneous aesthetic to the building without increasing sight intrusion into neighbouring properties.

The alterations to the rear of the property will require that the party wall between the proposal and No.102 to be raised locally (adjacent to the new extension) from the existing lower level to the existing higher level, and will be contained within the existing retaining party walls. There will be no access created onto the flat roof of the protrusion and therefore no intrusion into neighbouring properties or any loss of privacy.

- Floor areas

The site area as defined by the red line boundary in Fig. 3 is circa 338 m<sup>2</sup>, or 0.0338 hectares, plus an additional area at the front of the property which is a shared driveway with No.102 Haverstock Hill.

The Coach House, 102  
Haverstock Hill

Floor	Existing Area	Proposed Area	Net Loss/ Gain
Ground Floor	80.9 m <sup>2</sup>	87.1 m <sup>2</sup>	+6.2 m <sup>2</sup>
First Floor	55.1 m <sup>2</sup>	55.1 m <sup>2</sup>	0
Second Floor	53.9 m <sup>2</sup>	53.9 m <sup>2</sup>	0
Total	189.9 m <sup>2</sup>	196.1 m <sup>2</sup>	+6.2 m <sup>2</sup>

- Occupancy

The proposed development will not change the occupancy from the existing. There are 3 available bedrooms plus an additional space for a guest bed within the study.

### Site Layout

- Position and Orientation

The house is orientated front to back on a south-west, north-east axis. The house, garden and all habitable rooms will benefit from acceptable levels of daylight. The new arrangements will in no way adversely affect the neighbouring properties from an overlooking or daylight perspective as that are set within the flank walls.

- Safer places

The site provides good safety in terms of access. The site is well set back from the road and clearly delineated from the pavement and road beyond.

Security of the house will generally be unchanged.

### Scale

- Relationship to existing buildings and context

The front elevation of the property as seen from the street will not be increased in scale.

The rear protrusion on the ground floor will be slightly increased in depth; this will be contained within the flanking walls and therefore will have no adverse impact on any surrounding dwellings.

- Building Volume and Massing

The rear protrusion will be increased in length by 1m and raised to a height of 3.2m allowing the internal rear habitable space to comply with current guidance.

- Character and detail

The character and detail of the property will be maintained and the materials either the same or in keeping with the existing and conservation area.

### Landscaping

- Supporting safe, useful and environmentally responsible environments

The proposed alterations intend to create an open flowing use between the inside kitchen diner and the patio space within the rear garden. There is no planned loss of any green space within the property.

Landscaping to the front of the property will remain unaltered and the shared forecourt will provide a useful distance buffer to the main street.

### Appearance

- Design rationale

The design rationale is to increase the habitability of the property through opening up the internal spaces and increasing the amount of natural light.

- Materials

The proposed external materials will all be in keeping with the existing appearance of the building. The front elevation will continue to be painted render. The new external window and door will be painted timber. The proposed ground floor rear extension will be painted render. The upper parts of the rear elevation will be maintained as existing as will the roof materials. The new rear patio doors will be painted aluminium frames and double glazed with a painted rendered surround.

### Environmental

- Environmental quality and Sustainability

New elements of the proposal will be fully compliant with building regulations and the house will have an overall improvement in terms of its environmental standard. The property will improve natural day-lighting and ventilation to the key habitable rooms.

The external soft landscaping and garden will not be adversely affected by the design changes in any way.

## 4. Design

### Site Access

- Design considerations and responses

Access to the site and within the building has had to be considered within the constraints of the existing building.

We propose vehicular access to match the existing forecourt arrangement that will allow for off-street parking for up to two cars.

Pedestrian and disabled wheelchair access remains as per existing.

- Visibility and Entrances

Vehicle and pedestrian visibility and access will remain unchanged.

- Public and Private Spaces

The current arrangement will remain unchanged. The site boundary is clearly defined to the street frontage with the public pedestrian highway by means of a brick wall. The access to the forecourt is without a gate and as such the forecourt remains non-defensible private space that any member of the public can access.

There is no public access to the rear of the site other than from within the house and the rear garden is securely protected by means of the high brick perimeter wall.

- Disabled access

Within the constraints of the existing listed building we will be endeavouring to make sure access requirements are compliant with building regulations. The overall provision will be maintained or improved.

- Means of escape.

The means of escape will comply with the building regulations.

- Emergency services

Emergency services and provision will be maintained as existing

- Waste

Waste disposal areas will remain as existing, with accessible bin storage to the front of the property.



## Transport and Parking

- Assessment and impact

The site is located in an area that is highly accessible to public transport and it is anticipated that this will facilitate good access to and from the site within the broader context.

- Controlled parking.

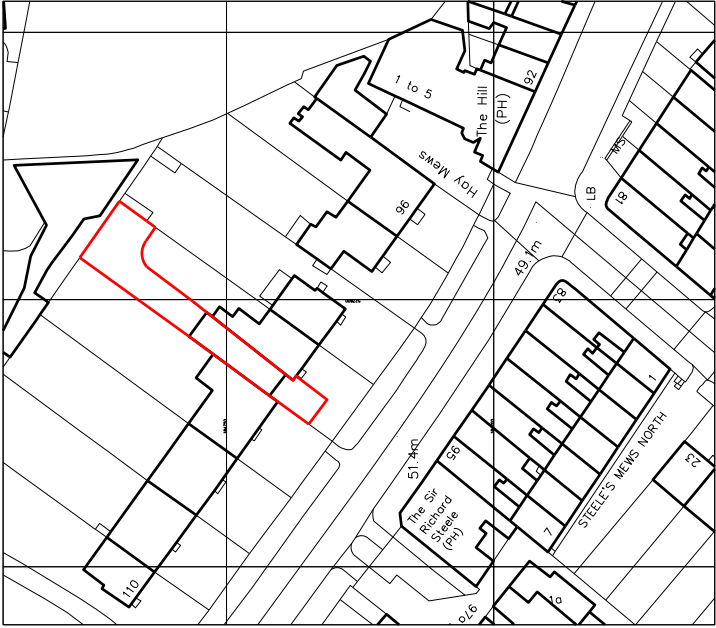
The site benefits from existing forecourt arrangement that will allow for off-street parking shared for up to two cars. This forecourt is shared with No.102.

- Pedestrian and cycle access

The pedestrian and cycle access will remain as existing.

