

Testing Against National and Local Policy

This Section highlights extracts from a range of national, London-wide and LB Camden policy statements that are particularly relevant to the consideration of this Listed Building Consent application and tests the proposed works against the policies set out in those documents.

Details of the new Stanley Wrap are outside the scope of this application but are subject to a separate Reserved Matters submission which will be submitted at the same time. The principle of the wrap, including its massing and scale, has already been accepted as part of the KXC Outline Planning Permission, with the relevant design parameters laid out in the approved Parameter Plans and the Revised Annex E and Initial Conservation Plan documents. A full explanation of the design of the new building and its response to the setting of both the Southern Stanley Building and adjacent heritage buildings is provided in the submitted Urban Design Report which supports the associated Reserved Matters submission. Consequently, this aspect is not considered in detail in this section.

Testing Against the National Planning Policy Framework

The National Planning Policy Framework (NPPF) came into force on 27 March 2012 and replaced all previous planning policy statements, including PPS5 on Planning for the Historic Environment.

The proposed works for the Southern Stanley Building have been considered against those parts of the NPPF that are relevant to the nature of the proposals.

Paragraph 14 of the NPPF confirms that *“at the heart of the National Planning Policy Framework is a presumption in favour of sustainable development, which should be seen as a golden thread running through both plan-making and decision-taking.”*

As noted in Section 2.3, the building is no longer fit for its original domestic use and is registered by English Heritage as ‘at risk’. The proposed works support the re-use of this vacant building for offices and are therefore inherently sustainable.

The NPPF sets out twelve core planning principles that should underpin decision making (paragraph 17.). The relevant core principles would be complied with as follows:

Proactively drive and support sustainable economic development to deliver the homes, business and industrial units, infrastructure and thriving local places that the country needs. (...);

The proposed works will facilitate the future use of this building for offices, thus supporting economic development.

Always seek to secure high quality design and a good standard of amenity for all existing and future occupants of land and buildings;

The proposed works contribute to a scheme which is of a high standard and respects the heritage of the building. Amenity has been provided where this is appropriate, namely a fully accessible terrace on the roof of the Southern Stanley Building to reflect the original intention of the design.

Support the transition to a low carbon future in a changing climate, taking full account of flood risk and coastal change, and encourage the reuse of existing resources, including conversion of existing buildings, and encourage the use of renewable resources (for example, by the development of renewable energy)

The Southern Stanley Building will be sensitively upgraded to take account of the significance of the building, with appropriate retrospective measures installed to improve performance, for example, draft proofing, secondary glazing and additional insulation in the new roof and western flank wall.

Conserve heritage assets in a manner appropriate to their significance, so that they can be enjoyed for their contribution to the quality of life of this and future generation.

The significance of the building was assessed at the outline planning stage. The conclusion of this assessment is reproduced in Section 2.4 of this Statement. The proposed works reflect a balance between the conservation of the building which reflects its significance, and the desire to achieve a viable future use.

As regards meeting the challenges of climate change, the NPPF states at paragraph 95:

“To support the move to a low carbon future, local planning authorities should... actively support energy efficiency improvements to existing buildings.”

As noted above, the performance of the building will be improved through the provision of secondary glazing, draft proofing and repair of existing original windows, the provision of a new roof and western flank wall with better insulation, and the provision of efficient services.

Specifically on applications relating to heritage assets, paragraph 131 of the NPPF states the following:

“In determining planning applications, local planning authorities should take account of:

- *the desirability of sustaining and enhancing the significance of heritage assets and putting them to viable uses consistent with their conservation;*
- *the positive contribution that conservation of heritage assets can make to sustainable communities including their economic vitality; and*
- *the desirability of new development making a positive contribution to local character and distinctiveness.”*

As explained in Section 2.5, interventions to the fabric of the Southern Stanley Building are minimised, with a ‘light touch’ approach to the refurbishment of the facade in line with the Revised Annex E and Initial Conservation Plan documents. Internally, the building will retain much of its current cellular layout, save for some removal of secondary partitions to meet modern office standards and access requirements. Alongside the more open plan layout of the Stanley Wrap, the Southern Stanley Building will provide a varied offer to prospective occupiers in terms of size of spaces and character.

The proposed works will contribute to the transformation of this vacant building into (serviced) offices, thus resulting in a viable long term use, consistent with the building’s conservation, and making a positive contribution to the economic vitality of the area.

3.2

Testing Against National and Local Policy

Save for the fixings of the new lightwell and the interface where the Stanley Wrap meets the north façade of the Southern Stanley Building, the new building sits outside of the scope of this application. As noted above, the principle of an extension and the proposed uses were accepted as part of the KXC outline planning application, and the details of the design of this building, alongside the Southern Stanley Building, are considered separately as part of the parallel Reserved Matters submission for Building E1. Nonetheless, the new building is an important part of the future of the Southern Stanley Building in the sense that it makes its refurbishment and re-use viable. In line with the objectives of Annex E of the Revised Development Specification and the Revised Initial Conservation Plan, the proposed Stanley Wrap is of high quality and responds contextually to both the scale and materiality of the Southern Stanley Building and the neighbouring heritage assets within the King's Cross Conservation Area.

As regards designated heritage assets in particular, paragraph 132 of the NPPF sets out the following:

“When considering the impact of a proposed development on the significance of a designated heritage asset, great weight should be given to the asset’s conservation. The more important the asset, the greater the weight should be. Significance can be harmed or lost through alteration or destruction of the heritage asset or development within its setting. As heritage assets are irreplaceable, any harm or loss should require clear and convincing justification. Substantial harm to or loss of a grade II listed building, park or garden should be exceptional.”

The proposed works to the Southern Stanley Building are not considered to cause harm to the significance of the asset or its setting for the reasons set out below.

As noted in Section 2.5, the listed building will lose some of its historic fabric, but only where this is unavoidable, namely where floor structures and the roof are no longer fit for purpose or to create useable spaces and access. Their replacements will be appropriate insertions that fulfil modern requirements whilst leaving the external appearance of the building largely unaltered.

Alterations to the plan of the building envisaged at the outline planning stage have been scaled back to achieve a balance between creating useable rooms and maintaining the characteristic cellular form of the domestic layout. Other fabric would be generally retained and repaired wherever possible, and upgraded in a conservation-led approach.

The impact of servicing on the plan of the building has also been minimised by locating ducts and risers away from the more significant front rooms in order to retain their original layout. Risers will be sympathetically integrated into the plan of the rear rooms instead.

The proposals will see the removal of more recent fixtures and fittings and their replacement with original features such as fireplaces, windows and chimney pots. These will be sourced from within the building or the demolished Northern Stanley Building and will enhance the significance of the building by reinstating lost assets.

Externally, the main physical change relates to the creation of openings on the north-west facade to link the Southern Stanley Building to the Western Core. These will be formed by dropping the cill of existing windows to create a doorway, with ties to the otherwise independent structure of the Western Core (see Section 2.5). Similarly, the new western flank wall is constructed independently of the existing wall, albeit with galvanised steel ties between the two to provide some degree of support to the new structure. At roof level, the supports for the lightwell will be attached to the new concrete roof slab, such that they will not rely structurally on any heritage fabric.

The new building in the conservation area has been carefully modelled and detailed so that it provides an appropriate setting to the listed Southern Stanley building, St Pancras Station and the German Gym. Further details on the relationship of the new building with its historic setting are provided in the submitted Urban Design Report which supports the related Reserved Matters submission.

Paragraph 134 of the NPPF also addresses ‘less than substantial harm’:

“Where a development proposal will lead to less than substantial harm to the significance of a designated heritage asset, this harm should be weighed against the public benefits of the proposal, including securing its optimum viable use.”

