



ARCHITECT'S SCHEME DRAWINGS

DEMOLITION

58 Grafton Way, London W1T 5DL

prepared by Studio Downie Architects LLP

September 2012

29-31 Saffron Hill London EC1N 8SW
T:020 7269 7745 E: yourname@studiodownie.com

DRAWING ISSUE AND REGISTER

[illegible]



- General notes:**
- a.) (E) Indicates work carried out as part of enabling works
- b.) Existing plaster in poor condition to walls and ceiling to be removed and replastered ranging from spot works to entire areas such as third floor ceilings. All cornices to be repaired.
- c.) All fixings/ levelling to wood flooring to be checked before carpet laid
- d.) (E) Unless indicated all timber sash windows retained (indicated as WG) overhauled and prepared for painting including replacing sash cords and adding draught proofing strips
- e.) (E) All doors to be removed and overhauled and prepared for painting
All ironmongers retained or re-used as applicable
- f.) All interiors to be painted colours and ironmongery installed both to reflect the period of house
- g.) Fire places to be repaired and cleaned where required and retained in each room as existing
- h.) (E) All existing services to be removed. Service runs for heating/ electrical to be concealed within ceiling / floor void or walls where possible

- NOTES:**
1. New glazed wood door formed in existing window opening
 2. Lightwell floor raised 100 mm to provide level threshold from platform lift to Hallway
 3. Existing wall demolished
 4. Excavation for lift with possible associated foundation underpinning to rear wall of house
 5. (E) Stair removed and floor in filled
 6. Fittings removed
 7. Existing opening blocked in
 8. Existing poor render at low level to be removed and new render finish applied
 9. Floor / Ceiling adjusted for services risers. New wall erected and existing cornice moved on to this wall
 10. New opening with wood panelled door to match existing doors
 11. Platform lift installed with shallow pit
 12. Roof light removed
 13. Narrow slot formed in existing floor to install flush heating grille
 14. Existing roof light altered to form access hatch to roof
 15. Existing roof slates to be replaced where required
 16. Bulkhead removed to bring wall back to former setting. Cornices to be extended
 17. (E) Shelving removed
 18. Strengthening of existing roof and floor timber structure as structural engineers details included in application
 19. New roof light formed
 21. Pipe ducts installed below existing stone floor for main services routes to plant and services risers
 22. New opening for services route - see structural engineers detail
 23. Hatch removed
 24. Stair removed with new stair arrangement to accommodate platform lift installation
 25. New gate adjusted/ formed to match existing railings to provide access to platform lift and new stair position
 26. New plasterboard wall

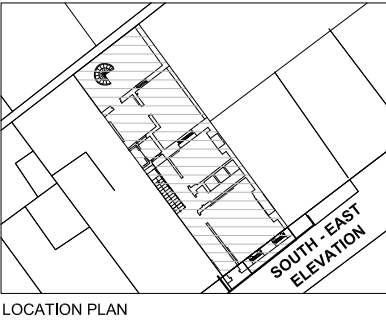
KEY :		
	Indicates location of proposed future works	
3.04	Room Number	
F3.02	Existing Fire place	
W3.04	Existing Window	
	Existing Door	

ALL DIMENSIONS SUBJECT TO MEASURED SURVEY

JOB TITLE Miranda House 58 Grafton Way London W1T 5DL		JOB NO. 240	DRWG. TITLE Demolition: South-East Elevation	STATUS Listed Building Consent + Full Planning Application	
A	28/09/12		DRWG. NO. 240 / PD / 111 (A3 ORIGINAL FORMAT)	REV: A	SCALE: 1:100
Studiowdownie		TEL: +44 (0) 20 7269 7745	All dimensions to be checked on site by the Contractor and confirmed with the Architect prior to construction. Do not scale off this drawing.	Drawn by: MV	DATE: 01/06/12
ARCHITECTS LLP		info@studiowdownie.com			

DATUM (23.00 M A.O.D.)