## 5. Appendix

- Reduced copy of Submitted MSA Drawings:



01: LOCATION PLAN  
SCALE 1:1250

REV.	DATE	REASON FOR ISSUE	CHK. BY

NOTE:  
- DO NOT SCALE FROM THIS DRAWING.  
- USED FIGURED DIMENSIONS ONLY.  
- ALL DIMENSIONS TO BE CHECKED ON-SITE.  
- ANY DISCREPANCIES BETWEEN CONSULTANT DRAWINGS TO BE REPORTED TO THE ARCHITECT BEFORE ANY WORK COMMENCES.  
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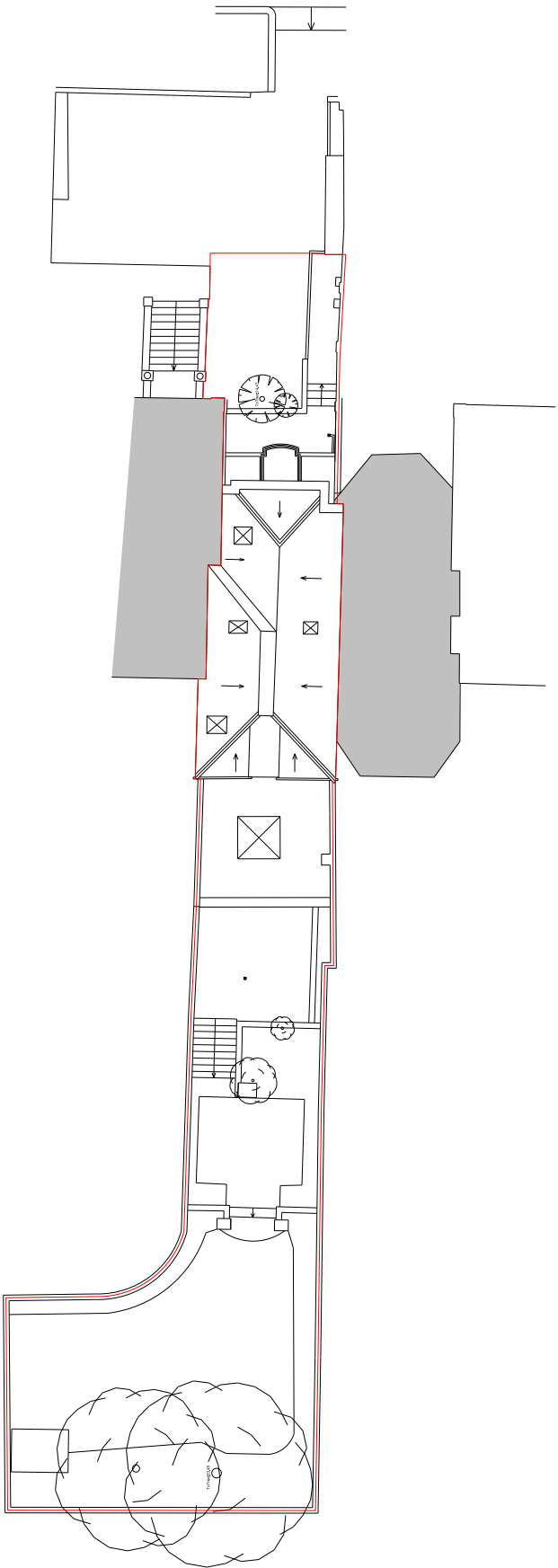
**MSA**  
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CLIENT  
**MR AND MRS DUFFY**