As demonstrated in Section 2.5 and above, the proposals seek to retain as much structural fabric as possible in order to minimise harm to the significance of the asset. However, alternations to and the removal of some of the historic fabric is necessary to facilitate development, such as the clinker concrete floors and roof, and a number of partition and load bearing walls. These works are considered to lead to less than substantial harm and are outweighed by bringing the building back into beneficial and viable use. They should also be balanced with works to repair and reinstate missing features including fire places and windows, which will enhance the significance of the building.

Testing Against National and Local Policy

Testing Against LB Camden's Local Development Framework (2011)

The London Borough of Camden Replacement Unitary Development Plan (UDP), adopted in June 2006, was replaced in November 2011 by the Local Development Framework (LDF). Only one policy from the original UDP, Policy LU1 – Schedule of Land Use Proposals, remains formally extant. The Camden Core Strategy 2010-2025 sets out the key elements of the vision for the Borough and is a central part of the LDF. The Core Strategy is supported in terms of detailed development management by the Camden Development Policies 2010-2025 document (DPD) adopted at the same time.

Both the Core Strategy and DPD contain specific policies relating to conservation.

Policy CS5 of the Core Strategy deals with Managing the impact of growth and development and includes among the factors which must be given particular consideration 'd) protecting and enhancing our environment and heritage and the amenity and quality of life of local communities'. This factor is considered in more detail in Policy CS14 of the same document (Promoting high quality places and conserving our heritage), which sets out the Council's strategic objective to preserve and enhance Camden's rich and diverse heritage:

"The Council will ensure that Camden's places and buildings are attractive, safe and easy to use by:

a) requiring development of the highest standard of design that respects local context and character;

b) preserving and enhancing Camden's rich and diverse heritage assets and their settings, including conservation areas, listed buildings, archaeological remains, scheduled ancient monuments and historic parks and gardens;

c) promoting high quality landscaping and works to streets and public spaces;

d) seeking the highest standards of access in all buildings and places and requiring schemes to be designed to be inclusive and accessible;..."

The proposed works to the Southern Stanley Building, set out in Section 2.5, represent a sympathetic and considered response to the significance of the building, drawing on its character and previously identified architectural features. The retention and refurbishment will bring a vacant building back into use, thereby enhancing the heritage asset itself and its setting.

Accessibility within the building will be improved through the removal of selected internal walls and partitions to create wider doors and corridors. The new opening in the north-west facade will also provide a direct connection at each level with the new lifts and stairs in the Western Core, and make the roof terrace fully accessible for the first time.

Public realm improvements will be carried out around the building, including Clarence Passage, Turnhalle Square, Stanley Passage and Pancras Square. Save for Stanley Passage, revised details for which form part of the associated Reserved Matters submission for Building E1, the other areas will be implemented pursuant to an earlier Reserved Matters approval for the Zone B public realm (ref. 2010/0872/P as amended).

Policy DP25 (Conserving Camden's Heritage) within the DPD provides further guidance on the more strategic policies in the Core Strategy in relation to Conservation Areas and Listed Buildings:

Conservation areas

"In order to maintain the character of Camden's conservation areas, the Council will:

...

b) only permit development within conservation areas that preserves and enhances the character and appearance of the area;

...

Listed buildings

To preserve or enhance the borough's listed buildings, the Council will:

e) prevent the total or substantial demolition of a listed building unless exceptional circumstances are shown that outweigh the case for retention;

f) only grant consent for a change of use or alterations and extensions to a listed building where it considers this would not cause harm to the special interest of the building; and

g) not permit development that it considers would cause harm to the setting of a listed building."

The proposed works will breathe new life into a redundant building, and thus enhance the character and appearance of the conservation area.

Although the proposals involve a degree of demolition, for example the clinker concrete roof and floor slabs, this is considered necessary to meet Building Regulation requirements (see explanation in Section 2.5). Further, alterations to the interior layout and north-west facade, while minimised, are required to achieve a fully accessible working environment.

The proposed alterations have been carefully considered against the significance of the building and are not considered to cause harm to its special interest. Indeed, the reinstatement of original features such as fire places, chimney pots and windows will enhance the building in terms of its character and appearance.

3.2

Testing Against National and Local Policy

Testing Against the London Plan (2011)

The London Plan includes the following relevant policies:

Policy 7.8

Heritage Assets and Archaeology Planning Decisions

C Development should identify, value, conserve, restore, re-use and incorporate heritage assets, where appropriate.

The Southern Stanley Building was assessed and its significance identified at the outline planning stage of the KXC development, resulting in the Revised Annex E and Initial Conservation Plan documents. This assessment has formed the basis of a proposal that will conserve, restore and re-use those elements of the building that are part of this significance and that can be retained. Notable features (as set out in Section 2.4) includes the building's symmetrical front and rear elevations and much of its internal configuration, along with most decorative features. The building's concrete floors and roof, whilst significant, cannot be retained, as has been explained above.

Policy 7.9

Heritage-led regeneration Strategic

A Regeneration schemes should identify and make use of heritage assets and reinforce the qualities that make them significant so they can help stimulate environmental, economic and community regeneration. This includes buildings, landscape features, views, Blue Ribbon Network and public realm.

Planning decisions

B The significance of heritage assets should be assessed when development is proposed and schemes designed so that the heritage significance is recognised both in their own right and as catalysts for regeneration. Wherever possible heritage assets (including buildings at risk) should be repaired, restored and put to a suitable and viable use that is consistent with their conservation and the establishment and maintenance of sustainable communities and economic vitality.

Opportunities for the refurbishment and reuse of the Southern Stanley Building were assessed as part of the KXC outline planning application (and associated Listed Building Consent applications). As demonstrated earlier in this section, the proposals accord with the parameters and principles set out for the building at that stage in the Revised Annex E and Initial Conservation Plan documents.

The restoration of the Southern Stanley Building forms part of a wider set of works which will see other heritage buildings within the KXC site, and the King's Cross Conservation Area, put back into use. The Granary Building to the north of the Regent's Canal is the first of these heritage assets to be refurbished and opened as a new campus for Central St. Martins School of Art and Design in September 2011. Together, these buildings will begin to define the character of the KXC development, and contribute to the establishment of a sustainable community and economic vitality in the area.

Testing Against National and Local Policy

Testing Against the King's Cross Conservation Area Appraisal (2003)

The Southern Stanley Building sits within the King's Cross Conservation Area which is covered by Conservation Area Statement 22 (December 2003).

Section 4 describes the character and appearance of the Conservation Area. Paragraph 4.1.2 acknowledges: *"the character and appearance of the area including and surrounding St. Pancras and King's Cross Stations is undergoing substantial change."*

In order to provide a clear description of the distinct qualities of the area, the Statement divides the Conservation Area into four sub-areas. The Southern Stanley Building falls within sub-area 2, King's Cross/St. Pancras. This includes the two stations and the area between them up to Goods Way and Camley Street.

In relation to the Stanley Buildings, paragraph 4.2.85 refers to demolition of three of the five blocks (at the time of publication, the Northern Stanley Building was still in situ), and goes on to acknowledge that as a result, the architectural integrity of the Stanley Buildings has been compromised. Paragraph 4.2.94 goes on to say that the *"Stanley Buildings sit somewhat uncomfortably in the context of the new St Pancras Station extension... Nevertheless, these buildings continue to contribute positively to the character and appearance of the Conservation Area, although as a result of the CTRL construction works, they currently do lack a meaningful and coherent visual context."*

A summary of the sub-area (also paragraph 4.2.94) concludes:

"This part of the King's Cross Conservation Area has experienced significant change. This has resulted in the loss of elements of heritage merit, fragmentation of the urban grain and radical change to the character and appearance of the area. The changes resulting from the CTRL and London Underground works have resulted in the widening of the settings of most of the principal buildings, mostly those to the south of, and including, the German Gymnasium..."

