

1. The drawings show design intent only. All dimensions to be checked on site prior to construction or production. Construction details to be confirmed by contractor/manufacturer by submitting shop drawings for designer's approval.

2. Design drawings not to be scaled for production and construction purposes.

3. All discrepancies and omissions on site must be reported to designer for their comment or approval prior to commencing work.

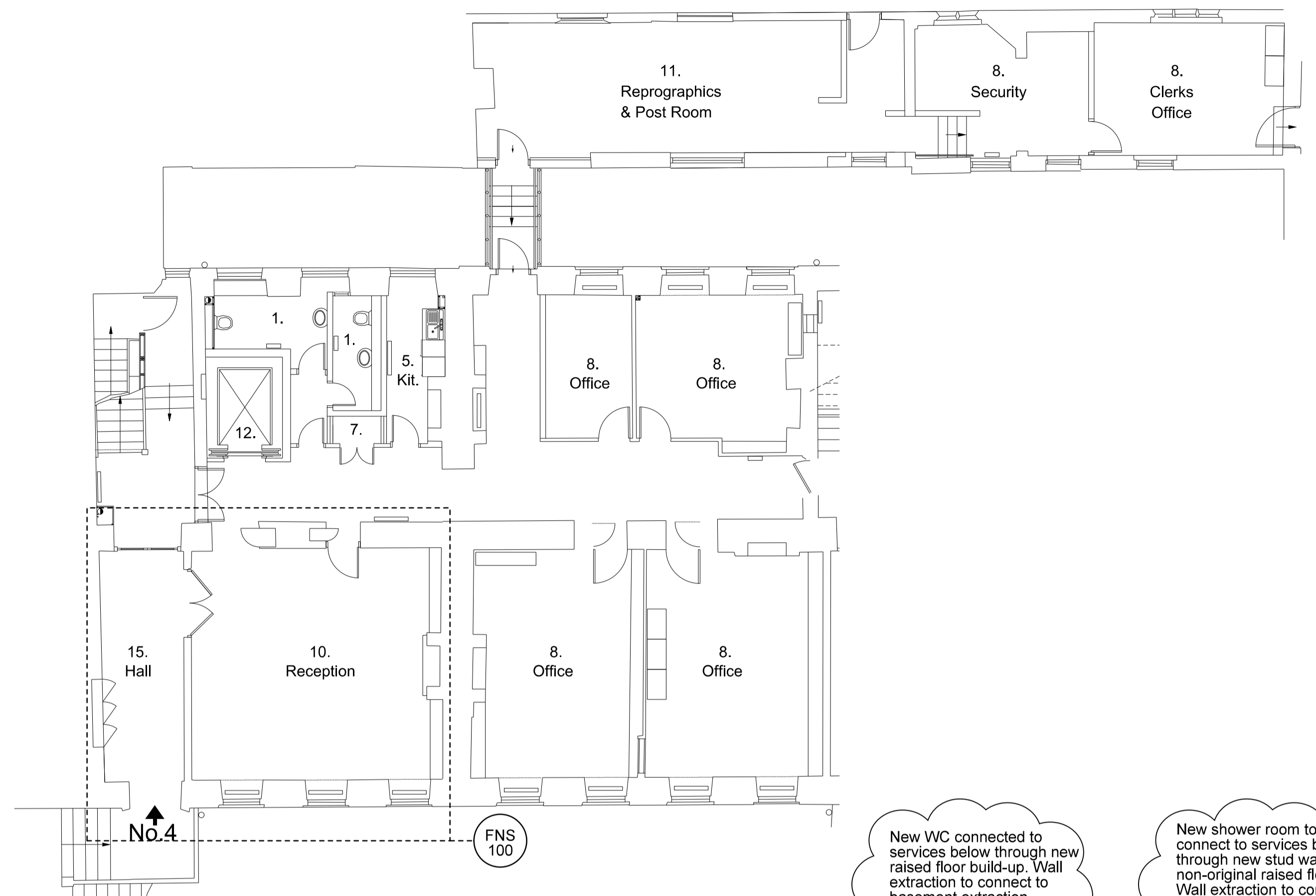
4. The designs are subject to approval by statutory authorities and any necessary alterations should be made if required to comply with statutory requirements.

Do not scale from this drawing. This drawing is not based on an accurate survey. DMR do not accept responsibility for dimensions taken from this drawing.

Contractor to check all building and site dimensions. This drawing is to be read and checked in conjunction with engineer's and other specialist drawings. The drawing and the works depicted are the copyright of this practice and may not be reproduced except by written permission.

Rev	Date	Notes
A	05.07.12	Ground Floor works as part of Phase 2
B	23.07.12	Entrance Hall & Reception works revised & services notes added