PROJECT  
**102 HAVERSTOCK HILL**

TITLE  
**LOCATION PLAN**

DATE	JOB NO.	DRAWN BY	PURPOSE
02.08.12	144	AT	I
SCALE @ 1:1250	NUMBER	REV.	
1:1250	144-100	--	



01: EXISTING SITE PLAN  
SCALE 1:100



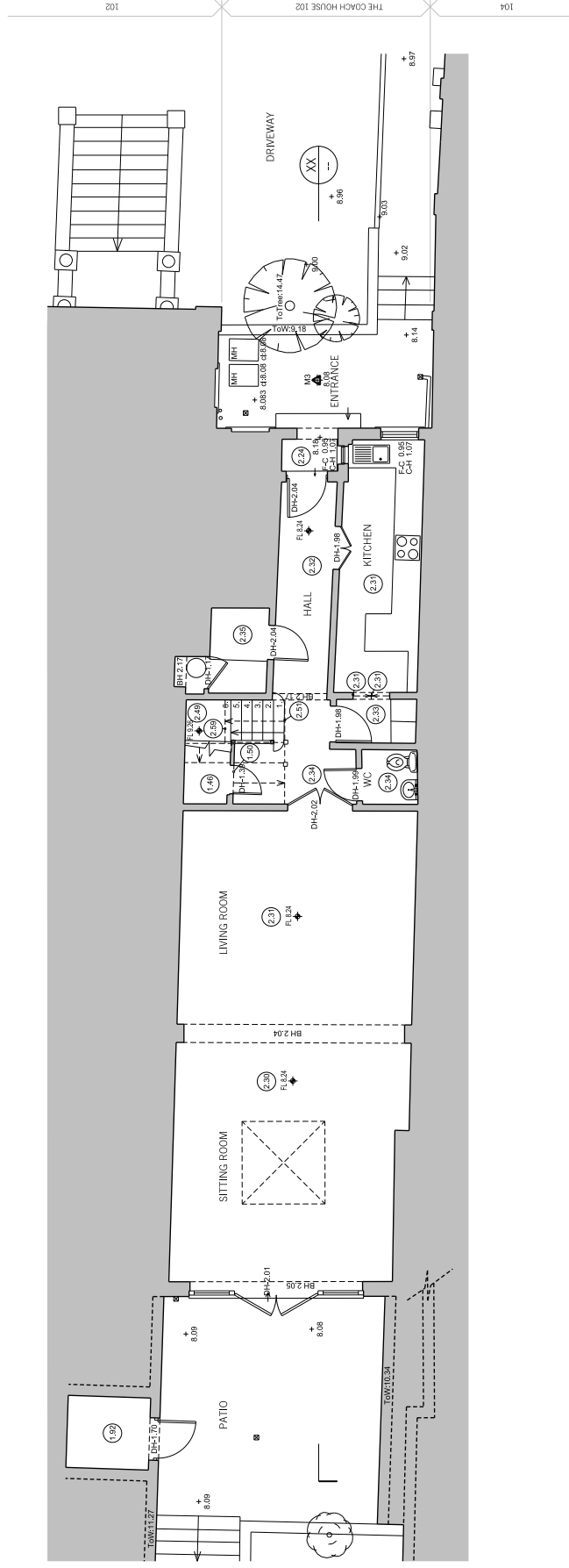
REV.	DATE	REASON FOR REVISION	DRAWN BY	CHECKED BY
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NOTE:  
- THIS PLAN IS NOT TO SCALE FROM THIS DRAWING.  
- ALL DIMENSIONS TO BE CHECKED ON-SITE.  
- ANY DISCREPANCIES BETWEEN THIS PLAN AND THE FIELD SURVEY SHALL BE REPORTED TO THE ARCHITECT BEFORE ANY WORK COMMENCES.  
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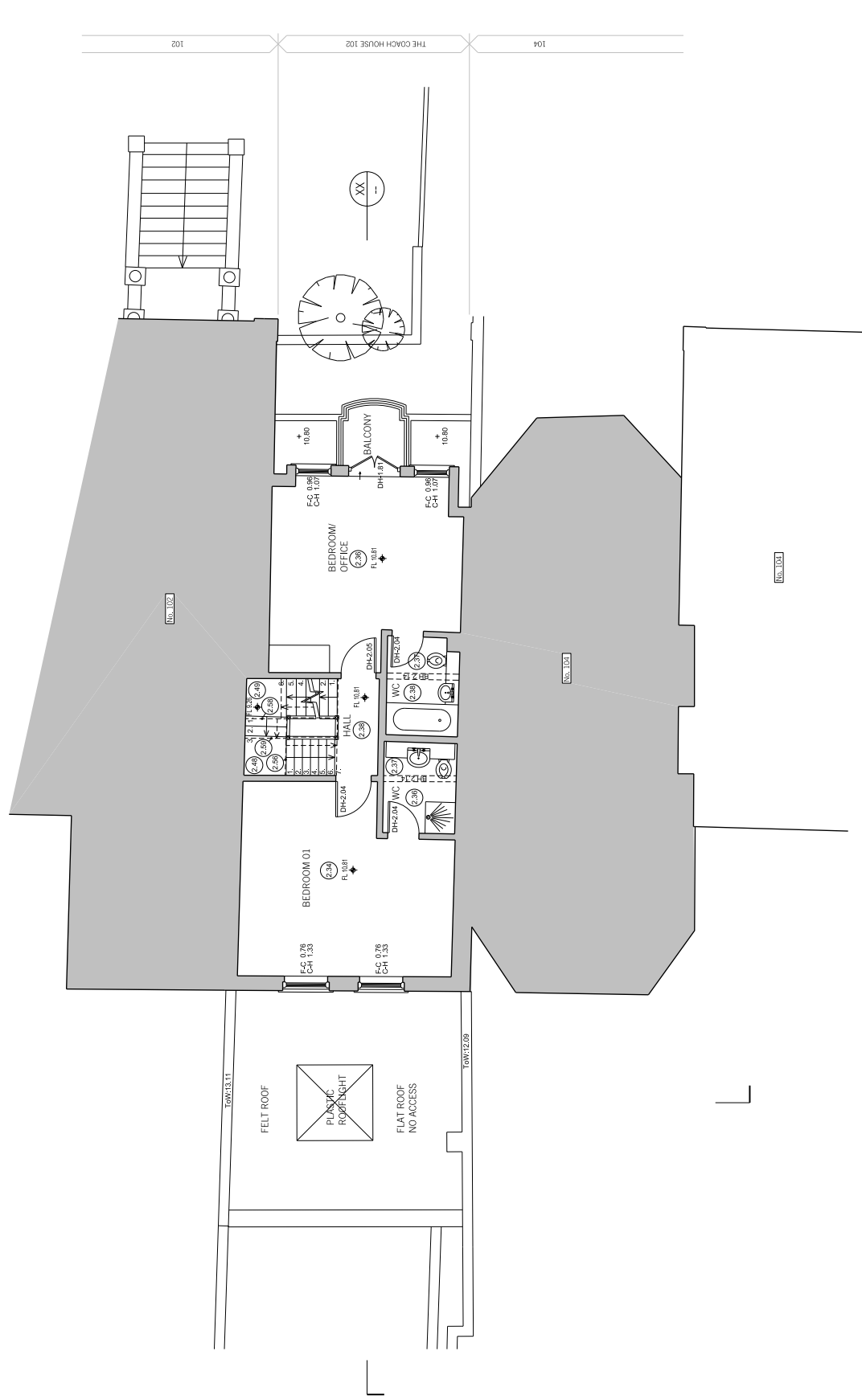
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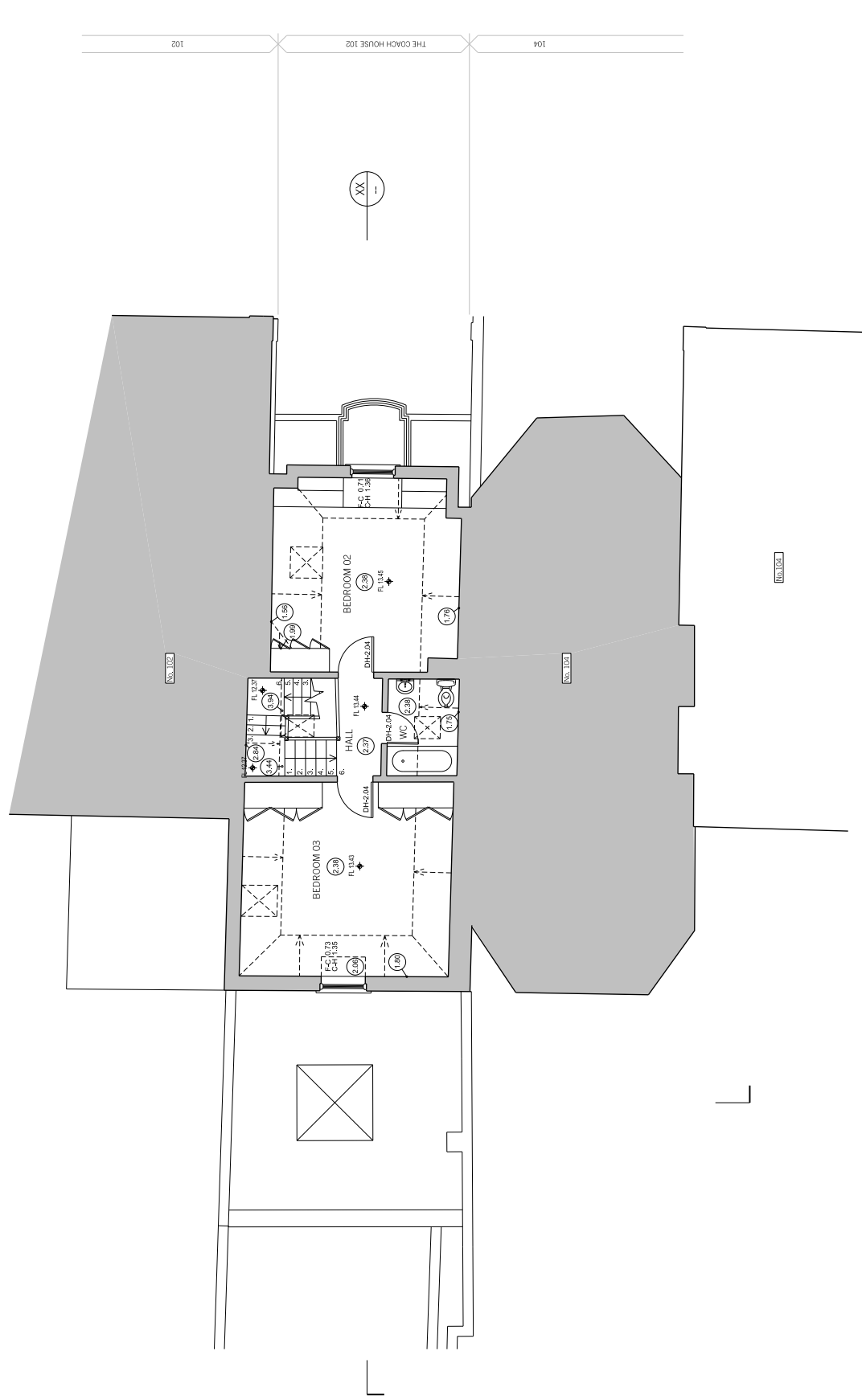
GENERAL ARRANGEMENT:  
EXISTING GROUND  
FLOOR PLAN