The Conservation Area Statement, though providing context, is now considered out-of-date. In particular, it was prepared before the KXC Outline Planning Permission was granted and therefore does not take account of the rapid change which has taken place to the setting of the Southern Stanley Building as a result of the more recent development works.

Testing Against Other Guidance

The London Boroughs of Camden and Islington adopted a joint brief for the King's Cross Opportunity Area and Triangle Site in December/January 2003/4 as Supplementary Planning Guidance. In line with other policy documents, the Brief places an emphasis on the need for major development and regeneration.

Specifically in relation to the Stanley Building (which at the time also included the Northern Stanley Building), paragraph 3.3.12 of the document states:

"The remaining part of Stanley Buildings is listed Grade II, though much truncated by earlier demolitions. Development proposals must provide an independent assessment of special interest of the Stanley Buildings, including their setting and contribution. Proposals involving their substantial alteration or removal must be supported by the comprehensive masterplan approach required by this Brief, by clear reference to relevant policy, particularly PPG15, and the King's Cross Conservation Area Statement and other relevant guidance, and must fully demonstrate the specific benefits justifying the proposed outcomes for the Stanley Buildings. Proposals for their restoration and re-use must similarly be supported by the masterplan indicating how the proposals meet the objectives of the Brief, particularly in relation to connectivity and regeneration. This Brief asks for a re-evaluation of the previously approved realignment of Pancras Road in connection with the new CTRL entrance, and proposals for Stanley Buildings must specifically address the outcomes of that re-evaluation."

The justification required by this section was provided at the outline planning stage, which set the principles and parameters for re-use and refurbishment through the Revised Development Specification (Annex E) and the Revised Initial Conservation Plan. The proposed works relate to the wider development of Zone E, which includes the Southern Stanley Building, in accordance with those documents (see Part 2.0 of this document).

Conclusions

The Outline Planning Permission for the KXC scheme (ref. 2004/2307/P) envisaged considerably more physical intervention to the Southern Stanley Building than is currently proposed to bring the building back into use. In particular, alterations to the internal layout have been scaled back to retain the character of the original domestic plan, whilst the external appearance of the building will remain relatively unchanged.

The proposals will sympathetically transform a 'Building at Risk' for a viable, long-term use, with full accessibility introduced at all floor levels and the roof terrace. Key architectural features will be cleaned, repaired and/or reinstated with salvaged items to enhance the character of the building.

The proposed works will benefit the King's Cross Conservation Area, in particular the setting of the listed German Gym and St Pancras railway station, which are currently let down by the appearance of the vacant Southern Stanley Building.

Overall, the significant economic, social and environmental benefits realised by the proposals are considered to outweigh any perceived harm and therefore accord with the policies and guidance set out in this section.

Appendix A

Schedule of Submitted Drawings

A

Schedule of Submitted Drawings

Consultation	Scale at A3	Drawing No.
Location/Site Plans		
Plot E1 Location Plan	1:1000	212/PD/200
Reserved Matters Submission Boundary	1:1000	212/PD/201
Existing Southern Stanley Building Drawings		
Southern Stanley Building: Existing Ground Floor Plan	1:200	212/PD/002
Southern Stanley Building: Existing Upper Floor Plans (1st, 2nd, 3rd, and Roof levels)	1:200	212/PD/003
Southern Stanley Building: Existing Elevations (south-east, north-east, north-west, south-west)	1:200	212/PD/004
Southern Stanley Building: Existing Sections (Section 1, Section 2, Section 3, Section 4)	1:200	212/PD/005
Proposed Drawings for Approval		
Plans		
Lower Basement Plan	1:200	212/PD/202
Basement Plan	1:200	212/PD/203
Ground Floor Plan	1:200	212/PD/204
1st floor (Southern Stanley Building) Plan	1:200	212/PD/205
1st Floor (Stanley Wrap) / 2nd floor (Southern Stanley Building) Plan	1:200	212/PD/206
2nd floor (Stanley Wrap) / 3rd floor (Southern Stanley Building) Plan	1:200	212/PD/207
3rd floor (Stanley Wrap) / 4th floor (Southern Stanley Building) Plan	1:200	212/PD/208
4th floor (Stanley Wrap) / Roof (Southern Stanley Building) Plan	1:200	212/PD/209
5th floor (Stanley Wrap) Plan	1:200	212/PD/210
Roof (Stanley Wrap) Plan	1:200	212/PD/211

Consultation	Scale at A3	Drawing No.
Elevations		
Building E1: South East elevation	1:200	212/PD/212
Building E1: North East elevation	1:200	212/PD/213
Building E1: North West elevation	1:200	212/PD/214
Building E1: South West elevation	1:200	212/PD/215
Building E1: East - West Elevation to Lightwell	1:200	212/PD/216
Sections		
Section A-A	1:200	212/PD/217
Section B-B	1:200	212/PD/218
Section C-C	1:200	212/PD/219
Section D-D	1:200	212/PD/220
Details		
Building E1: Typical Cladding Detail - North East Elevation	1:50	212/PD/221
Building E1: Typical Cladding Detail - North East Elevation	1:50	212/PD/222
Building E1: Lightwell Interface Study - General Arrangement	1:100	212/PD/227
Building E1: Lightwell Interface Study - Section 1-1	1:50	212/PD/228
Building E1: Lightwell Interface Study - Entrance Detail	1:50	212/PD/229
Building E1: Stanley Wrap western core and southern Stanley Building Interface Study - Section K-K	1:100	212/PD/231
Building E1: Stanley Wrap western core and southern Stanley Building Interface Study - Section L-L	1:100	212/PD/232
Building E1: Stanley Wrap western core and southern Stanley Building Interface Study - Section M-M	1:100	212/PD/233

Schedule of Submitted Drawings

Consultation	Scale at A3	Drawing No.
Proposed Works to the Southern Stanley Building for Approval		
Southern Stanley Building: Proposed Works at Ground Floor level	1:200	212/PD/101
Southern Stanley Building: Proposed Works to Upper Floors	1:200	212/PD/102
Southern Stanley Building: Proposed Works at Roof Level	1:200	212/PD/106
Southern Stanley Building: Proposed Works to the South East Elevation	1:200	212/PD/107
Southern Stanley Building: Proposed Works to the North East Elevation	1:200	212/PD/108
Southern Stanley Building: Proposed Works to the North West Elevation	1:200	212/PD/109
Southern Stanley Building: Proposed Works to the South West Elevation	1:200	212/PD/110
Southern Stanley Building: Details of Removal Works to the Ground Floor on South-East Elevation	1:50	212/PD/111
Southern Stanley Building: Details of Removal Works to the Second Floor on South-East Elevation	1:50	212/PD/112
Southern Stanley Building: Details of Removal Works to the Roof Level on South-East Elevation	1:50	212/PD/113

Consultation	Scale at A3	Drawing No.
Southern Stanley Building: New Flank Wall Study	1:50	212/PD/234
Southern Stanley Building: Details Of Proposed Works to Ground Floor On South-East Elevation	1:50	212/PD/236
Southern Stanley Building: Details Of Proposed Works to Second Floor On South-East Elevation	1:50	212/PD/237
Southern Stanley Building: Details Of Proposed Works to Roof Level On South-East Elevation	1:50	212/PD/238
Drawings for Information		
Building E1: South East Context Elevation	1:200	212/PD/312
Building E1: North East Context Elevation	1:200	212/PD/313
Building E1: North West Context Elevation	1:200	212/PD/314
Building E1: South West Context Elevation	1:200	212/PD/315

Appendix B

Full Scope of Works

B

Full Scope of Works

Scope of Works

This section describes the final set of works required to refurbish and bring the Southern Stanley Building back into use. The section should be read in conjunction with the referenced submitted drawings and Arup sketches SK - SB/02-04 reproduced at the end of the Appendix.

