

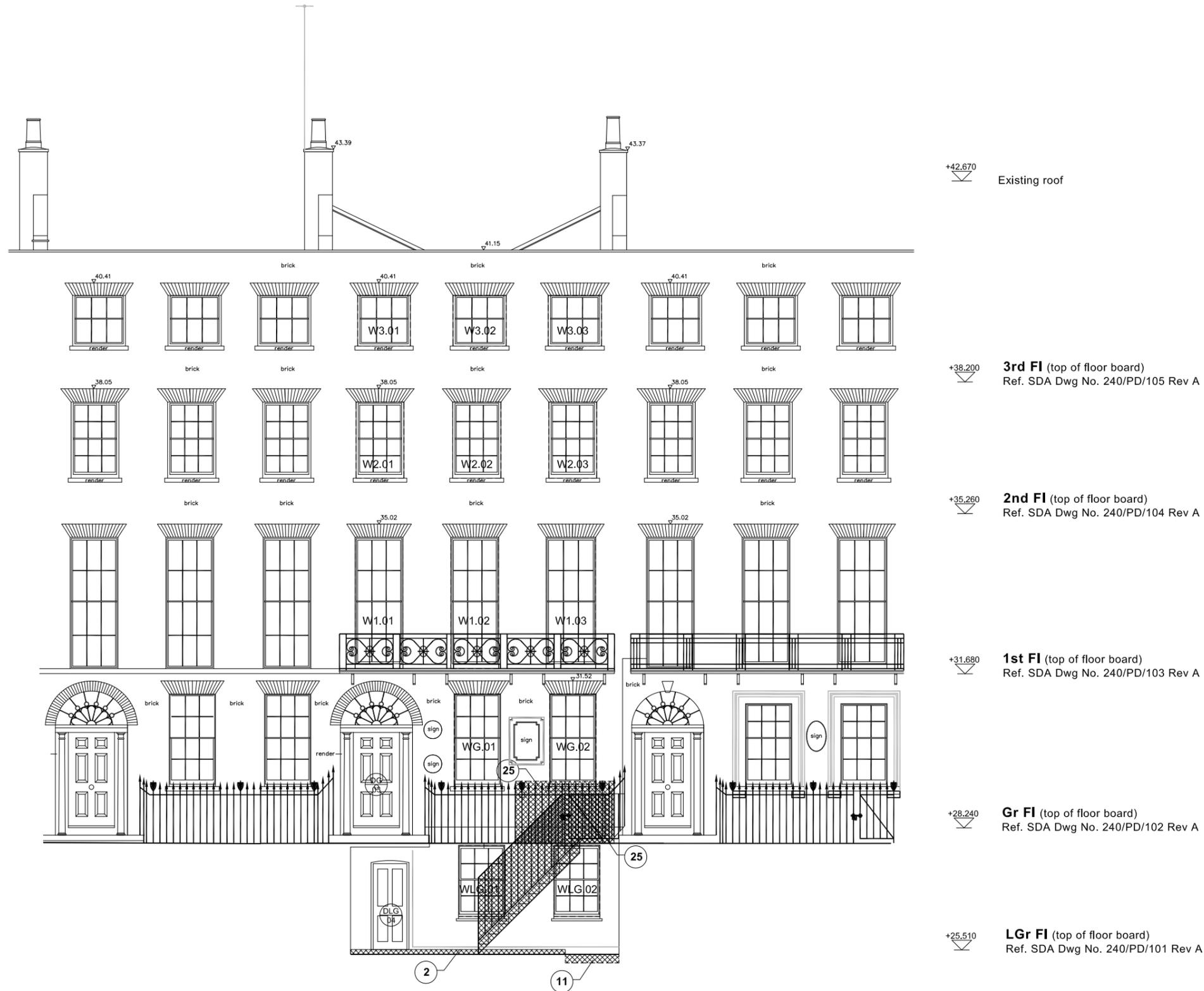


ARCHITECT'S SCHEME DRAWINGS DEMOLITION

58 Grafton Way, London W1T 5DL

prepared by Studio Downie Architects LLP

September 2012



General notes:

- a.) (E) Indicates work carried out as part of enabling works
- b.) Existing plaster in poor condition to walls and ceiling to be removed and replastered ranging from spot works to entire areas such as third floor ceilings. All cornices to be repaired.
- c.) All fixings/ levelling to wood flooring to be checked before carpet laid
- d.) (E) Unless indicated all timber sash windows retained (indicated as WG) overhauled and prepared for painting including replacing sash cords and adding draught proofing strips
- e.) (E) All doors to be removed and overhauled and prepared for painting
All ironmongers retained or re-used as applicable
- f.) All interiors to be painted colours and ironmongery installed both to reflect the period of house
- g.) Fire places to be repaired and cleaned where required and retained in each room as existing
- h.) (E) All existing services to be removed. Service runs for heating/ electrical to be concealed within ceiling / floor void or walls where possible