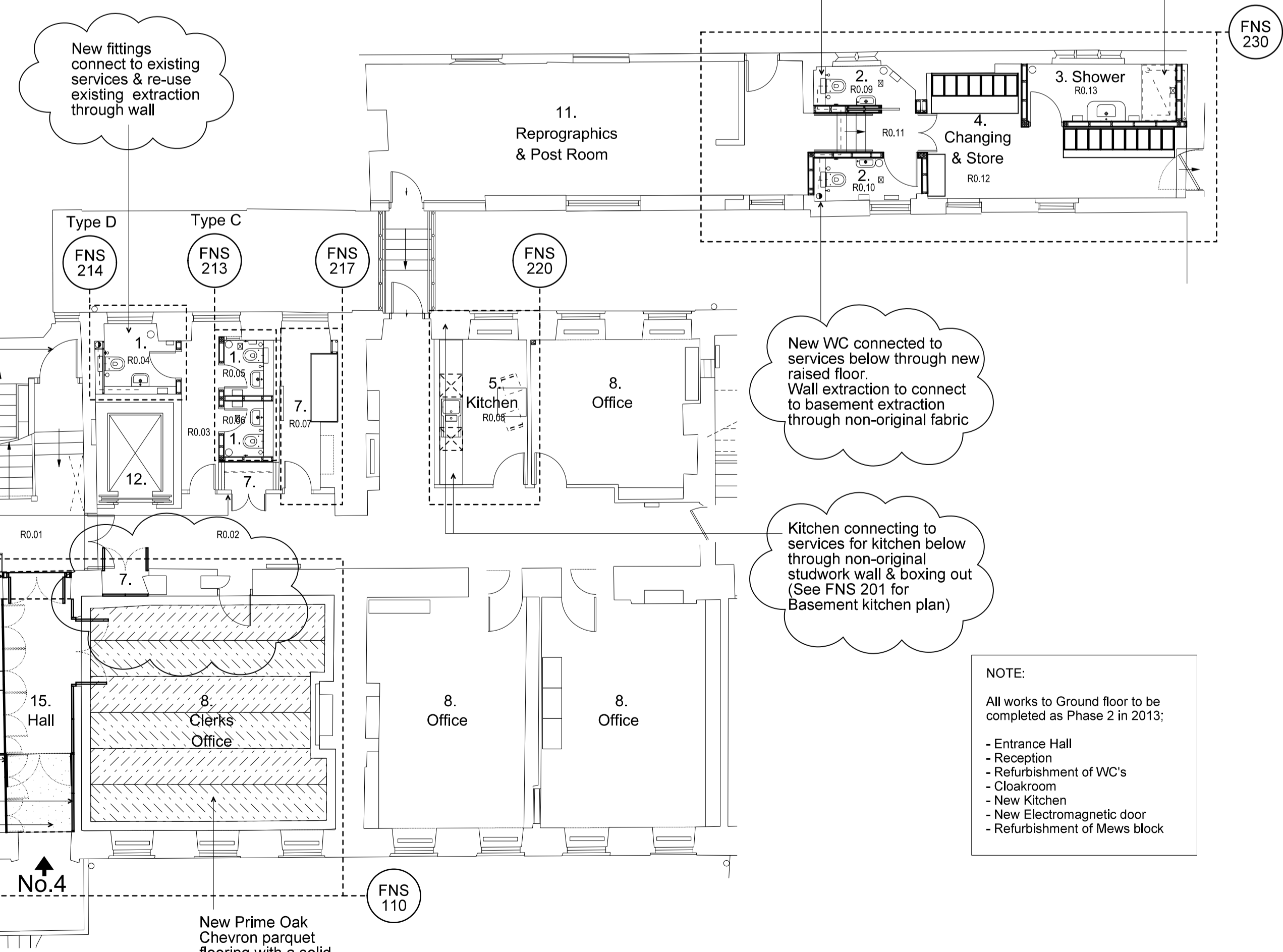
- KEY:**
1. WC
 2. Disabled WC
 3. Shower
 4. Changing
 5. Kitchen
 6. Tea Point
 7. Cupboard/ Store
 8. Office
 9. Conference Room
 10. Reception
 11. Reprographics
 12. Lift
 13. Lift Motor Room
 14. Plant
 15. Staff



EXISTING GROUND FLOOR PLAN

New WC connected to services below through new raised floor build-up. Wall extraction to connect to basement extraction through non-original fabric

New shower room to connect to services below through new stud walls and non-original raised floor. Wall extraction to connect to basement extraction through non-original fabric



PROPOSED GROUND FLOOR PLAN

New electromagnetic door to be held open (floor springs)

Existing cupboard and timber panelling to be retained as existing. False panel fitted to rear of cupboard to conceal pipework but allow access for maintenance

Existing black painted timber door and fanlight over to be retained

New painted tulip panelled cupboard doors - Front mounted entry fob, Fire Alarm panel and Fire documents relocated and incorporated within new cupboards whilst maintaining visibility to display panel

New automatic opening frameless glass door 10mm toughened glass

New painted tulip panelling

New coir entrance mat

New Prime Oak Chevron parquet flooring with a solid border

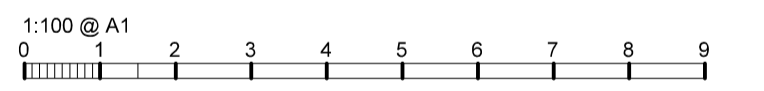
New WC connected to services below through new raised floor. Wall extraction to connect to basement extraction through non-original fabric

Kitchen connecting to services for kitchen below through non-original studwork wall & boxing out (See FNS 201 for Basement kitchen plan)

NOTE:

All works to Ground floor to be completed as Phase 2 in 2013;

- Entrance Hall
- Reception
- Refurbishment of WC's
- Cloakroom
- New Kitchen
- New Electromagnetic door
- Refurbishment of Mews block



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EXISTING & PROPOSED
GROUND FLOOR PLAN

APPROX. 30.09.11
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FNS 202 B