DATE	30.07.12	JOB NO.	144	DRAWN BY	AT	PURPOSE	I
SCALE @ A1	1:50	NUMBER	144-200	REV.	-		

01: EXISTING GROUND FLOOR PLAN  
SCALE 1:50



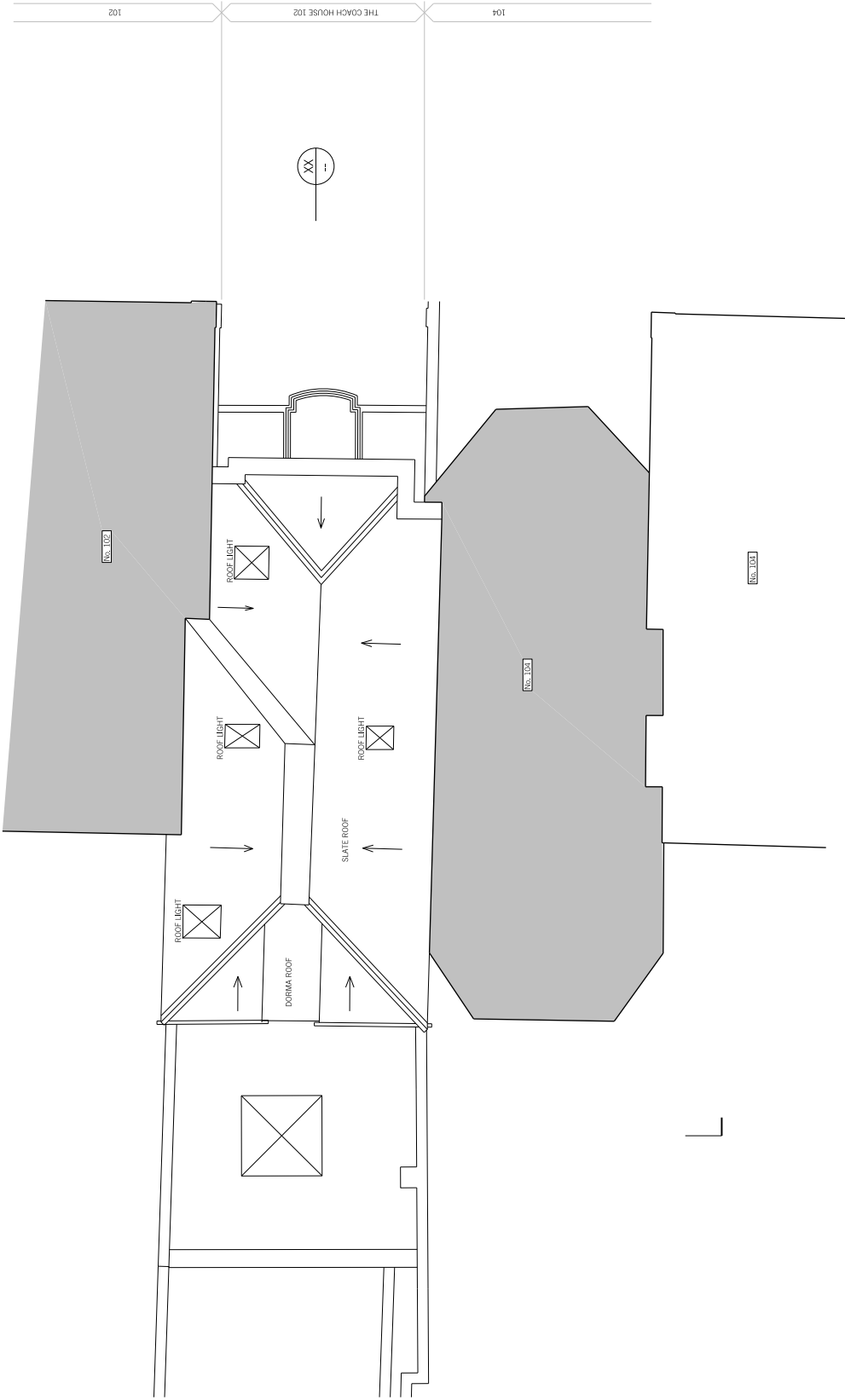
FILE #	DATE	REASON FOR RULE	DATE BY
NOTE:			
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CLIENT			
MR AND MRS DUFFY			
PROJECT			
102 HAVERSTOCK HILL			
TITLE			
GENERAL ARRANGEMENT: GROUND FLOOR FIRST FLOOR PLAN			
DATE	JOB NO.	QUANTITY OF PAPER	SCALE
30.07.12	144	AT	1:50
DATE OF REV	NUMBER		REV.
1:50	144-201		-



REV.	DATE	REASON FOR REVISION	DATE BY
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MR AND MRS DUFFY			
PROJECT			
102 HAVERSTOCK HILL			
TITLE			
GENERAL ARRANGEMENT: EXISTING SECOND FLOOR PLAN			
DATE	DATE REV.	REVISIONS BY	FURTHER
30.07.12	144	AT	I
1:50	144-202		REV.
			-

01: EXISTING SECOND FLOOR PLAN  
SCALE 1:50





REV	DATE	REASON FOR REVISION	DRAWN BY	CHECKED BY
1				

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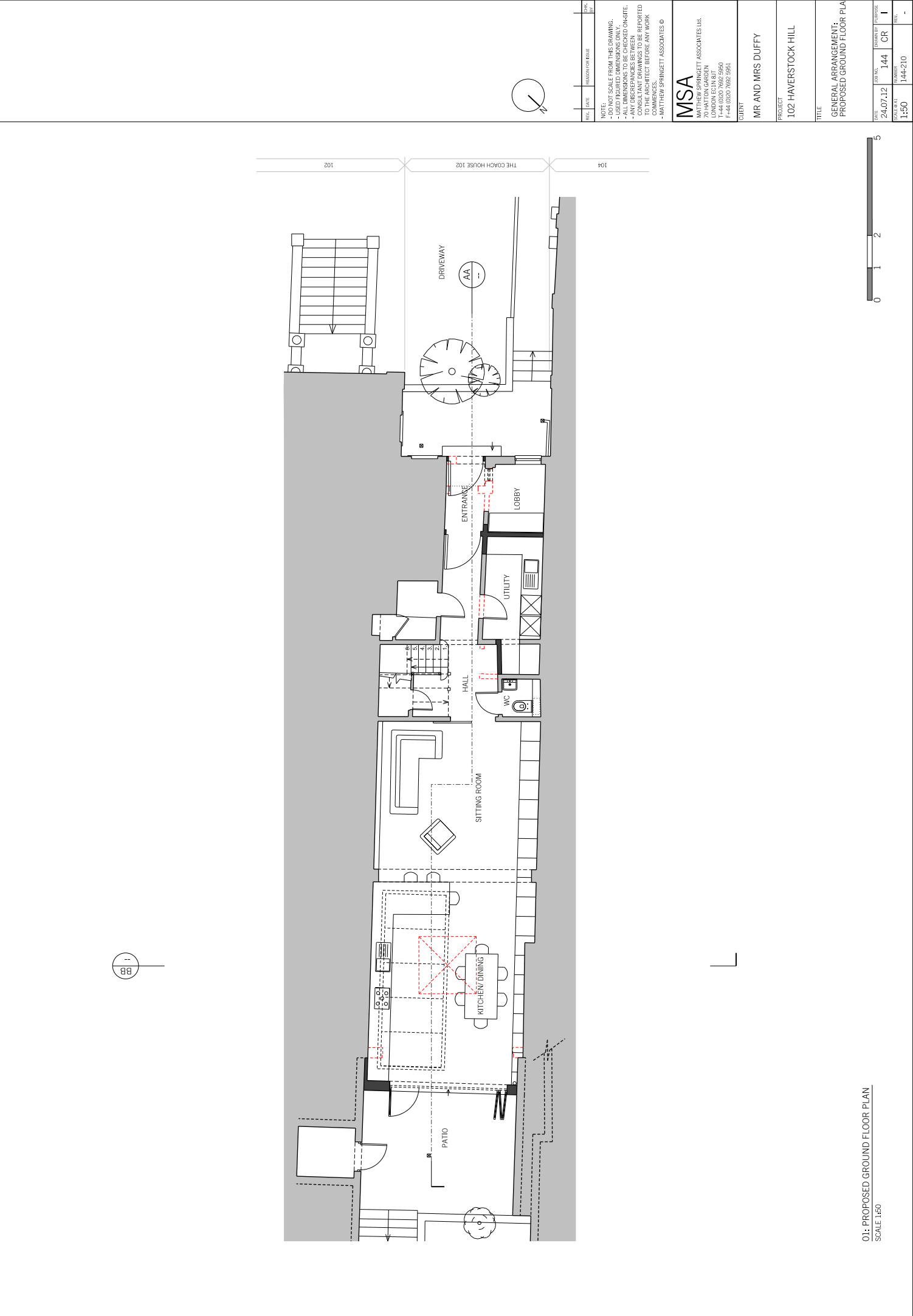
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102 HAVERTOCK HILL