The original proposals in the Revised Initial Conservation Plan have been reviewed and developed to reflect the intended primary use of the building as offices and the prospective occupier's own design aspirations.

The proposals set out in detail below now involve a less intrusive set of works which would see much of the building plan form and fabric retained and repaired.

All Elevations

Reference should be made generally to drawings 212/PD/101-102 and 212/PD/107-110.

1. Lightly clean down, repair and refurbish all existing brickwork and stucco to reveal some of the original colour and detail.
2. Where practicable, refurbish all original windows and install secondary internal glazing. Otherwise, reuse salvaged frames from the Northern Stanley Building, or provide new frames to match. Replace non-matching, non-original windows with new or salvaged windows from the Northern Stanley Building or windows removed from the north-west elevation to match the original design. Windows to remain openable.
3. Repair and refurbish external window cills.
4. Repair, refurbish and make good cornice at parapet level.
5. Repair and refurbish cast iron metal railings and balustrade to balconies on the south-east elevation.
6. Remove existing security grille/gate from ground floor portico on the south-east elevation and install new, decorative security gate at the entrance to the external staircase.
7. Provide level access at each floor level through the north-west elevation by removing window (to be salvaged for re-use elsewhere on the building), and dropping window cill to create new door openings. Install new steel beam above new opening to support floor.
8. Carefully remove existing concrete render on south-west elevation to expose original internal brick party wall. Erect a new, insulated brick-lined flank wall adjacent to the same elevation with ties to the existing party wall.
9. Remove all surface mounted electrical services, conduits, lighting, metal profiles, ladders and window grilles on all external facades, and make good in matching materials.
10. Remove existing modern vent bricks on the south-east, north-east and south-west elevations, and replace with salvaged bricks from the Northern Stanley Building.
11. Remove existing front doors at each level on the south-east elevation and replace with 4-panelled timber doors.

External (Roof)

12. Remove clinker aggregate concrete roof and replace with new insulated concrete roof slab, as indicated on drawing 212/PD/106.
13. Dismantle and rebuild chimney stacks in their original positions and using original materials following the replacement of the roof, as shown on drawing 212/PD/106. Fit with salvaged chimney pots from the Northern Stanley Building where pots are modern, damaged or missing.
14. Affix steel supports to the new roof slab along the parapet edge on the north-west and north-east elevations, in order to support the glazed roof structure of the new lightwell. See submitted drawing 212/PD/229.
15. Infill cross-shaped openings on the parapet with recessed preformed metal profile.
16. Fit additional Building Regulations compliant handrail to the inside of parapet.
17. Remove modern water tanks (see drawing 212/PD/106)

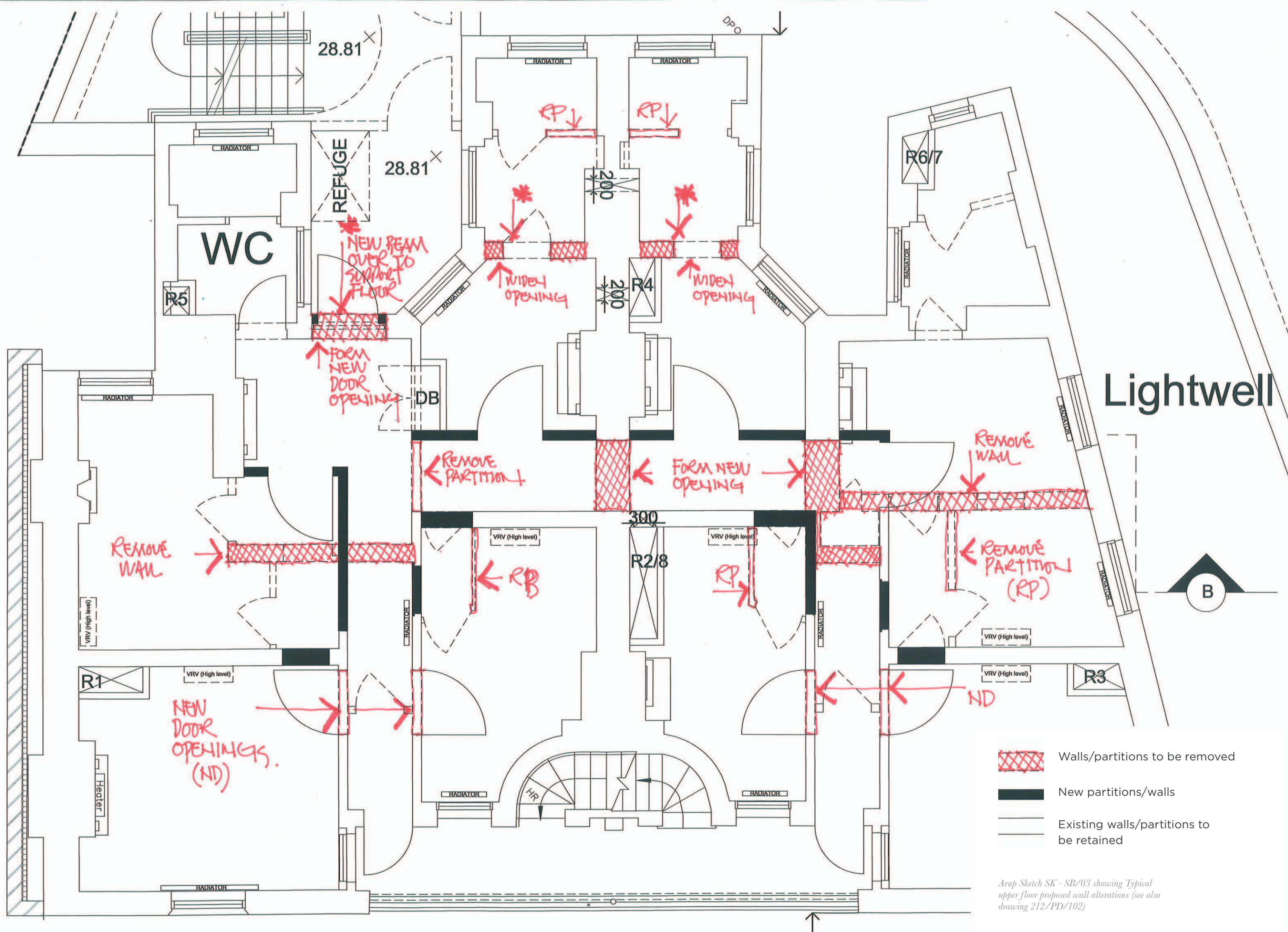
Internal

18. Retain and repair all loadbearing walls and secondary partitions and where practicable, their finishes, unless otherwise shown on the submitted drawings.
19. Create new door openings in existing partition walls on each floor (as shown on Arup sketch SK - SB/03 and drawing 212/PD/101-102).
20. Remove various partitions and load bearing walls at each level (as shown on Arup sketch SK - SB/03 and drawings 212/PD/101-102) to form larger rooms at the rear of the building, create a new continuous corridor through the scullery wing and floorplate and/or widen access.
21. Installation of new partition walls and closing up existing doorways to form new corridors and room configurations, and support new access arrangements.