NOTES:

1. New glazed wood door formed in existing window opening
2. Lightwell floor raised 100 mm to provide level threshold from platform lift to Hallway
3. Existing wall demolished
4. Excavation for lift with possible associated foundation underpinning to rear wall of house
5. (E) Stair removed and floor in filled
6. Fittings removed
7. Existing opening blocked in
8. Existing poor render at low level to be removed and new render finish applied
9. Floor / Ceiling adjusted for services risers. New wall erected and existing cornice moved on to this wall
10. New opening with wood panelled door to match existing doors
11. Platform lift installed with shallow pit
12. Roof light removed
13. Narrow slot formed in existing floor to install flush heating grille
14. Existing roof light altered to form access hatch to roof
15. Existing roof slates to be replaced where required
16. Bulkhead removed to bring wall back to former setting. Cornices to be extended
17. (E) Shelving removed
18. Strengthening of existing roof and floor timber structure as structural engineers details included in application
19. New roof light formed
21. Pipe ducts installed below existing stone floor for main services routes to plant and services risers
22. New opening for services route - see structural engineers detail
23. Hatch removed
24. Stair removed with new stair arrangement to accommodate platform lift installation
25. New gate adjusted/ formed to match existing railings to provide access to platform lift and new stair position
26. New plasterboard wall

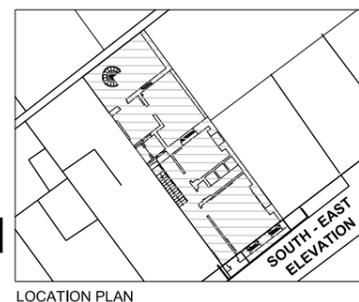
KEY :

- Indicates location of proposed future works
- 3.04** Room Number
- F3.02** Existing Fire place
- W3.04** Existing Window
- Existing Door

ALL DIMENSIONS SUBJECT TO MEASURED SURVEY

DATUM (23.00 M A.O.D.)

DEMOLITION: SOUTH EAST ELEVATION - 1:100 @ A3; - 1:50 @ A1



JOB TITLE Miranda House 58 Grafton Way London W1T 5DL		JOB NO. 240	DRWG. TITLE Demolition: South-East Elevation	STATUS Listed Building Consent + Full Planning Application	
A	28/09/12		DRWG. NO. 240 / PD / 111 (A3 ORIGINAL FORMAT)	REV: A	SCALE: 1:100
Studiowornie ARCHITECTS LLP		TEL: +44 (0) 20 7269 7745 info@studiowornie.com	All dimensions to be checked on site by the Contractor and confirmed with the Architect prior to construction. Do not scale off this drawing.	Drawn by: MV	DATE: 01/06/12

General notes:

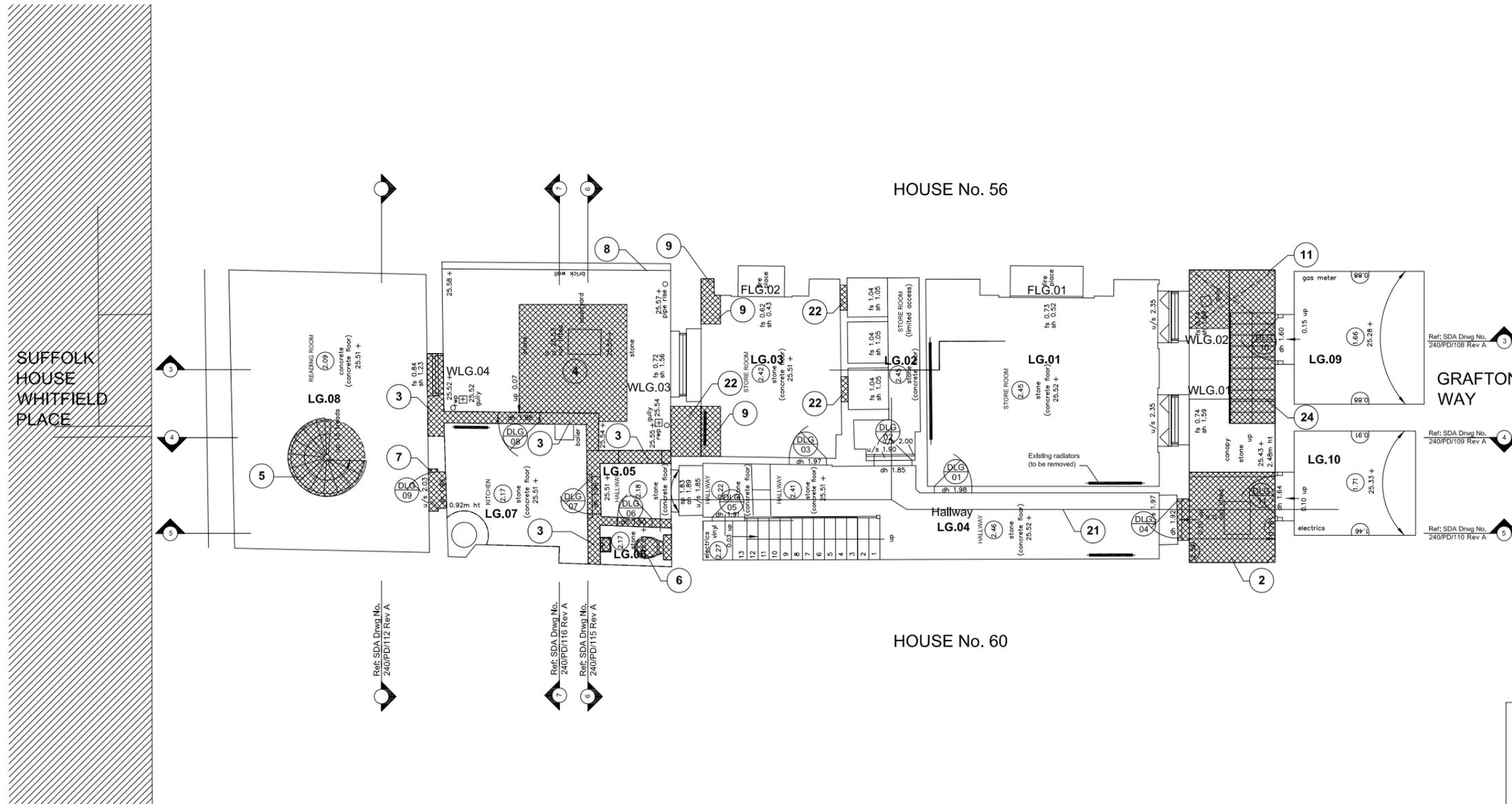
- a.) (E) Indicates work carried out as part of enabling works
- b.) Existing plaster in poor condition to walls and ceiling to be removed and replastered ranging from spot works to entire areas such as third floor ceilings. All cornices to be repaired.
- c.) All fixings/ levelling to wood flooring to be checked before carpet laid
- d.) (E) Unless indicated all timber sash windows retained (indicated as WG) overhauled and prepared for painting including replacing sash cords and adding draught proofing strips
- e.) (E) All doors to be removed and overhauled and prepared for painting
All ironmongers retained or re-used as applicable
- f.) All interiors to be painted colours and ironmongery installed both to reflect the period of house
- g.) Fire places to be repaired and cleaned where required and retained in each room as existing
- h.) (E) All existing services to be removed. Service runs for heating/ electrical to be concealed within ceiling / floor void or walls where possible

NOTES:

1. New glazed wood door formed in existing window opening
2. Lightwell floor raised 100 mm to provide level threshold from platform lift to Hallway
3. Existing wall demolished
4. Excavation for lift with possible associated foundation underpinning to rear wall of house
5. (E) Stair removed and floor in filled
6. Fittings removed
7. Existing opening blocked in
8. Existing poor render at low level to be removed and new render finish applied
9. Floor / Ceiling adjusted for services risers. New wall erected and existing cornice moved on to this wall
10. New opening with wood panelled door to match existing doors
11. Platform lift installed with shallow pit
12. Roof light removed
13. Narrow slot formed in existing floor to install flush heating grille
14. Existing roof light altered to form access hatch to roof
15. Existing roof slates to be replaced where required
16. Bulkhead removed to bring wall back to former setting. Cornices to be extended
17. (E) Shelving removed
18. Strengthening of existing roof and floor timber structure as structural engineer details included in application
19. New roof light formed
20. Pipe ducts installed below existing stone floor for main services routes to plant and services risers
21. New opening for services route - see structural engineers detail
22. Hatch removed
23. Stair removed
24. Stair removed with new stair arrangement to accommodate platform lift installation
25. New gate adjusted/ formed to match existing railings to provide access to platform lift and new stair position
26. New plasterboard wall

HOUSE No. 56

HOUSE No. 60



KEY :	Indicates location of proposed future works	LG.04 Room Number
	Existing Fire place	FLG.02 Existing Fire place
	Existing window	WLG.04 Existing window
	Existing Door	DLG.12 Existing Door