DEMOLITION: SOUTH EAST ELEVATION - 1:100 @ A3; - 1:50 @ A1



General notes:

a.) (E) Indicates work carried out as part of enabling works

b.) Existing plaster in poor condition to walls and ceiling to be removed and replastered ranging from spot works to entire areas such as third floor ceilings. All cornices to be repaired.

c.) All fixings/ levelling to wood flooring to be checked before carpet laid

d.) (E) Unless indicated all timber sash windows retained (indicated as WG) overhauled and prepared for painting including replacing sash cords and adding draught proofing strips

e.) (E) All doors to be removed and overhauled and prepared for painting
All ironmongers retained or re-used as applicable

f.) All interiors to be painted colours and ironmongery installed both to reflect the period of house






g.) Fire places to be repaired and cleaned where required and retained in each room as existing

h.) (E) All existing services to be removed. Service runs for heating/ electrical to be concealed within ceiling / floor void or walls where possible

NOTES:

1. New glazed wood door formed in existing window opening
2. Lightwell floor raised 100 mm to provide level threshold from platform lift to Hallway
3. Existing wall demolished
4. Excavation for lift with possible associated foundation underpinning to rear wall of house
5. (E) Stair removed and floor in filled
6. Fittings removed
7. Existing opening blocked in
8. Existing poor render at low level to be removed and new render finish applied
9. Floor / Ceiling adjusted for services risers. New wall erected and existing cornice moved on to this wall
10. New opening with wood panelled door to match existing doors
11. Platform lift installed with shallow pit
12. Roof light removed
13. Narrow slot formed in existing floor to install flush heating grille
14. Existing roof light altered to form access hatch to roof
15. Existing roof slates to be replaced where required
16. Bulkhead removed to bring wall back to former setting. Cornices to be extended
17. (E) Shelving removed
18. Strengthening of existing roof and floor timber structure as structural engineer details included in application
19. New roof light formed
21. Pipe ducts installed below existing stone floor for main services routes to plant and services risers
22. New opening for services route - see structural engineers detail
23. Hatch removed
24. Stair removed with new stair arrangement to accommodate platform lift installation
25. New gate adjusted/ formed to match existing railings to provide access to platform lift and new stair position
26. New plasterboard wall

KEY :

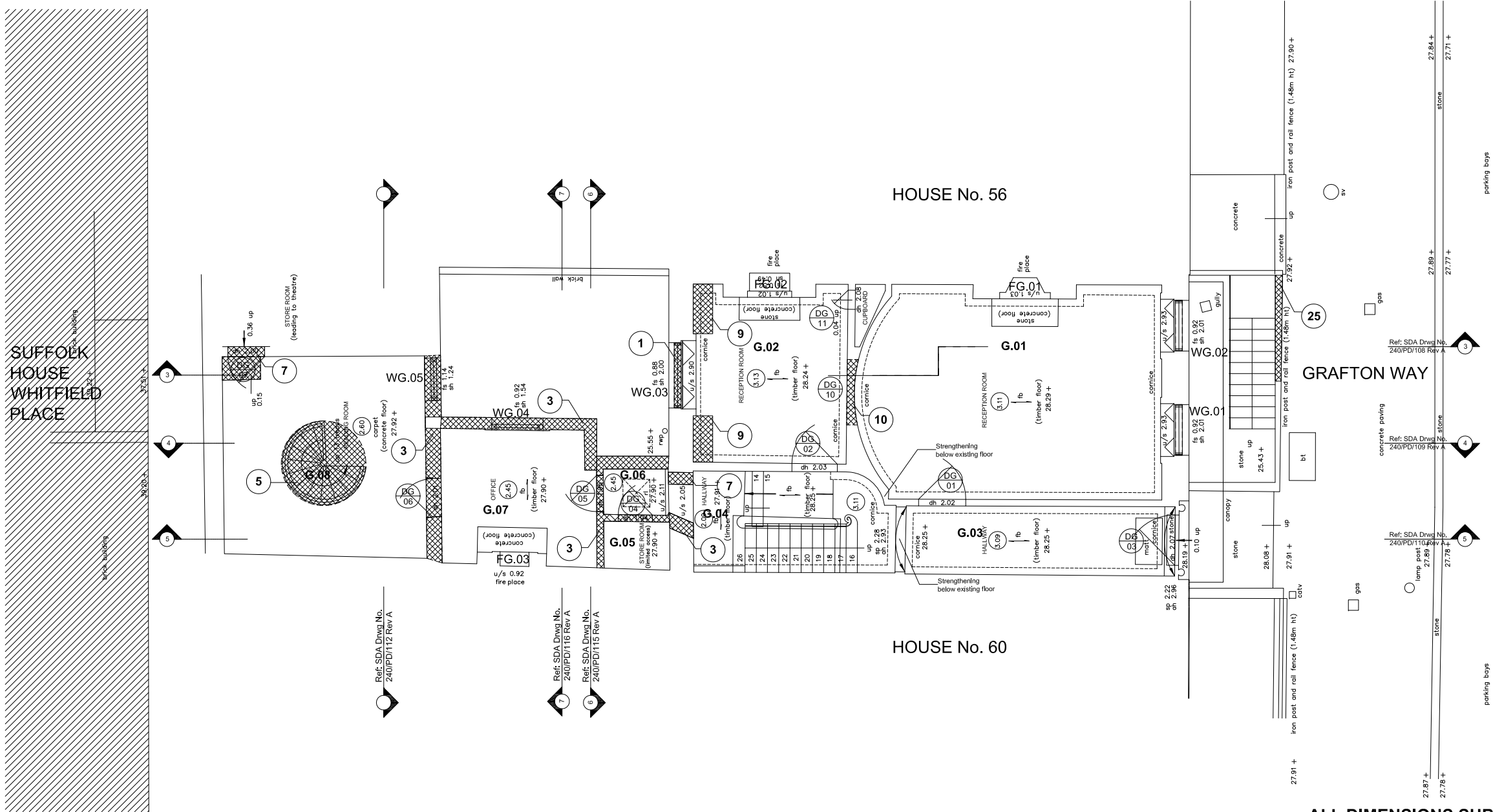
- | | | | |
|---|---|---|---------------------|
|  | Indicates location of proposed future works | LG.04 | Room Number |
|  | | FLG.02 | Existing Fire place |
|  | | WLG.04 | Existing window |
|  | |  | Existing Door |