22. Remove modern glazed screens (added by residents) in corridors at all levels.
23. Remove ground floor suspended wooden floor and replace with concrete slab, as shown on drawing 212/PD/101.
24. Replace clinker aggregate concrete floor plates in corridors, sculleries and front central rooms with timber joists and floorboards, as illustrated on Figure 16. Where possible, re-instate salvaged floorboards in front rooms.
25. Strengthen existing timber floors/joists or install additional floor joists as necessary and provide fire and acoustic separation within floorplates as shown on Arup sketch SK - SB/04 and drawing 212/PD/102.
26. Install new steel beam at levels 1 to 4, as shown on drawing 212/PD/102.
27. Where practicable, refurbishment and repair of lath and plaster ceilings prior to installation of new plasterboard for acoustic insulation and fire protection.
28. Where practicable, retain and repair existing lime plaster on walls.
29. Installation of plasterboard over new internal partitions.
30. Retain original fireplaces/surrounds in situ, or where this is not possible, relocate to appropriate rooms within the building. Fit salvaged fireplaces/surrounds from the Northern Stanley Building in appropriate rooms to replace modern chimney pieces or missing chimney pieces. See Appendix C1.1.
31. Replace all existing doors with panelled doors.

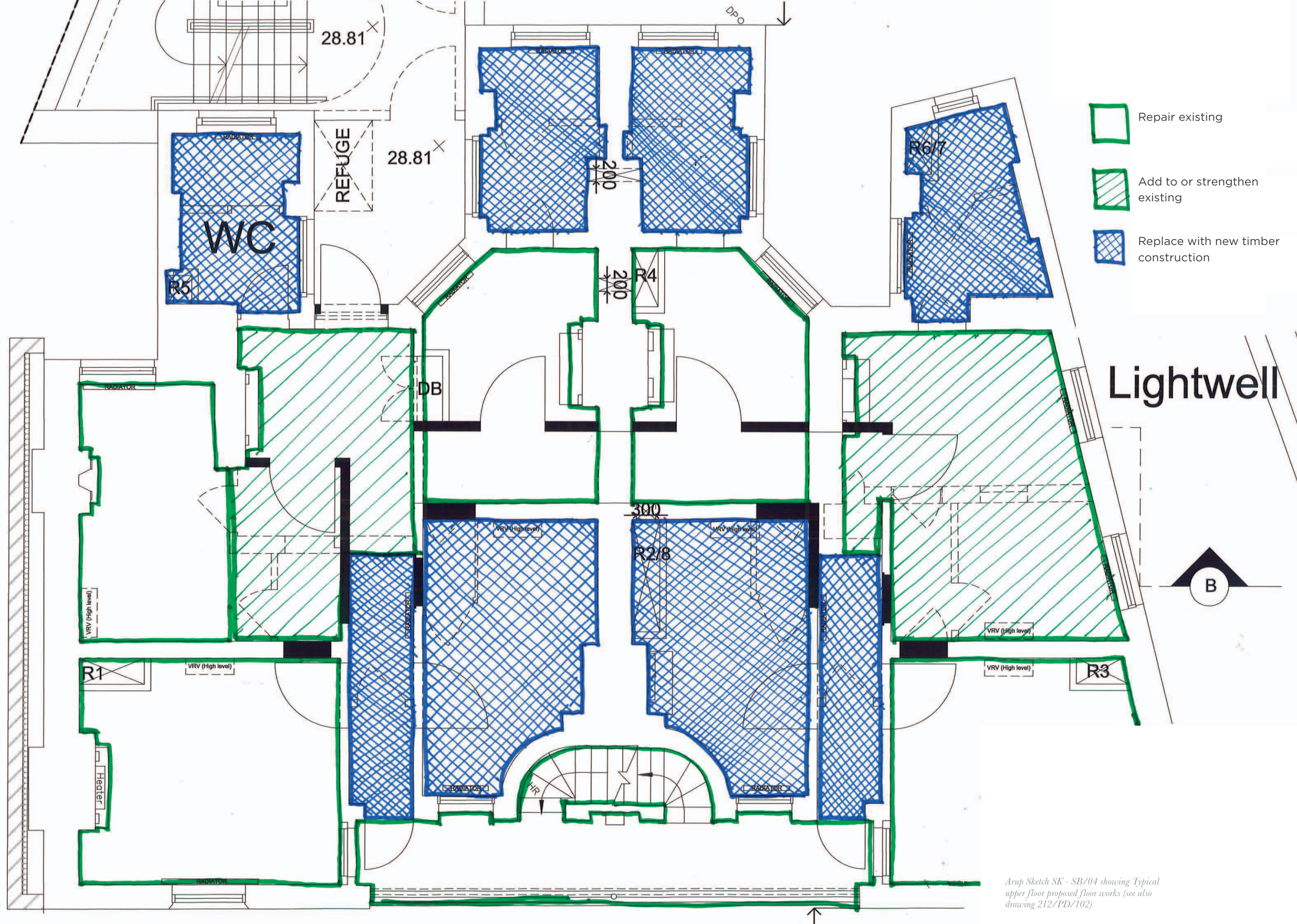
Core and Services

32. Retain and repair original external staircase.
33. Create holes in floors and ceilings for new vertical M&E risers and horizontal duct holes through walls at high level and floor level, as shown on drawing 212/PD/102.
34. Carefully affix air-handling units to existing wall structure and new wall linings.
35. Install wall mounted access control pads adjacent to entrances within the ground floor portico and balconies on the south-east elevation.

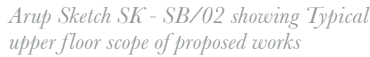


- Walls/partitions to be removed
- New partitions/walls
- Existing walls/partitions to be retained

Arup Sketch SK - SB/03 showing Typical upper floor proposed wall alterations (see also drawing 212/PD/102)



Arup Sketch SK - SB/04 showing Typical upper floor proposed floor works (see also drawing 212/PD/102)



Appendix C

Fireplace and Salvage Study

C

Fireplace Strategy

C1.1

The following pages set out the fireplace strategy for the Southern Stanley Building, with photographs of good, existing examples within the building followed by a floor by floor analysis of what remains in each flat. A plan showing the proposals for replacement, retention or relocation is also provided for each floor level.

C1.1

Fireplace Strategy



Good example of 'large' plain fireplace to be retained within the Stanley Building. Chimney pieces should be original unless otherwise stated. There are mainly painted cast iron chimney pieces in the building, of a simple design. The original insets are often missing.



Good example of 'large' plain fireplace with some decoration to be retained within the Stanley Building. This is another design with integrated mouldings (painted lightblue) which also appears original.



Good example of 'large' plain fireplace with some decoration to be retained within the Stanley Building. There are mainly painted cast iron chimney pieces in the building, of a simple design, or with brackets below the mantle shelf.

Fireplace Strategy

C1.1



Good example of 'small' fireplace to be retained within the Stanley Building - primarily located in the small front rooms and also to rear room along Pancras Road



Good example of 'small' fireplace to be retained within the Stanley Building - primarily located in the small front rooms and also to rear room along Pancras RoadThe decorative Jugendstil ones are presumably early 20th century.

