



INTERNAL LAYOUTS ARE ONLY INDICATIVE

----- AREA B BOUNDARY

----- BOUNDARY OF OUTLINE APPLICATION

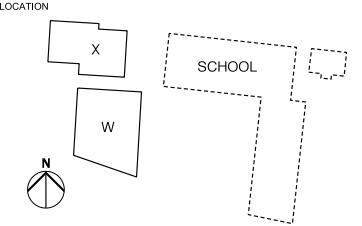


WILDFLOWER SEDUM ROOF

REV	DATE	DESCRIPTION
A	17/08/2011	Revisions from Access and M&E comments
-	26/06/2011	Detailed Residential Layouts for comment and co-ordination

NOTE

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job title
HAWLEY WHARF

drawing title / location
PRELIMINARY FOURTH FLOOR PLAN

drawn by	checked	scale	status
MM	WL	1:200 @ A1; 1:400 @ A3	PRELIMINARY
project	zone	source	drawing no.
09175	S	- P	B4004
			revision
			A

Fully fitted out includes accessible kitchens, bathrooms, grab rails etc. It only applies to the affordable aspect and the market units can still be easily adaptable as before. Housing will be able to provide full details of all the features they require.

Regards

Michelle Horn
Access Officer (Mon - Wed)

Telephone: 020 7974 5124

From: Mei-Yee Man [<mailto:Mei-Yee.Man@arup.com>]
Sent: 17 November 2010 09:40
To: Horn, Michelle
Subject: RE: Access Query / Confirmation

Hi Michelle

Thanks for the confirmation of issues.
One point for clarification on the below – when you say that the 10% affordable wheelchair housing should be fitted out from the outset, does this include items such as the accessible kitchen units and sanitary furniture within the bathrooms, or is this something that can still be provided upon request of the buyer and / or as a future addition as required?

Kind regards

Mei

Mei-Yee Man
Senior Accessible Environments Consultant

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From: Horn, Michelle [<mailto:Michelle.Horn@camden.gov.uk>]
Sent: 17 November 2010 08:40
To: Mei-Yee Man
Subject: RE: Access Query / Confirmation

Hi Mei

I am not sure if you are aware but our planning policy (DP6) has just changed in respect of wheelchair units. We now require the 10% in affordable housing to be fully fitted out from the outset so this may have some implications on the choice of units particularly the inclusion of a duplex unit.

In respect of the location of units we don't specify what size units we would want however we generally don't recommend duplexes for wheelchair accommodation, especially as you will now have to install a lift from the outset.

Camden is looking to adopt new guidance on wheelchair housing which is based on the Greenwich standards for all affordable housing. This has not yet been agreed and adopted but I believe it is currently being looked at so that it can be referred to in our planning guidance due to be released in Jan/Feb.

We will also be following the new Lifetime homes guidance from mid January so you may want to bear that in mind when assessing the proposals particularly where it has space implications in bedrooms etc.

Kind Regards

Michelle Horn
Access Officer (Mon - Wed)

Telephone: 020 7974 5124

From: Mei-Yee Man [<mailto:Mei-Yee.Man@arup.com>]
Sent: 16 November 2010 16:48
To: Horn, Michelle
Subject: Access Query / Confirmation

Hi Michelle

Hope you're well
Was wondering if you could assist with an informal query regarding a project I am working on at present.
It is for Camden Lock Hawley Wharf (planning application not yet made – due to be submitted in the new year), and following a meeting with the architects, there were a couple of items which they wanted confirmation over.

1. The residential scheme proposes 100% Lifetime Homes and 10% wheelchair accessible.
Please find attached a schedule of the proposed units and proposed wheelchair accessible allocation. Is this acceptable?
2. Are there any other London Borough of Camden specific guidance documents in relation to wheelchair housing, or is the Habinteg Wheelchair Housing Design Guide sufficient? (something that someone on the design team had heard a rumour of...)

Thank you in advance for your time

Kind regards

Mei

Mei-Yee Man

Senior Accessible Environments Consultant

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Camden Lock – Residential Layout Schedule

Addendum to the Access Statement for Planning

Accessible Environments

23/02/2012 - note that this review was conducted at the previous application, and has not changed for this submission. The drawings at the end of this review have been updated to show the latest outline school.

Introduction

This schedule has been produced following the submission of the Planning Application, and subsequent discussions between the design team and the London Borough of Camden (LBC). These discussions have resulted in changes to the following residential units:

- **X.G.1** Maisonette (Lifetime Homes)
- **W.G.1** and **W.G.2** Maisonette (Lifetime Homes)
Note that these two units are mirror images of one another.
- **X.1.2** (Wheelchair Accessible)

See following plans.

All other units have remained unchanged.