ALL DIMENSIONS SUBJECT TO MEASURED SURVEY

JOB TITLE Miranda House 58 Grafton Way London W1T 5DL		JOB NO. 240	DRWG. TITLE Demolition: Lower Ground Floor Plan	STATUS Listed Building Consent + Full Planning Application	
A	28/09/12		DRWG. NO. 240 / PD / 101 (A3 ORIGINAL FORMAT)	REV: A	SCALE: 1:100
Studiodownie		TEL: +44 (0) 20 7269 7745	All dimensions to be checked on site by the Contractor and confirmed with the Architect prior to construction. Do not scale off this drawing.	Drawn by: MV	DATE: 01/06/12
ARCHITECTS LLP		info@studiodownie.com			

DEMOLITION: LOWER GROUND FLOOR PLAN - 1:100 @ A3; - 1:50 @ A1

DEMOLITION: GROUND FLOOR PLAN - 1:100 @ A3; - 1:50 @ A1



General notes:

- a.) (E) Indicates work carried out as part of enabling works
- b.) Existing plaster in poor condition to walls and ceiling to be removed and replastered ranging from spot works to entire areas such as third floor ceilings. All cornices to be repaired.
- c.) All fixings/ levelling to wood flooring to be checked before carpet laid
- d.) (E) Unless indicated all timber sash windows retained (indicated as WG) overhauled and prepared for painting including replacing sash cords and adding draught proofing strips
- e.) (E) All doors to be removed and overhauled and prepared for painting
All ironmongers retained or re-used as applicable
- f.) All interiors to be painted colours and ironmongery installed both to reflect the period of house
- g.) Fire places to be repaired and cleaned where required and retained in each room as existing
- h.) (E) All existing services to be removed. Service runs for heating/ electrical to be concealed within ceiling / floor void or walls where possible

NOTES:

1. New glazed wood door formed in existing window opening
2. Lightwell floor raised 100 mm to provide level threshold from platform lift to Hallway
3. Existing wall demolished
4. Excavation for lift with possible associated foundation underpinning to rear wall of house
5. (E) Stair removed and floor in filled
6. Fittings removed
7. Existing opening blocked in
8. Existing poor render at low level to be removed and new render finish applied
9. Floor / Ceiling adjusted for services risers. New wall erected and existing cornice moved on to this wall
10. New opening with wood panelled door to match existing doors
11. Platform lift installed with shallow pit
12. Roof light removed
13. Narrow slot formed in existing floor to install flush heating grille
14. Existing roof light altered to form access hatch to roof
15. Existing roof slates to be replaced where required
16. Bulkhead removed to bring wall back to former setting. Cornices to be extended
17. (E) Shelving removed
18. Strengthening of existing roof and floor timber structure as structural engineers details included in application
19. New roof light formed
21. Pipe ducts installed below existing stone floor for main services routes to plant and services risers
22. New opening for services route - see structural engineers detail
23. Hatch removed
24. Stair removed with new stair arrangement to accommodate platform lift installation
25. New gate adjusted/ formed to match existing railings to provide access to platform lift and new stair position
26. New plasterboard wall