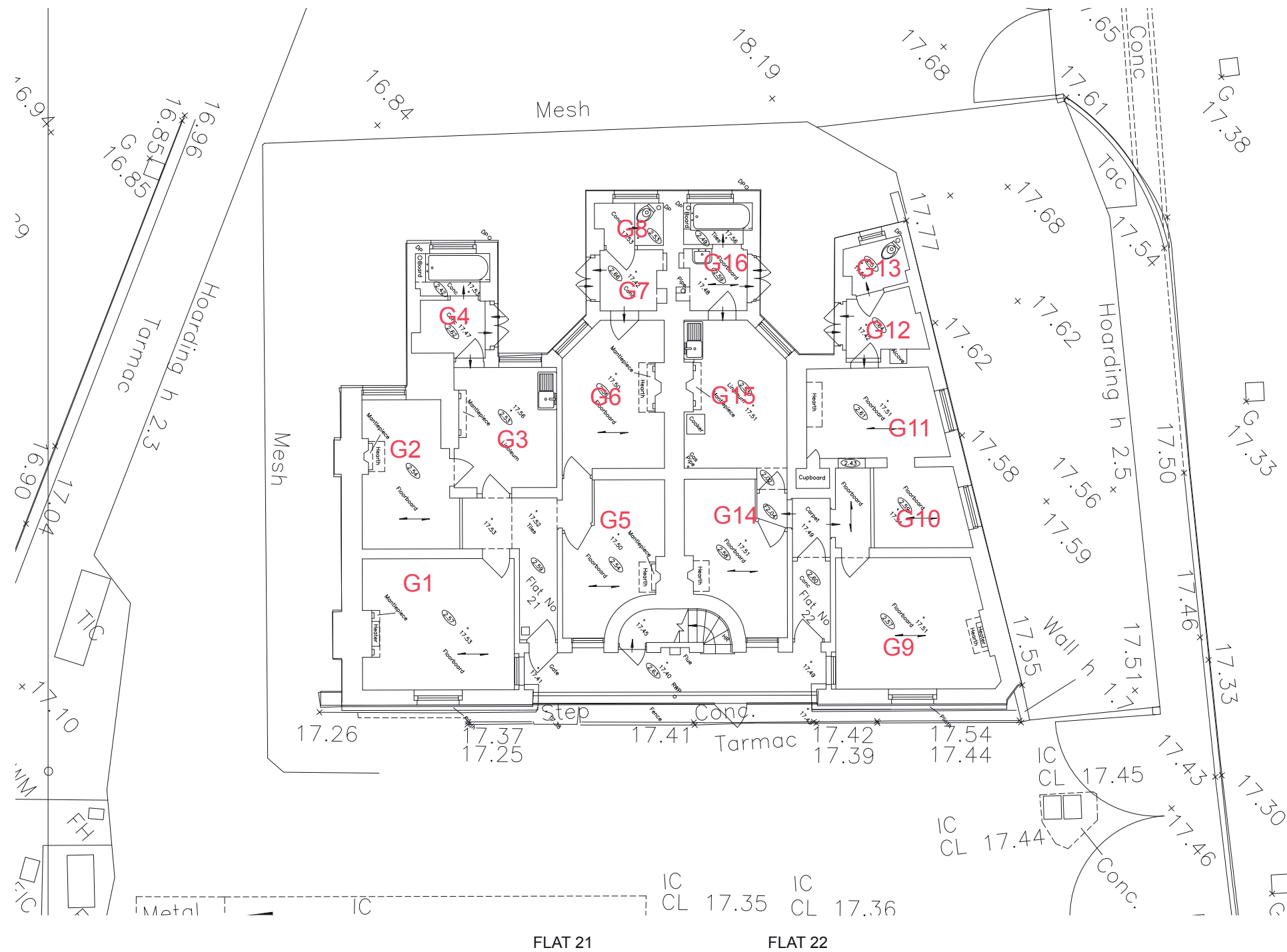


Three remaining examples of the original stove sets in the rear sculleries to be retained. No salvaged examples are known to exist.



C1.1

Fireplace Strategy



EXISTING:GROUND FLOOR PLAN

SDA Drwg No. 212/PD/107

Fireplace Strategy

C1.1

FLAT 21



ROOM G1
FIREPLACE G1
RETAINED

Salvage requirements:
Mantel inset (behind cover)
Grate
Mantel surround
Fireback



ROOM G2
FIREPLACE G2
RELOCATE TO F5

ROOM G3
NO PHOTO
RETAINED



ROOM G5
FIREPLACE G5
RETAINED



ROOM G6
FIREPLACE G6
RETAINED

Salvage requirements:
Mantel inset (behind cover)
Grate
Mantel surround
Fireback

FLAT 22



ROOM G9
FIREPLACE G9
MISSING - REPLACE WITH
SALVAGE

Salvage requirements:
Mantel shelf
Mantel surround
Mantle inset
Fireback
Grate



ROOM G11
FIREPLACE G11
MISSING

Salvage requirements:
Mantel shelf
Mantel surround
Mantle inset
Grate



ROOM G14
FIREPLACE G14
RETAINED



ROOM G15
FIREPLACE G15
RETAINED

Salvage requirements:
Mantel surround
Mantle inset
Grate



NOTE:

G2, G9 FROM SALVAGE CONTAINER

KEY

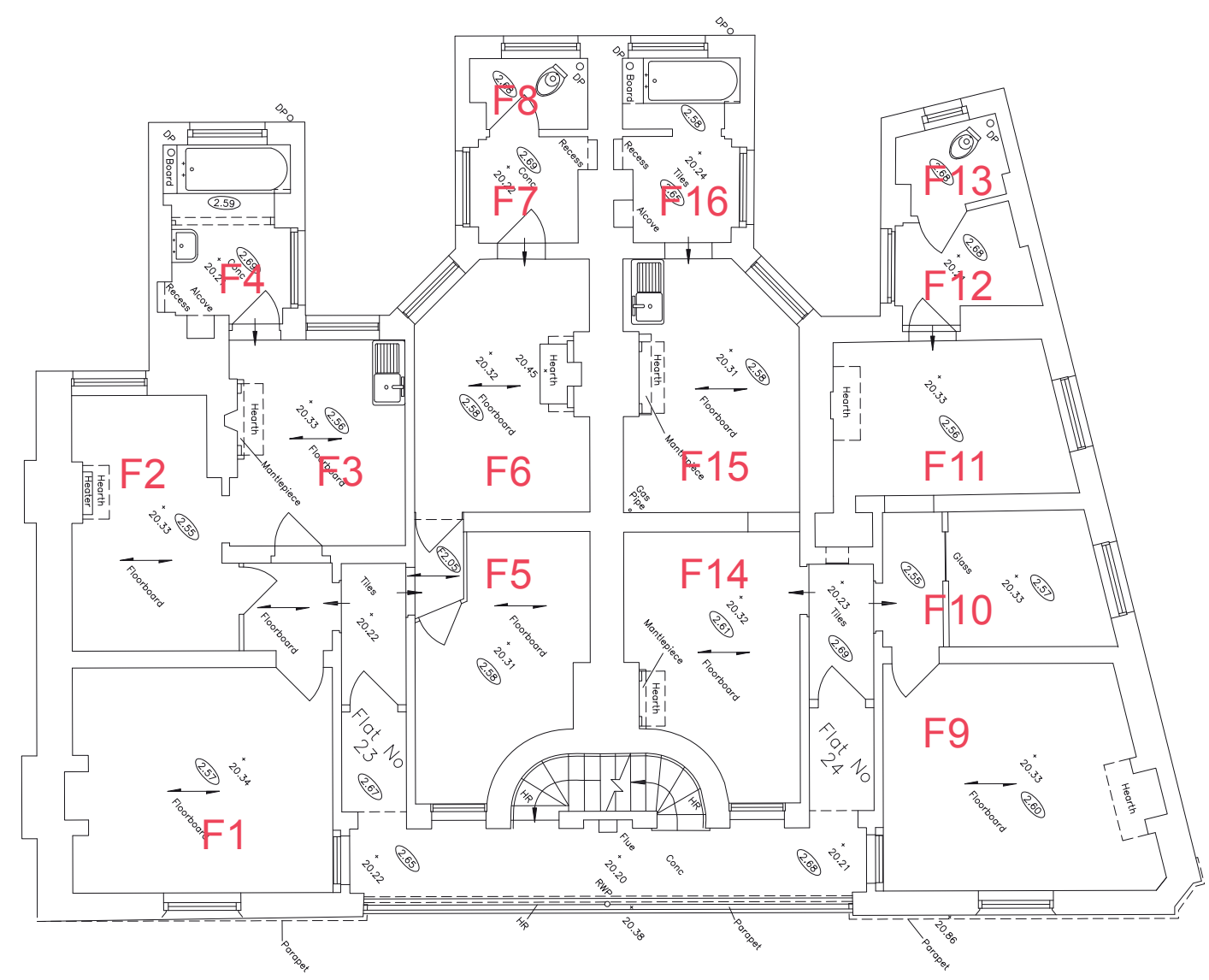
- TO BE REMOVED AND RELOCATED WITHIN STANLEY BUILDING
- TO BE RETAINED
- FROM SALVAGE - FROM WITHIN STANLEY BUILDING
- FROM SALVAGE - FROM NORTH STANLEY BUILDING CONTAINER