This schedule assesses the above four units against the Lifetime Homes and Greenwich wheelchair housing standards^{*NOTE 1)}, and should be read in conjunction with the Access Statement for Planning.

^{*NOTE 1}
Wheelchair housing design within London should adhere to the London Plan requirements. This references the Habinteg 'Wheelchair Housing Design Guide'. This is also in line with the Camden Planning Guidance 2011, in particular CPG 2 – Housing (Section 5.24):

"All wheelchair housing should be designed in accordance with the standards set out in the nationally recognised Habinteg Wheelchair Housing Design Guide (WHDG)."

For the Camden Lock project, the team liaised with the London Borough of Camden's Access Officer, Michelle Horne, in November 2010 (correspondence included at the end of this document). From this discussion, we understood that Camden were looking to adopt new guidance on wheelchair housing which would be based on the Greenwich standards for all affordable housing.

It was therefore agreed that the Greenwich *"Guidelines to achieve the necessary standards for wheelchair user's dwellings"* (June 2010) would be adopted for this project, taking precedence over and above the Habinteg document as well as the Camden "Wheelchair Housing Design Brief" (2010).

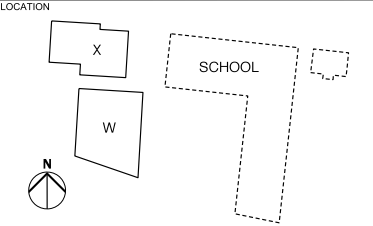


INTERNAL LAYOUTS ARE INDICATIVE

C	11/12/2011	PLANNING
B	16/09/2011	Revisions from Client Review
A	17/08/2011	Revisions from Access and M&E comments
-	26/06/2011	Detailed Residential Layouts for comment and co-ordination
REV	DATE	

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job title
HAWLEY WHARF

drawing title / location
PROPOSED SECOND FLOOR PLAN

drawn by	checked	scale	status	
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project	zone	source	C/S/B ref	revision
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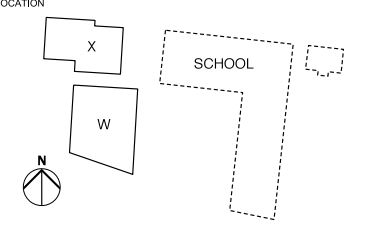
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job title
HAWLEY WHARF

drawing title / location
PROPOSED FOURTH FLOOR PLAN

drawn by	checked	scale		status		
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project		zone	source	CI/SIB ref	drawing no.	revision
09175		S	-	P	B4004	C



INTERNAL LAYOUTS ARE INDICATIVE

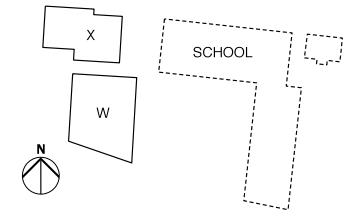
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LOCATION

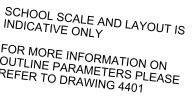


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drawing title / location
PROPOSED SIXTH PLAN

drawn by	checked	scale	status
MM	WL	1:200@A1; 1:400@A3	PLANNING
project	zone	source	CI/SIB ref
09175	S	-	P
			drawing no.
			B4006
			revision
			B



B	16/09/2011	Revisions from Client Review
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LOCATION

X

SCHOOL

W

N

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job title	HAWLEY WHARF
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drawing title / location
PROPOSED EIGHTH FLOOR PLAN

drawn by MM	checked WL	scale 1:200@A1; 1:400@A3			status PLANNING	
project 09175		zone S	source -	CI/SfB ref P	drawing no. B4008	revision B

Wheelchair Accessible Units – Checklist

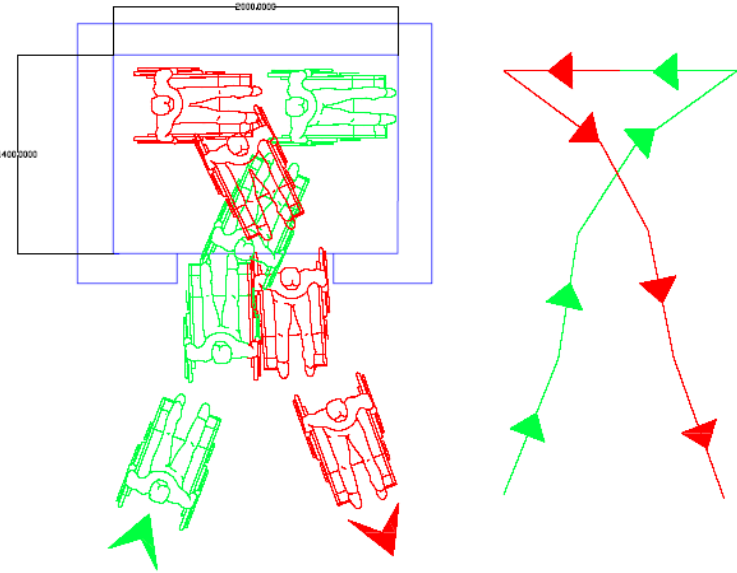
*When providing the minimum dimensions for access recommended within the guidance documents, consideration must be given to the proposed or intended finishes. Finishes can reduce the overall dimension and detrimentally affect access to and from spaces for disabled people – for example, the reduction of corridor clear widths after plasterboards and wall finishes have been applied. Failure to consider this within the design may result in non-compliance with statutory regulations.

