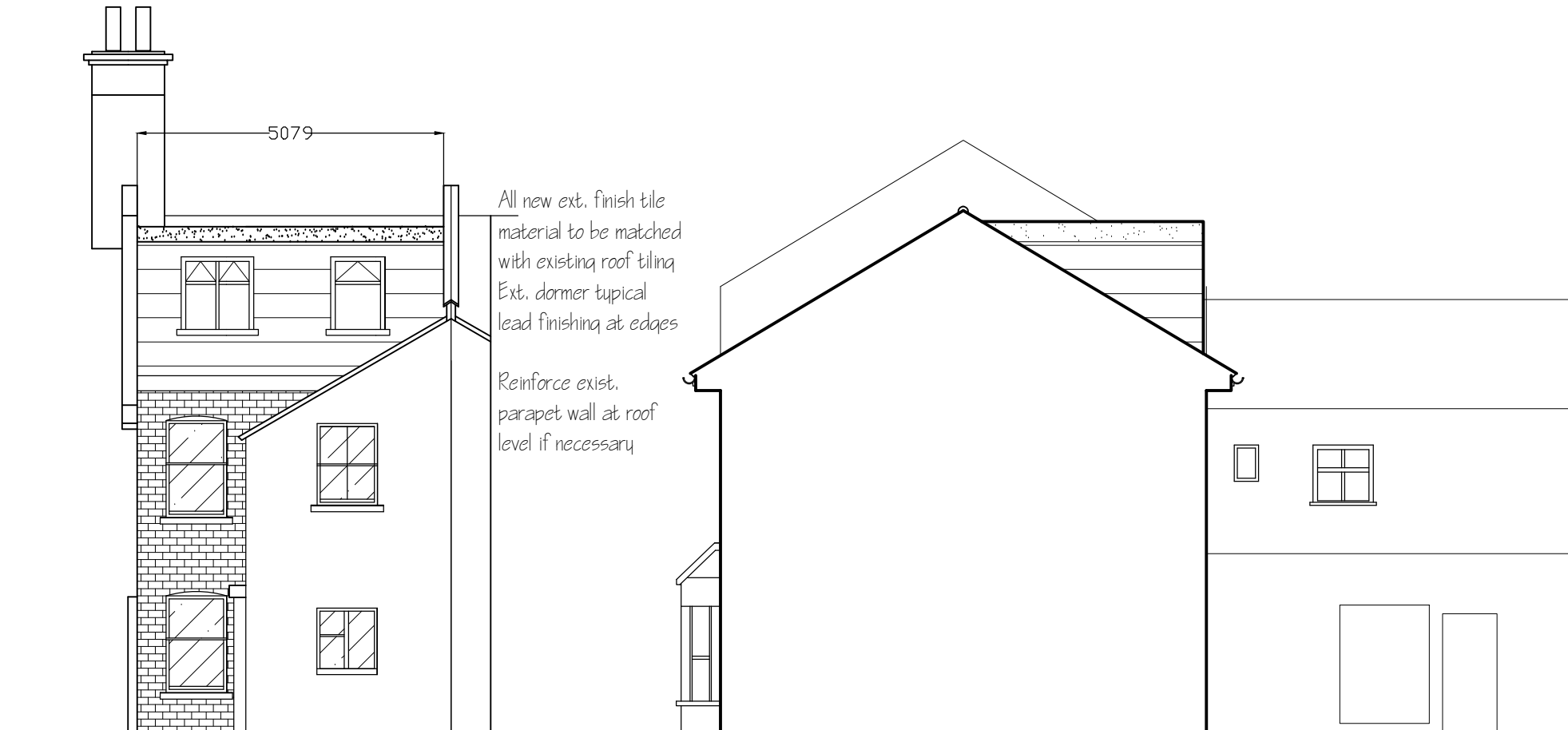




Existing Rear elevation

Proposed Front elevation

Existing East Facing elevation



Proposed Rear elevation

Proposed West Facing elevation

Loft construction. All work to comply with building regulations

Roof supports to be strengthened if required. Floor joist 200x50 @ 400 spacing with continuous noggins. Double the timber joists under the partition walls using bolts.

The new loft floor should be with mineral wool laid between the joists Min density 10kg/ m³. Use of joist with hangers. Double up rafters each side Velux Windows, Fit manufacturer provided trays at top and bottom

Strap roof joists to walls with 30x5 mm metal straps every fourth.

New windows to have min area equal to 10% of floor area. Half of which is to be openable, provide trickle vents to external windows and doors. The escape window to be minimum 450 mm high from finish floor level with unobstructable space 33 m³.

Floor beam and ridge beam calculations to be confirmed by engineer.

Vertical columns 152 x 152 x 23 below ridge Ridge beam 203 x 203 x 46 gr.43

Double beams bolted together equal spacing 203 x 203 x 30 UB to support chimney breasts.

Application for Lawful Development Certificate

Conversion of loft space via addition of dormer at
41 RAVENSHAW STREET, NW6 1NP

Date: 13.09.2012 Scale: 1:100

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