OVERLAID TO PLOWMAN CRAVEN SURVEY

JOB TITLE ARGENT (KING'S CROSS) LTD. STANLEY SOUTH BUILDING (KXC - E1) KING'S CROSS REDEVELOPMENT		JOB NO. 212	DRWG. TITLE EXISTING: GROUND FLOOR PLAN FIREPLACES	STATUS PLANNING	
			DRWG. NO. 212 / PD / 120 (A3 ORIGINAL FORMAT)	REV:	SCALE: 1:100
Studiowdownie	TEL: +44 (0) 20 7269 7745	All dimensions to be checked on site by the Contractor and confirmed with the Architect prior to construction. Do not scale off this drawing.		Drawn by: EDC	DATE: 05/04/12
ARCHITECTS LLP	studiowdownie@studiowdownie.com				

EXISTING: GROUND FLOOR PLAN FIREPLACES 1:100 @ A3

Fireplace Strategy



FLAT 23

FLAT 24

FLAT 23



ROOM F1
FIREPLACE F1
MISSING - REPLACE
WITH SALVAGE

Salvage requirements:
Mantel shelf
Mantel surround
Mantel inset
Fireback
Grate



ROOM F2
FIREPLACE F2
MISSING - REPLACE
WITH SALVAGE

Salvage requirements:
Mantel shelf
Mantel surround
Mantel inset
Fireback
Grate



ROOM F3
FIREPLACE F3
RETAINED

Salvage requirements:
Mantel surround
Mantel inset
Grate



ROOM F5
FIREPLACE F5
MISSING - REPLACE
WITH SALVAGE

Blocked - in
Salvage requirements:
Mantel shelf
Mantel surround
Mantel inset
Fireback
Grate



ROOM F6
FIREPLACE F6
RETAINED

1930's Fireplace (non-original)
Salvage requirements:
Mantel shelf
Mantel surround
Mantel inset

FLAT 24



ROOM F9
FIREPLACE F9
RETAINED

Salvage requirements:
Mantel shelf
Mantel surround
Mantel inset
Fireback
Grate



ROOM F11
FIREPLACE F11
REMOVE AND SALVAGE



ROOM F14
FIREPLACE F14
RETAINED

Salvage requirements:
Mantel surround
Grate



ROOM F15
FIREPLACE F15
RETAINED

Salvage requirements:
Mantel surround
Mantel inset
Fireback
Grate

Fireplace Strategy

C1.1



NOTE:

S2, S5 FROM SALVAGE CONTAINER

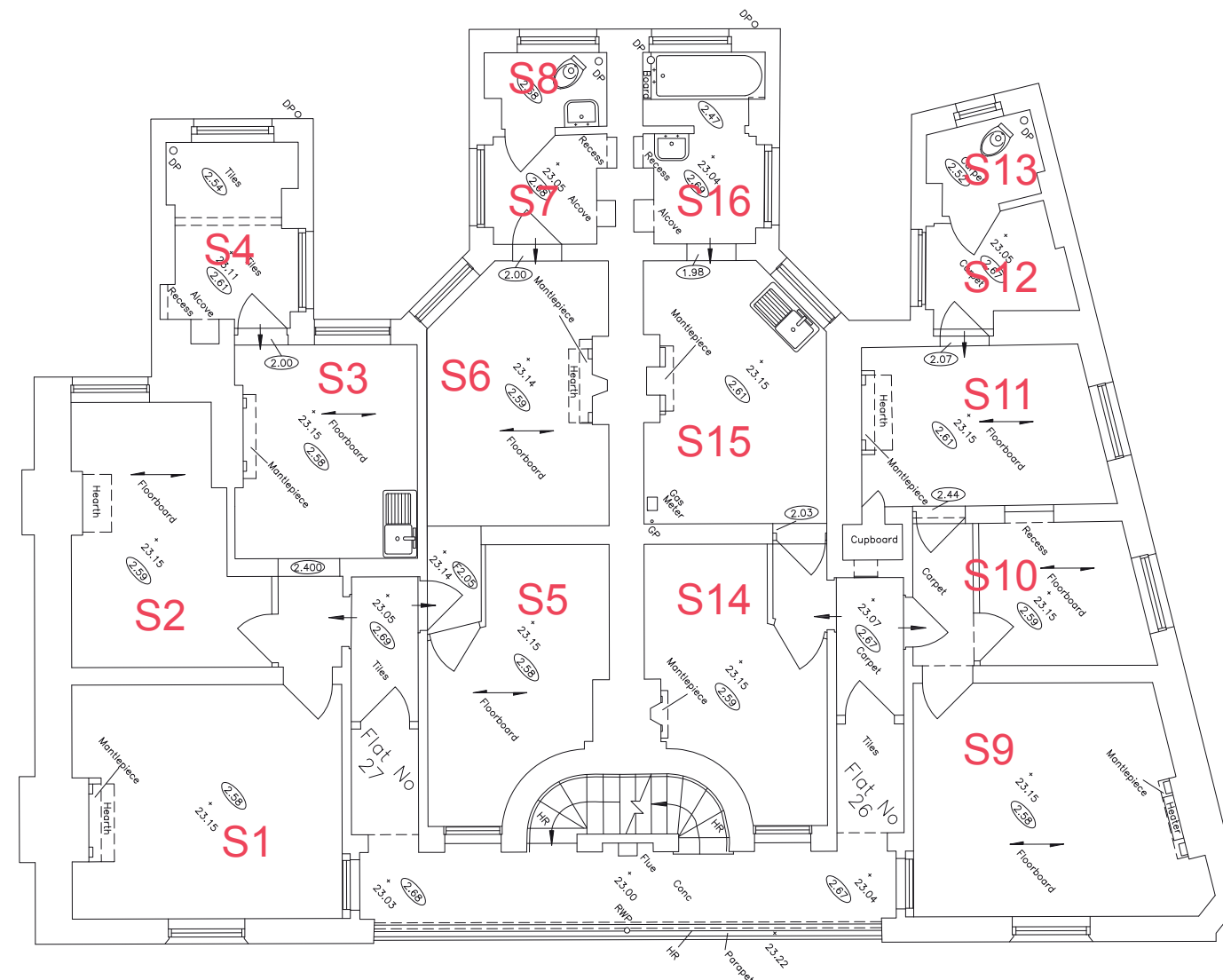
KEY

- TO BE REMOVED AND RELOCATED WITHIN STANLEY BUILDING
- TO BE RETAINED
- FROM SALVAGE - FROM WITHIN STANLEY BUILDING
- FROM SALVAGE - FROM NORTH STANLEY BUILDING CONTAINER