Note

- ‘clear opening width’ within the Greenwich standards refers to the width between the door frame and the door leaf. It does not take into account door opening furniture. However, please ensure that at least 800mm has been achieved between the door handle and frames, as per the Habinteg ‘Wheelchair Housing Design Guide’.
- By meeting the Lifetime Homes standards, it follows that the space requirements of the London Housing Design Guide have also been achieved.
- The team liaised with the London Borough of Camden’s Access Officer, Michelle Horne, in November 2010 (correspondence included at the end of this document). From this discussion, we understood that Camden were looking to adopt new guidance on wheelchair housing which would be based on the Greenwich standards for all affordable housing.

It was therefore agreed that the Greenwich “Guidelines to achieve the necessary standards for wheelchair user’s dwellings” (June 2010) would be adopted for this project, taking precedence over and above the Habinteg document as well as the Camden “Wheelchair Housing Design Brief” (2010).

Wheelchair Accessible Requirement	Compliance	Notes
<p>1. Moving Around Outside:</p> <p>Footpaths require a 1200mm minimum clear width (1800mm preferred); 1000mm is required to clear obstacles.</p> <p>Protective edgings, kerbs or rails are required where there are significant changes of levels between access routes and adjacent ground.</p> <p>Graded routes should be designed to comply with Approved Document Part M, with crossfalls no greater than 1:50.</p> <p>Crossing points should have flush junctions or shallow gradients to avoid channels or gratings which could trap wheels or footrests. 1000mm minimum clear width for dropped kerbs required, with slip resistant surface and gradient no steeper than 1:12.</p>	Compliant for all wheelchair accessible housing units	<p>All approaches to entrances within the Camden Lock Village development will be gently sloping, in accordance with BS 8300 Section 5.4:</p> <p><i>“It is assumed that a gradient of 1:60 or less steep is level; steeper than 1:60 (but less steep than 1:20) is gently sloping and 1:20 or steeper is a ramp. Where an access route has a gradient steeper than 1:60, not as steep as 1:20, it should have a level landing for each 500mm rise of the access route.”</i></p> <p>This is with the exception of the Maisonettes in Building W, discussed within the Lifetime Homes schedule below.</p>
<p>2. Using Outdoor Spaces:</p> <p>Where gardens are provided the gate should have a minimum clear opening width of 900mm, with its locking mechanism 900-1000mm from the floor. Gate should be operable from both sides and not spring loaded. Gardens should be accessible throughout.</p> <p>Balconies should be level and a 1500mm minimum turning circle (unobstructed) usable space clear of door swings should be provided. Door to balcony should provide a clear opening width of 900mm.</p> <p>Refuse areas should be accessible or managed accordingly.</p>	Compliant	<p>Where balconies and gardens are provided, these are accessible as described within the Greenwich Housing guide.</p> <p>Refuse areas will be developed further in subsequent stages, and will be accessible (including routes to and from, as well as within the refuse space itself).</p> <p>A number of communal hard play areas / gardens will be provided on the Ground Floor for throughout the site. All areas will be developed in</p>