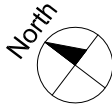
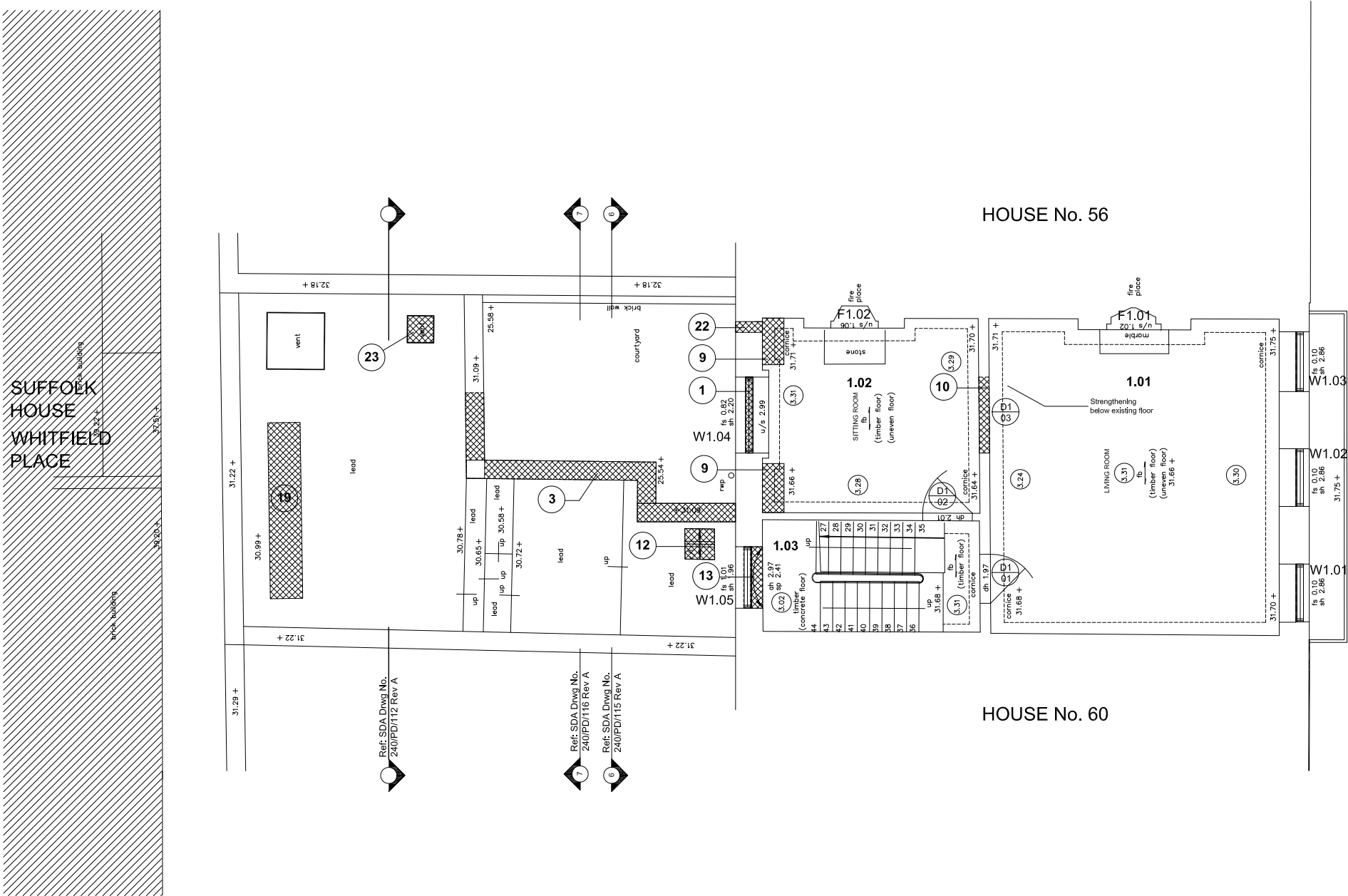
KEY :