TITLE  
GENERAL ARRANGEMENT:  
EXISTING ROOF PLAN

DATE	JOB NO.	DRAWN BY	PURPOSE
30.07.12	144	AT	I
SCALE 1:50	NUMBER	144-203	REV.
			-



O1: PROPOSED GROUND FLOOR PLAN  
SCALE 1:50

NOTE:  
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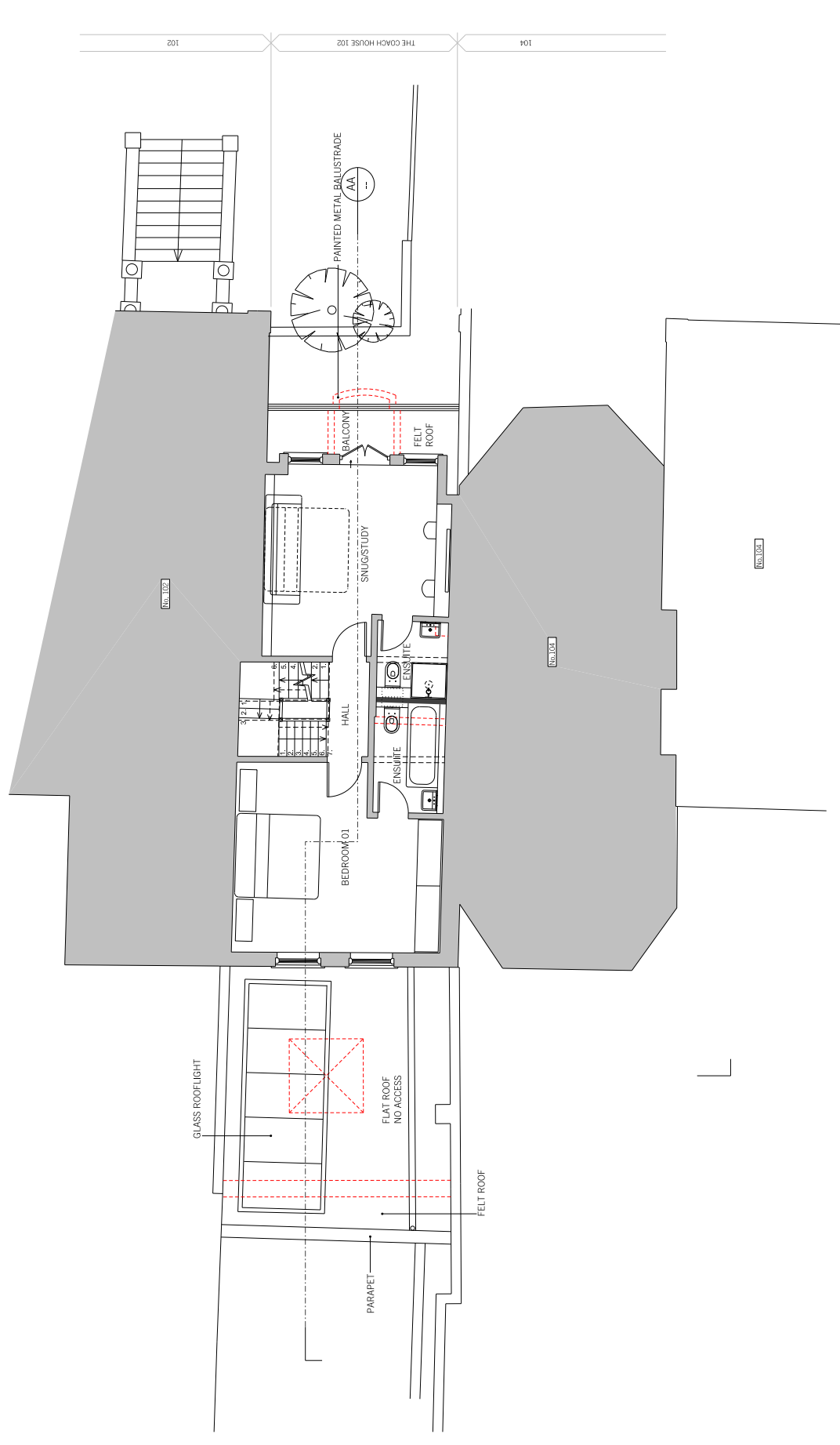
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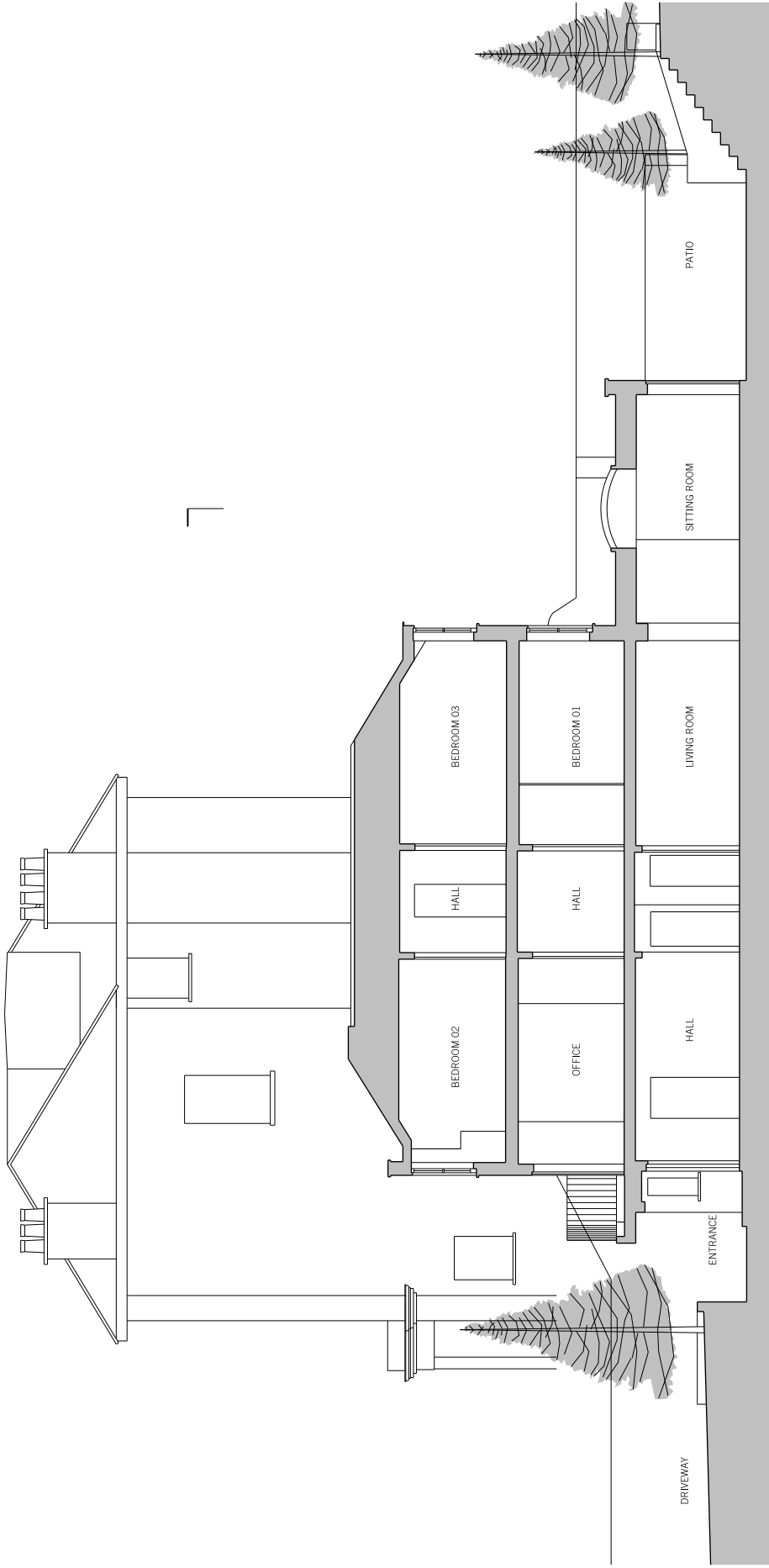
PROJECT  
102 HAVERSTOCK HILL