		subsequent design stages, but it is proposed that accessibility will be achieved and maintained in all of these areas.
<p>3. Approaching The Home:</p> <p>At least one wheelchair accessible parking bay should be provided, 4000mm by 6600mm, height 2300mm) per wheelchair accessible apartment. A covered parking space should be provided for all ground level wheelchair accessible dwelling with a direct external entrance.</p> <p>The distance from the car parking space to the home should be kept to a minimum and should be level or gently sloping.</p> <p>Where car parking is behind automatic gates, hand held remote controls are required for disabled residents.</p> <p>Lighting between car parking and entrance should be Passive Infra-Red (PIR) detector and internal switching.</p> <p>Avoid ramps to the entrance if possible; where unavoidable, ramps should be no steeper than 1:15 over 5m.</p> <p>Entrances should be weather protected over an area of 1200mm by 1500mm, extending 550mm from the lock side, and should have a clear headroom of 2.3m. Entrances should also be well illuminated.</p> <p>Entrance landings should be 1500mm by 1500mm, with a 1200mm depth clear of any outward door swing and extending 550mm from the lock side.</p> <p>Where wheelchair accessible units are above ground, at least two lifts compliant with BS 8300 should be provided suitable for at least one ambulant disabled person and two wheelchair users. It should be noted that the following are preferred*:</p> <p>PREFERRED LIFT DIMENSION: 2000 MM WIDE, 1400 MM DEEP</p> 	Compliant where provided, discussed with LBC	<p>The scheme aims to encourage access to the development by means of walking, cycling and public transport, as per the London Borough of Camden's UDP. Parking provision within the site is therefore limited.</p> <p>One accessible car parking bay has been provided on Site B, for use by residents of the development, who require an accessible bay. This will be allocated on a first come first served basis. The car parking bay will have dimensions in accordance with the guidance, and will be accessible directly from the street.</p> <p>The provision of wheelchair accessible parking for residents has been discussed and agreed in principle with Sara Whelan (Planning Officer, LBC), at a meeting with LBC on Tuesday 31st January 2012, as well as within an email dated 2nd February 2012 (regarding changes to the scheme and the affect on the number of accessible bays). Correspondence included at the end of this document.</p> <p>All approaches to the entrances will be as per BS 8300 Section 5.4:</p> <p><i>"It is assumed that a gradient of 1:60 or less steep is level; steeper than 1:60 (but less steep than 1:20) is gently sloping and 1:20 or steeper is a ramp. Where an access route has a gradient steeper than 1:60, not as steep as 1:20, it should have a level landing for each 500mm rise of the access route."</i></p> <p>Communal entrances will be designed to the guidance set out in the Greenwich Housing standards.</p> <p>The passenger lifts throughout the development will have an internal dimension of no less than of 1100 mm x 1400 mm, in accordance with BS 8300 and Approved Document M. Where the lifts require a wheelchair user to reverse out (i.e. where it is not a through-lift), a mirror will be provided on the rear wall of each lift car to assist with this.</p>

		Wherever possible, two lifts have been provided within each core, to accommodate redundancy (e.g. in the case of lift breakdown). A high maintenance strategy will be employed throughout the development to ensure that the lifts are in working order. Consideration will be given to the installation of Remote Monitoring Systems, which keep track of the status of the whole lift portfolio, allowing proactive visits to rectify intermittent faults before critical failures occur.
<p>4. Negotiating The Entrance Door:</p> <p>Entrance doors to wheelchair accessible apartments should have a minimum clear opening width of 900mm. For a door opening towards a wheelchair user the following should be provided:</p> <ul style="list-style-type: none"> • 550mm to the side of the leading edge of the door • An approach space extending 1800mm from the face of door <p>The threshold should be accessible and watertight.</p> <p>Locks should be provided at 800-900mm from the floor; door opening furniture should be operable with a closed fist and located at 900-1000mm from the floor.</p> <p>Levers and pull handles should be located 25mm from the door frame; the handles should have a diameter of 20-25mm, and should be 100mm in length with 45mm clearance from the door leaf.</p> <p>On the outer face of inward opening doors, an 800mm-1000mm high closing pull should be provided.</p> <p>Openers should be installed where opening forces exceed 20N. Elsewhere, provision should be made for the installation of a remote controlled door opener as an adaptation.</p> <p>Entry phones should be located 300mm clear from any internal corners and at a height of 1000mm to the lower button; the highest function button should be located no higher than 1200mm. Entry phone to communal front door to have table top handsets with 2m cable in the living room and bedroom, and to be wall fixed in the kitchen (800mm height).</p> <p>Bells should be provided at 800-900mm from the floor on the lock side, 300mm clear of corners.</p> <p>Spy holes should be located centrally at a height of 1150mm.</p>	Compliant	<p>Doors to the wheelchair accessible apartments will be designed as per the guidance, achieving the 900mm clear opening width, with a 550mm nib to the leading edge of the door, and sufficient approach space.</p> <p>Details such as locks, door furniture, openers, entry phones, bells and spy holes will be developed further in subsequent stages, in accordance with the Greenwich Housing requirements.</p>
<p>5. Entering And Leaving; Dealing With Callers:</p> <p>A 1500mm by 1200mm space, with height of 1500mm, should be provided to allow a wheelchair user to transfer to a second chair, close to entrance to limit transfer of dirt and water into the dwelling (living room / bedroom location not acceptable).</p>	Compliant	The entrance halls within the wheelchair accessible apartments accommodate sufficient space for transfer to a second chair, as described within the requirements. A storage area with dimensions of 1500mm by 1200mm has also been