- Indicates location of proposed future works
- G.04** Room Number
- FG.02** Existing fire place
- WG.04** Existing window
- Existing door

ALL DIMENSIONS SUBJECT TO MEASURED SURVEY

JOB TITLE		JOB NO.	DRWG. TITLE	STATUS	
Miranda House 58 Grafton Way London W1T 5DL		240	Demolition: Ground Floor Plan	Listed Building Consent + Full Planning Application	
A	28/09/12		DRWG. NO.	REV:	SCALE:
			240 / PD / 102	A	1:100
			(A3 ORIGINAL FORMAT)		
Studidownie	TEL: +44 (0) 20 7269 7745	All dimensions to be checked on site by the Contractor and confirmed with the Architect prior to construction. Do not scale off this drawing.	Drawn by:	DATE:	
ARCHITECTS LLP	info@studidownie.com		MV	01/06/12	

DEMOLITION: FIRST FLOOR PLAN - 1:100 @ A3; - 1:50 @ A1



General notes:

a.) (E) Indicates work carried out as part of enabling works

b.) Existing plaster in poor condition to walls and ceiling to be removed and replastered ranging from spot works to entire areas such as third floor ceilings. All cornices to be repaired.

c.) All fixings/ levelling to wood flooring to be checked before carpet laid

d.) (E) Unless indicated all timber sash windows retained (indicated as WG) overhauled and prepared for painting including replacing sash cords and adding draught proofing strips

e.) (E) All doors to be removed and overhauled and prepared for painting
All ironmongers retained or re-used as applicable

f.) All interiors to be painted colours and ironmongery installed both to reflect the period of house

g.) Fire places to be repaired and cleaned where required and retained in each room as existing

h.) (E) All existing services to be removed. Service runs for heating/ electrical to be concealed within ceiling / floor void or walls where possible

NOTES:

1. New glazed wood door formed in existing window opening
2. Lightwell floor raised 100 mm to provide level threshold from platform lift to Hallway
3. Existing wall demolished
4. Excavation for lift with possible associated foundation underpinning to rear wall of house
5. (E) Stair removed and floor in filled
6. Fittings removed
7. Existing opening blocked in
8. Existing poor render at low level to be removed and new render finish applied
9. Floor / Ceiling adjusted for services risers. New wall erected and existing cornice moved on to this wall
10. New opening with wood panelled door to match existing doors
11. Platform lift installed with shallow pit
12. Roof light removed
13. Narrow slot formed in existing floor to install flush heating grille
14. Existing roof light altered to form access hatch to roof
15. Existing roof slates to be replaced where required
16. Bulkhead removed to bring wall back to former setting. Cornices to be extended
17. (E) Shelving removed
18. Strengthening of existing roof and floor timber structure as structural engineers details included in application
19. New roof light formed
21. Pipe ducts installed below existing stone floor for main services routes to plant and services risers
22. New opening for services route - see structural engineers detail
23. Hatch removed
24. Stair removed with new stair arrangement to accommodate platform lift installation
25. New gate adjusted/ formed to match existing railings to provide access to platform lift and new stair position
26. New plasterboard wall

KEY :

Indicates location of proposed future works

1.04

Room Number

F1.02

Existing fire place

W1.04

Existing window

D1
12

Existing door

ALL DIMENSIONS SUBJECT TO MEASURED SURVEY

JOB TITLE			JOB NO.	DRWG. TITLE	STATUS	
Miranda House 58 Grafton Way London W1T 5DL			240	Demolition: First Floor Plan	Listed Building Consent + Full Planning Application	
A	28/09/12			DRWG. NO.	REV:	SCALE:
				240 / PD / 103	A	1:100
				(A3 ORIGINAL FORMAT)		
Studiowdownie		TEL: +44 (0) 20 7269 7745	All dimensions to be checked on site by the Contractor and confirmed with the Architect prior to construction. Do not scale off this drawing.		Drawn by:	DATE:
ARCHITECTS LLP		info@studiowdownie.com			MV	01/06/12

General notes:

a.) (E) Indicates work carried out as part of enabling works

b.) Existing plaster in poor condition to walls and ceiling to be removed and replastered ranging from spot works to entire areas such as third floor ceilings. All cornices to be repaired.