TITLE  
GENERAL ARRANGEMENT:  
PROPOSED GROUND FLOOR PLAN

DATE	JOB NO.	DRAWN BY	PURPOSE
24.07.12	144	CR	I
SCALE	NO.	NUMBER	REV.
1:50	144-210		-



REV.	DATE	REASON FOR REVISION	DATE BY
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CLIENT			
MR AND MRS DUFFY			
PROJECT			
102 HAVERSTOCK HILL			
TITLE			
GENERAL ARRANGEMENT: PROPOSED FIRST FLOOR PLAN			
DATE	DATE REV.	REVISION	PURPOSE
24.07.12	144	CR	I
1:50	144+211		REV.
			-



01: EXISTING SECTION XX  
SCALE 1:50

REV. DATE REASON FOR REVISION  
DATE: 30.07.12  
BY: [Signature]  
NOTE: DRAWN TO SCALE FROM THIS DRAWING.  
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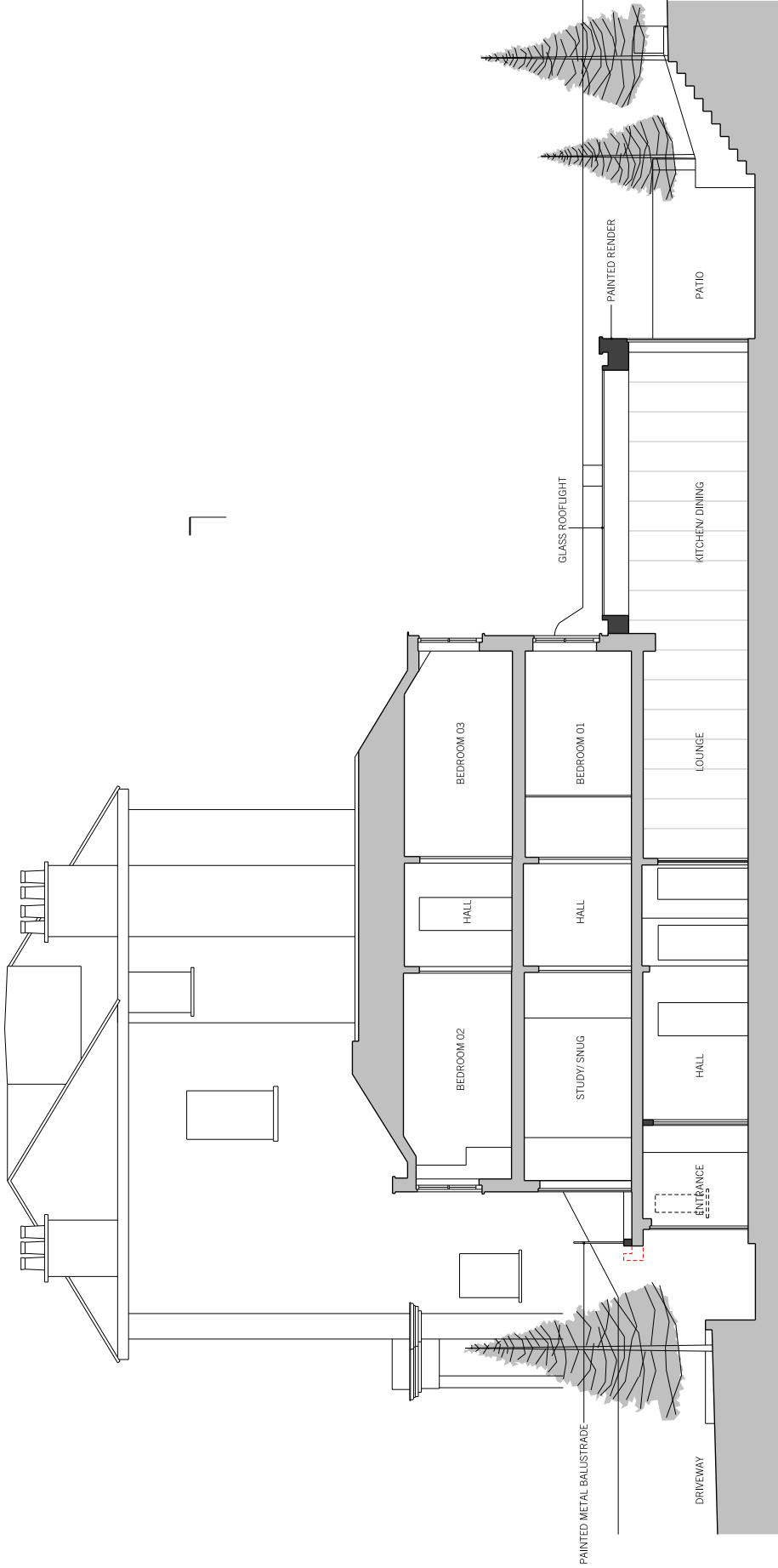
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MR AND MRS DUFFY