OVERLAID TO PLOWMAN CRAVEN SURVEY

JOB TITLE ARGENT (KING'S CROSS) LTD. STANLEY SOUTH BUILDING (KXC - E1) KING'S CROSS REDEVELOPMENT	JOB NO. 212	DRWG. TITLE EXISTING: SECOND FLOOR PLAN FIREPLACES	STATUS PLANNING	
		DRWG. NO. 212 / PD / 122 (A3 ORIGINAL FORMAT)	REV:	SCALE: 1:100
Studiowdownie ARCHITECTS LLP	TEL: +44 (0) 20 7269 7745 studiodownie@studiowdownie.com	All dimensions to be checked on site by the Contractor and confirmed with the Architect prior to construction. Do not scale off this drawing.		
		Drawn by: EDC	DATE: 05/04/12	

EXISTING: SECOND FLOOR PLAN FIREPLACES 1:100 @ A3



FLAT 25

FLAT 26

Fireplace Strategy

C1.1

FLAT 25



ROOM S1
FIREPLACE S1
RETAINED



ROOM S2
FIREPLACE S2
MISSING - REPLACE WITH
SALVAGE

Bricked up
Salvage requirements:
Mantel shelf
Mantel surround
Mantel inset
Fireback
Grate



ROOM S3
FIREPLACE S3
RETAINED

Salvage requirements:
Mantel surround



ROOM S5
FIREPLACE S5
MISSING - REPLACE WITH
SALVAGE

Bricked up
Salvage requirements:
Mantel shelf
Mantel surround
Mantel inset
Fireback
Grate



ROOM S6
FIREPLACE S6
RETAINED

Salvage requirements:
Grate
Mantel surround

FLAT 26



ROOM S9
FIREPLACE S9
RETAINED

Salvage requirements:
Mantel surround
Mantel inset
Grate



ROOM S11
FIREPLACE S11
REMOVED - RELOCATE TO S15

Salvage requirements:
Mantel inset
Mantel surround
Grate



ROOM S14
FIREPLACE S14
RETAINED

Salvage requirements:
Mantel inset
Grate



ROOM S15
FIREPLACE S15
MISSING - REPLACE
WITH SALVAGE

Salvage requirements:
Mantel shelf
Mantel surround
Mantel inset
Fireback
Grate



NOTE:
S2, S5 FROM SALVAGE CONTAINER

- KEY
- TO BE REMOVED AND RELOCATED WITHIN STANLEY BUILDING
 - TO BE RETAINED
 - FROM SALVAGE - FROM WITHIN STANLEY BUILDING
 - FROM SALVAGE - FROM NORTH STANLEY BUILDING CONTAINER

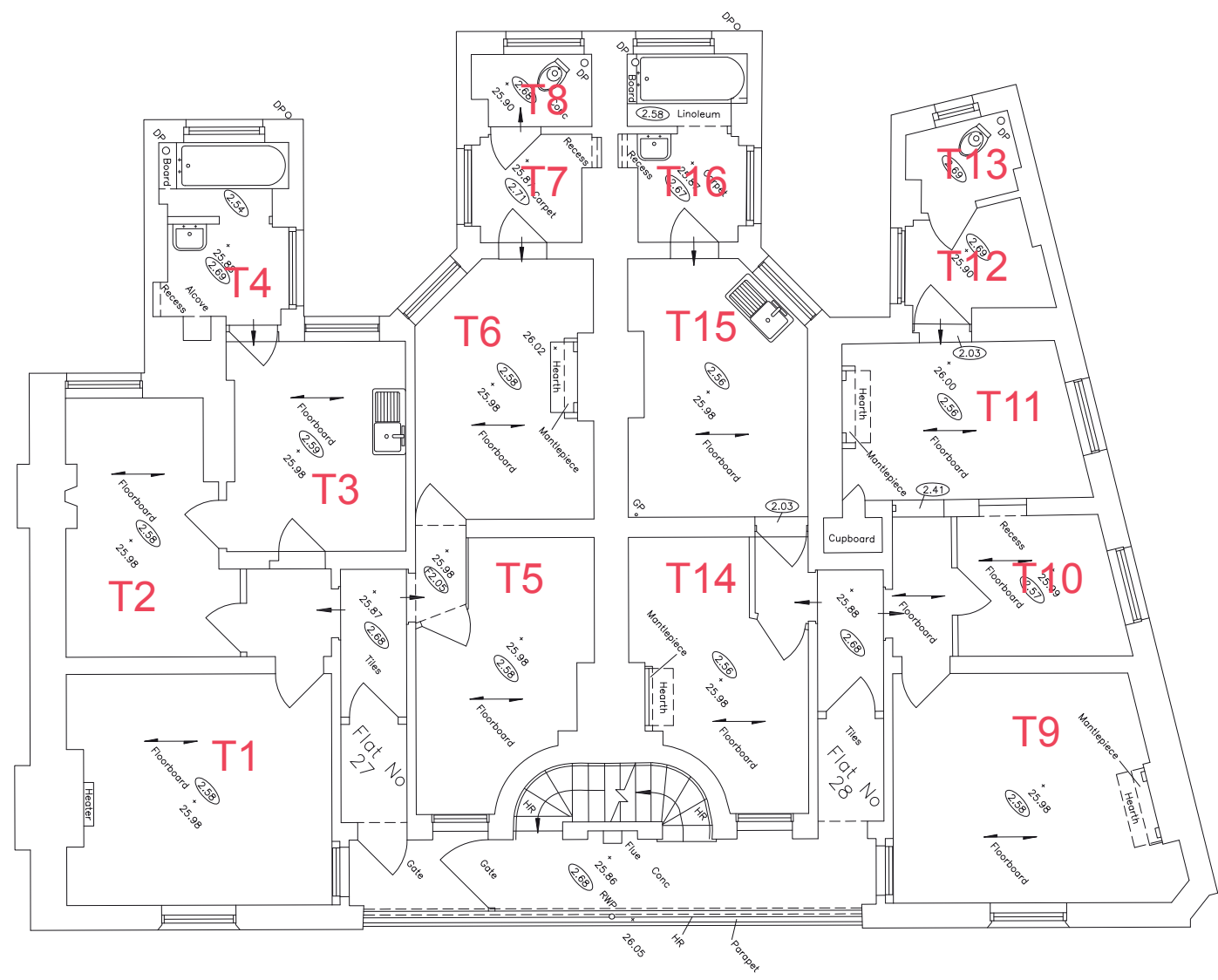
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			DRWG. NO. 212 / PD / 122 (A3 ORIGINAL FORMAT)	REV:	SCALE: 1:100
Studiowonie	TEL: +44 (0) 20 7269 7745	All dimensions to be checked on site by the Contractor and confirmed with the Architect prior to construction. Do not scale off this drawing.		Drawn by: EDC	DATE: 05/04/12
ARCHITECTS LLP	studiowonie@studiowonie.com				

EXISTING: SECOND FLOOR PLAN FIREPLACES 1:100 @ A3

Fireplace Strategy

C1.1



FLAT 27

FLAT 28