c.) All fixings/ levelling to wood flooring to be checked before carpet laid

d.) (E) Unless indicated all timber sash windows retained (indicated as WG) overhauled and prepared for painting including replacing sash cords and adding draught proofing strips

e.) (E) All doors to be removed and overhauled and prepared for painting
All ironmongers retained or re-used as applicable

f.) All interiors to be painted colours and ironmongery installed both to reflect the period of house

g.) Fire places to be repaired and cleaned where required and retained in each room as existing

h.) (E) All existing services to be removed. Service runs for heating/ electrical to be concealed within ceiling / floor void or walls where possible

NOTES:

1. New glazed wood door formed in existing window opening
2. Lightwell floor raised 100 mm to provide level threshold from platform lift to Hallway
3. Existing wall demolished
4. Excavation for lift with possible associated foundation underpinning to rear wall of house
5. (E) Stair removed and floor in filled
6. Fittings removed
7. Existing opening blocked in
8. Existing poor render at low level to be removed and new render finish applied
9. Floor / Ceiling adjusted for services risers. New wall erected and existing cornice moved on to this wall
10. New opening with wood panelled door to match existing doors
11. Platform lift installed with shallow pit
12. Roof light removed
13. Narrow slot formed in existing floor to install flush heating grille
14. Existing roof light altered to form access hatch to roof
15. Existing roof slates to be replaced where required
16. Bulkhead removed to bring wall back to former setting. Cornices to be extended
17. (E) Shelving removed
18. Strengthening of existing roof and floor timber structure as structural engineers details included in application
19. New roof light formed
21. Pipe ducts installed below existing stone floor for main services routes to plant and services risers
22. New opening for services route - see structural engineers detail
23. Hatch removed
24. Stair removed with new stair arrangement to accommodate platform lift installation
25. New gate adjusted/ formed to match existing railings to provide access to platform lift and new stair position
26. New plasterboard wall

KEY :



Indicates location of proposed future works

2.04

Room Number

F2.02

Existing fire place

W2.04

Existing window



Existing door

ALL DIMENSIONS SUBJECT TO MEASURED SURVEY

JOB TITLE Miranda House 58 Grafton Way London W1T 5DL		JOB NO. 240	DRWG. TITLE Demolition: Second Floor Plan	STATUS Listed Building Consent + Full Planning Application	
A	28/09/12		DRWG. NO. 240 / PD / 104 (A3 ORIGINAL FORMAT)	REV: A	SCALE: 1:100
Studiowdownie		TEL: +44 (0) 20 7269 7745	All dimensions to be checked on site by the Contractor and confirmed with the Architect prior to construction. Do not scale off this drawing.	Drawn by: MV	DATE: 01/06/12
ARCHITECTS LLP		info@studiowdownie.com			

DEMOLITION: SECOND FLOOR PLAN - 1:100 @ A3;- 1:50 @ A1

General notes:

a.) (E) Indicates work carried out as part of enabling works

b.) Existing plaster in poor condition to walls and ceiling to be removed and replastered ranging from spot works to entire areas such as third floor ceilings. All cornices to be repaired.

c.) All fixings/ levelling to wood flooring to be checked before carpet laid

d.) (E) Unless indicated all timber sash windows retained (indicated as WG) overhauled and prepared for painting including replacing sash cords and adding draught proofing strips

e.) (E) All doors to be removed and overhauled and prepared for painting
All ironmongers retained or re-used as applicable

f.) All interiors to be painted colours and ironmongery installed both to reflect the period of house

g.) Fire places to be repaired and cleaned where required and retained in each room as existing

h.) (E) All existing services to be removed. Service runs for heating/ electrical to be concealed within ceiling / floor void or walls where possible

NOTES:

1. New glazed wood door formed in existing window opening
2. Lightwell floor raised 100 mm to provide level threshold from platform lift to Hallway
3. Existing wall demolished
4. Excavation for lift with possible associated foundation underpinning to rear wall of house
5. (E) Stair removed and floor in filled
6. Fittings removed
7. Existing opening blocked in
8. Existing poor render at low level to be removed and new render finish applied
9. Floor / Ceiling adjusted for services risers. New wall erected and existing cornice moved on to this wall
10. New opening with wood panelled door to match existing doors
11. Platform lift installed with shallow pit
12. Roof light removed
13. Narrow slot formed in existing floor to install flush heating grille
14. Existing roof light altered to form access hatch to roof
15. Existing roof slates to be replaced where required
16. Bulkhead removed to bring wall back to former setting. Cornices to be extended
17. (E) Shelving removed
18. Strengthening of existing roof and floor timber structure as structural engineers details included in application
19. New roof light formed
21. Pipe ducts installed below existing stone floor for main services routes to plant and services risers
22. New opening for services route - see structural engineers detail
23. Hatch removed
24. Stair removed with new stair arrangement to accommodate platform lift installation
25. New gate adjusted/ formed to match existing railings to provide access to platform lift and new stair position
26. New plasterboard wall

KEY :

- Indicates location of proposed future works

3.04

Room Number

F3.02

Existing Fire place

W3.04

Existing window

D3
12

Existing Door

ALL DIMENSIONS SUBJECT TO MEASURED SURVEY

JOB TITLE Miranda House 58 Grafton Way London W1T 5DL			JOB NO. 240	DRWG. TITLE Demolition: Third Floor Plan	STATUS Listed Building Consent + Full Planning Application		
A	28/09/12			DRWG. NO. 240 / PD / 105 (A3 ORIGINAL FORMAT)	REV: A	SCALE: 1:100	
Studiowdownie		TEL: +44 (0) 20 7269 7745		All dimensions to be checked on site by the Contractor and confirmed with the Architect prior to construction. Do not scale off this drawing.		Drawn by: MV	
ARCHITECTS LLP		info@studiowdownie.com				DATE: 01/06/12	

DEMOLITION: THIRD FLOOR PLAN - 1:100 @ A3; - 1:50 @ A1

General notes:

a.) (E) Indicates work carried out as part of enabling works

b.) Existing plaster in poor condition to walls and ceiling to be removed and replastered ranging from spot works to entire areas such as third floor ceilings. All cornices to be repaired.

c.) All fixings/ levelling to wood flooring to be checked before carpet laid

d.) (E) Unless indicated all timber sash windows retained (indicated as WG) overhauled and prepared for painting including replacing sash cords and adding draught proofing strips

e.) (E) All doors to be removed and overhauled and prepared for painting
All ironmongers retained or re-used as applicable

f.) All interiors to be painted colours and ironmongery installed both to reflect the period of house

g.) Fire places to be repaired and cleaned where required and retained in each room as existing

h.) (E) All existing services to be removed. Service runs for heating/ electrical to be concealed within ceiling / floor void or walls where possible

NOTES:

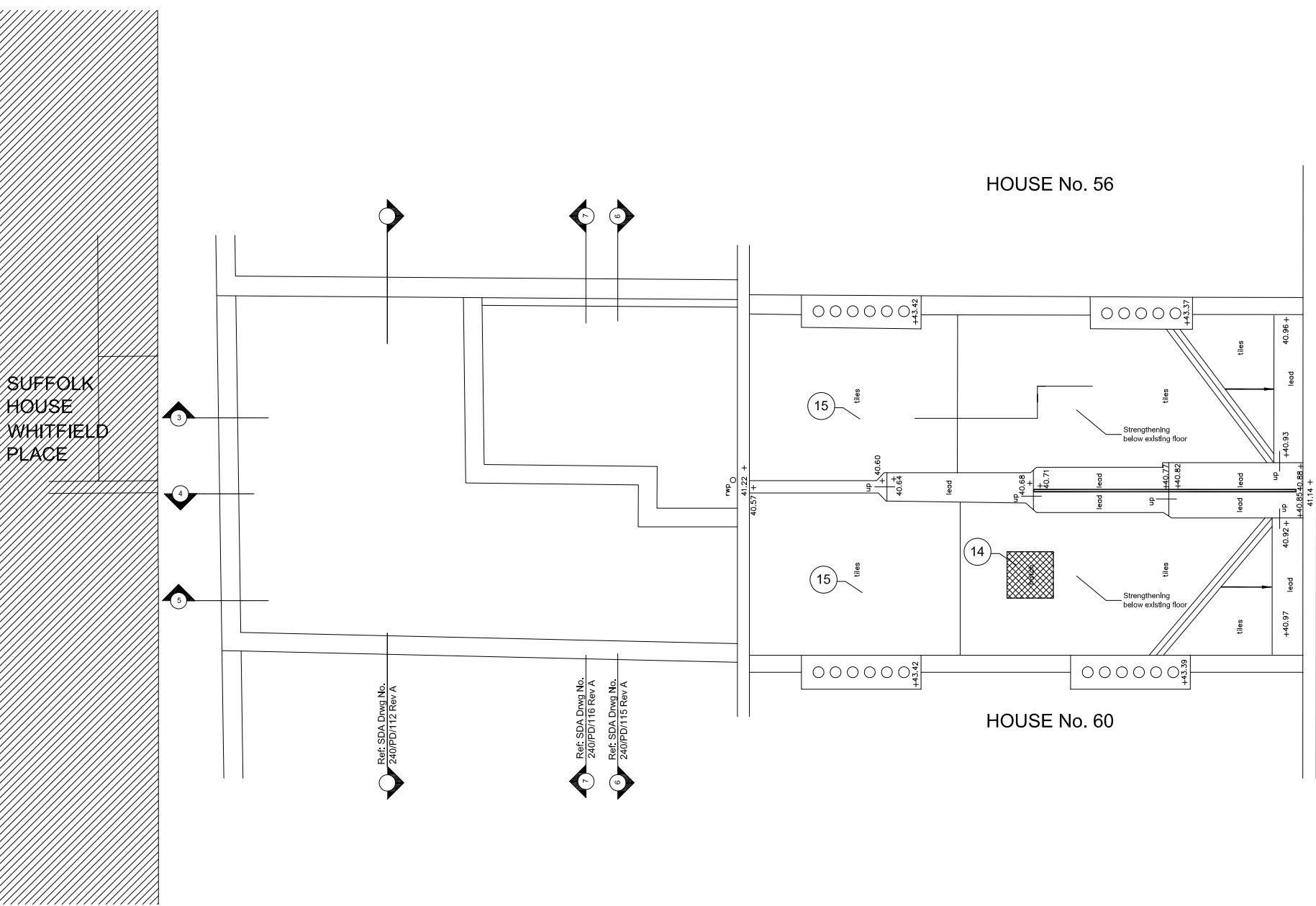
1. New glazed wood door formed in existing window opening
2. Lightwell floor raised 100 mm to provide level threshold from platform lift to Hallway
3. Existing wall demolished
4. Excavation for lift with possible associated foundation underpinning to rear wall of house
5. (E) Stair removed and floor in filled
6. Fittings removed
7. Existing opening blocked in
8. Existing poor render at low level to be removed and new render finish applied
9. Floor / Ceiling adjusted for services risers. New wall erected and existing cornice moved on to this wall
10. New opening with wood panelled door to match existing doors
11. Platform lift installed with shallow pit
12. Roof light removed
13. Narrow slot formed in existing floor to install flush heating grille
14. Existing roof light altered to form access hatch to roof
15. Existing roof slates to be replaced where required
16. Bulkhead removed to bring wall back to former setting. Cornices to be extended
17. (E) Shelving removed
18. Strengthening of existing roof and floor timber structure as structural engineers details included in application
19. New roof light formed
21. Pipe ducts installed below existing stone floor for main services routes to plant and services risers
22. New opening for services route - see structural engineers detail
23. Hatch removed
24. Stair removed with new stair arrangement to accommodate platform lift installation
25. New gate adjusted/ formed to match existing railings to provide access to platform lift and new stair position
26. New plasterboard wall

KEY :

Indicates location of proposed future works

ALL DIMENSIONS SUBJECT TO MEASURED SURVEY

JOB TITLE Miranda House 58 Grafton Way London W1T 5DL			JOB NO. 240	DRWG. TITLE Demolition: Roof Plan	STATUS Listed Building Consent + Full Planning Application	
A	28/09/12			DRWG. NO. 240 / PD / 106 (A3 ORIGINAL FORMAT)	REV: A	SCALE: 1:100
Studiowdownie		TEL: +44 (0) 20 7269 7745		All dimensions to be checked on site by the Contractor and confirmed with the Architect prior to construction. Do not scale off this drawing.		Drawn by: MV
ARCHITECTS LLP		info@studiowdownie.com				DATE: 01/06/12



DEMOLITION: ROOF PLAN - 1:100 @ A3; - 1:50 @ A1