PROJECT  
102 HAVERSTOCK HILL

TITLE  
GENERAL ARRANGEMENT:  
EXISTING SECTION XX

DATE	JOB NO.	DRAWN BY	PURPOSE
30.07.12	144	AT	I
SCALE 1:50	NUMBER	144-300	REV.
			-



01: PROPOSED SECTION AA  
SCALE 1:50

REV.	DATE	REASON FOR REUSE	DRAWN BY
1			

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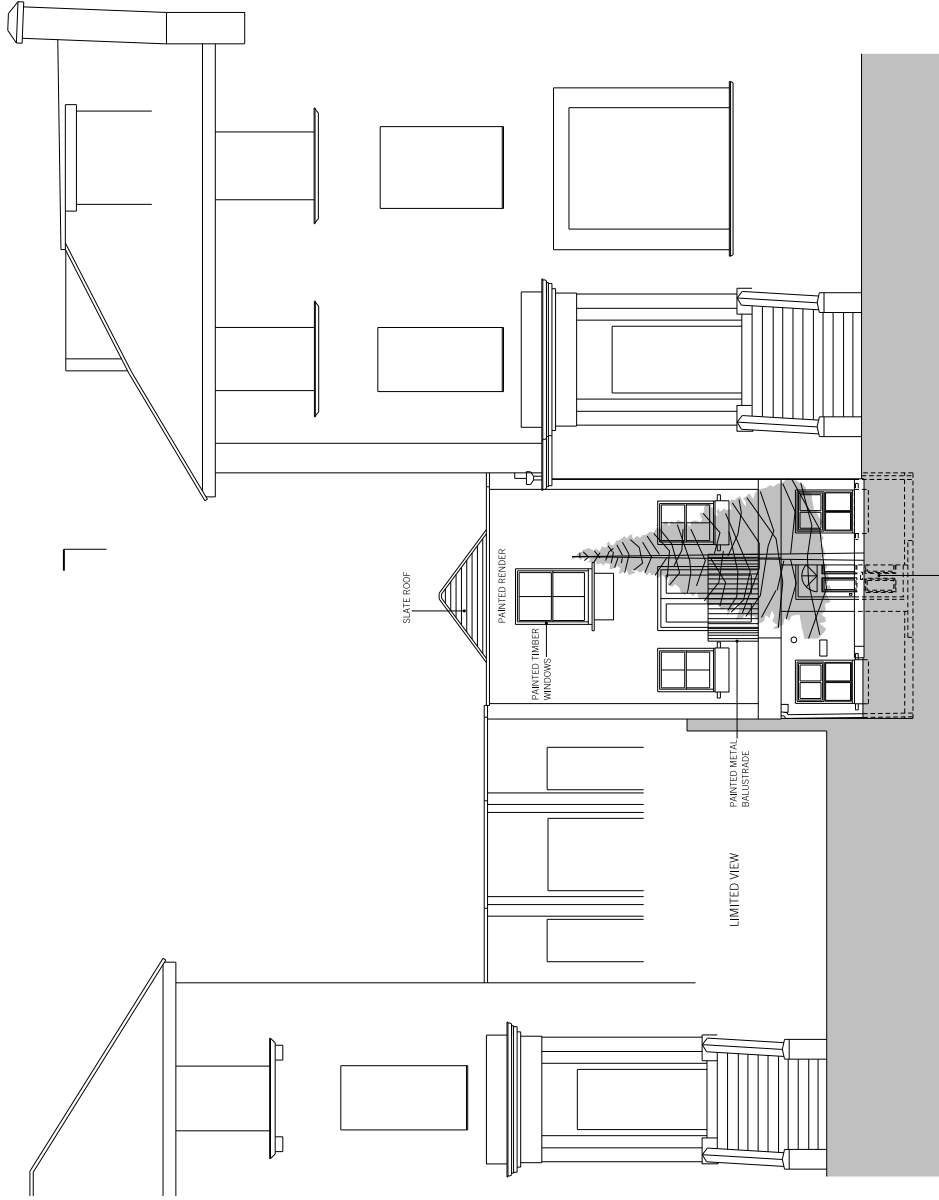
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TITLE  
GENERAL ARRANGEMENT:  
PROPOSED SECTION AA

DATE	JOB NO.	CR	NUMBER	SCALE	REV.
24.07.12	144	1	144-310	1:50	-

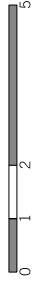


104

THE COACH HOUSE 102

102

01: EXISTING FRONT ELEVATION  
SCALE 1:50



REV.	DATE	REASON FOR REVISION	DRAWN BY	CHECKED BY
1				

NOTE:  
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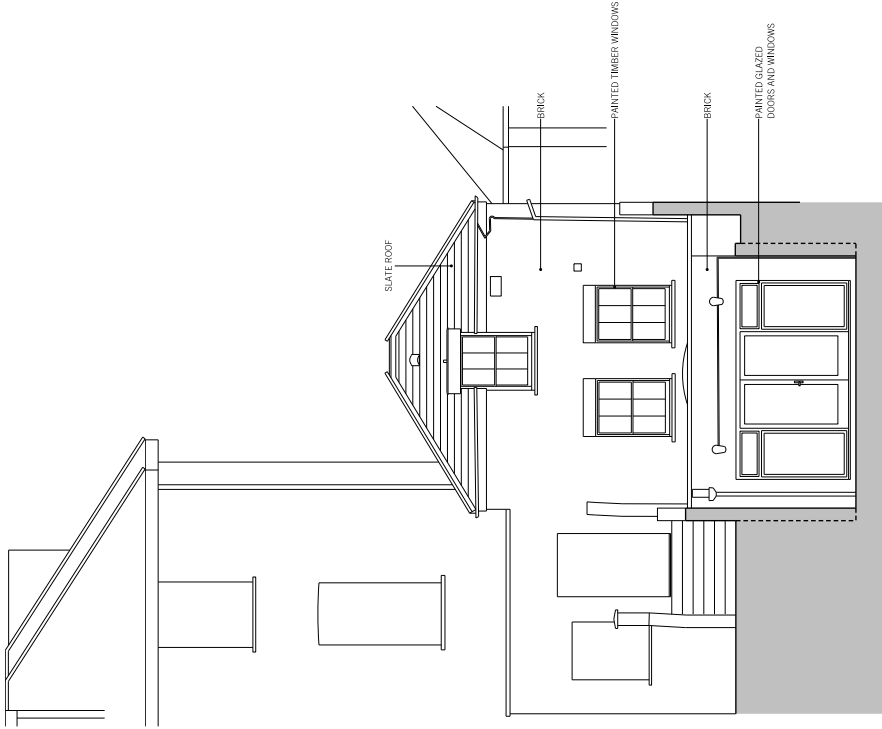
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CLIENT  
MR AND MRS DUFFY

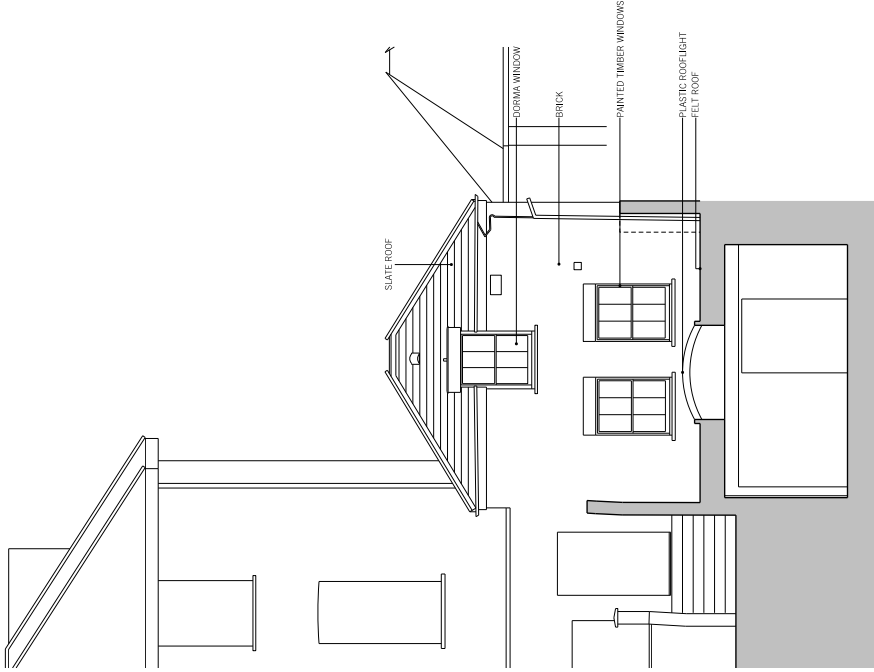
PROJECT  
102 HAVERSTOCK HILL

TITLE  
GENERAL ARRANGEMENT:  
EXISTING FRONT ELEVATION

DATE	JOB NO.	CR	NUMBER	SCALE	REVISION
24.07.12	144	1	144-400	1:50	-



01: EXISTING REAR ELEVATION  
SCALE 1:50



02: EXISTING REAR SECTION YY  
SCALE 1:50



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PROJECT

102 HAVERSTOCK HILL

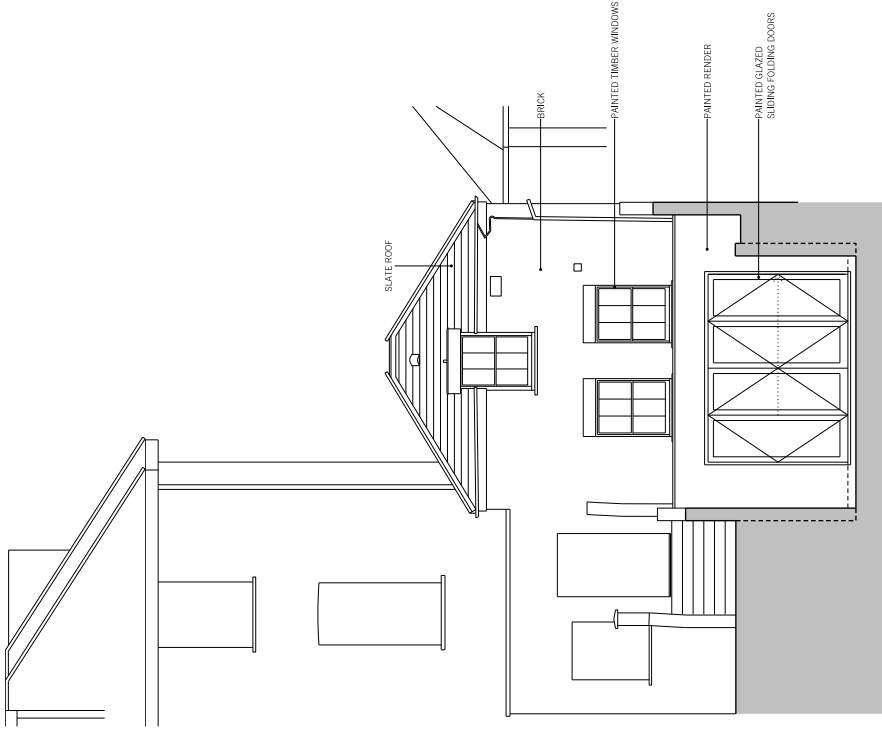
TITLE

GENERAL ARRANGEMENT:  
EXISTING REAR ELEVATION  
AND SECTION YY

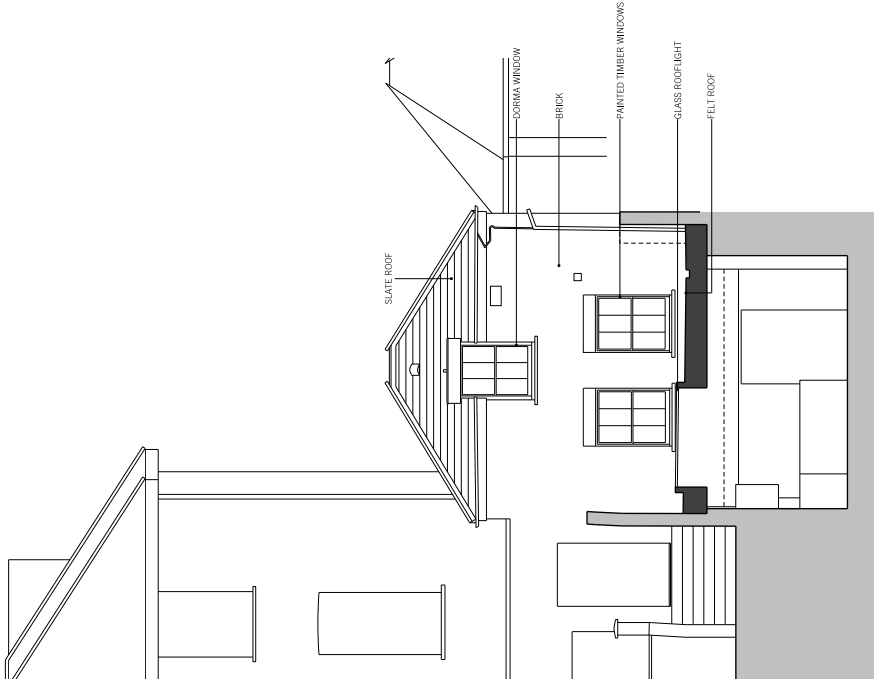
DATE	JOB NO.	DRAWN BY	PURPOSE
24.07.12	144	CR	I
SCALE	NO.	NUMBER	REVISION
1:50	144-401	-	-







01: PROPOSED REAR ELEVATION  
SCALE 1:50



02: PROPOSED REAR SECTION BB  
SCALE 1:50

REV.	DATE	REASON FOR REVISION	DRAWN BY	CHECKED BY
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CLIENT MR AND MRS DUFFY				
PROJECT 102 HAVERSTOCK HILL				
TITLE GENERAL ARRANGEMENT: PROPOSED REAR ELEVATION AND SECTION BB				
DATE	JOB NO.	DRAWN BY	CHECKED BY	PURPOSE
24.07.12	144	CR	I	
SCALE 1:50	NUMBER	144-411	REV.	-