ALL DIMENSIONS SUBJECT TO MEASURED SURVEY

JOB TITLE Miranda House 58 Grafton Way London W1T 5DL	JOB NO. 240	DRWG. TITLE Demolition: Lower Ground Floor Plan	STATUS Listed Building Consent + Full Planning Application	
A 28/09/12		DRWG. NO. 240 / PD / 101 (A3 ORIGINAL FORMAT)	REV: A	SCALE: 1:100
Studiowonie ARCHITECTS LLP	TEL: +44 (0) 20 7269 7745 info@studiowonie.com	All dimensions to be checked on site by the Contractor and confirmed with the Architect prior to construction. Do not scale off this drawing.	Drawn by: MV	DATE: 01/06/12

DEMOLITION: LOWER GROUND FLOOR PLAN - 1:100 @ A3; - 1:50 @ A1

General notes:

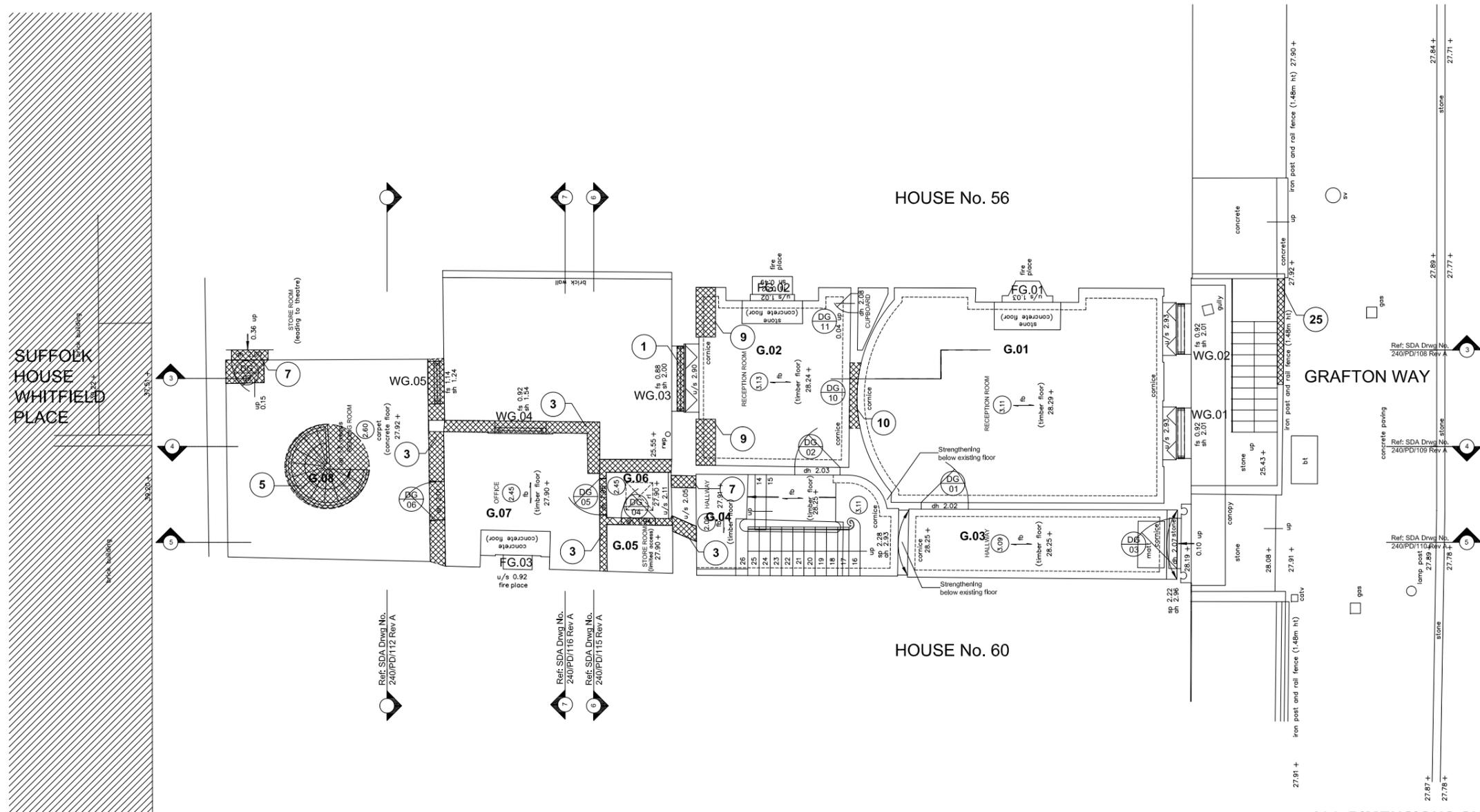
- a.) (E) Indicates work carried out as part of enabling works
- b.) Existing plaster in poor condition to walls and ceiling to be removed and replastered ranging from spot works to entire areas such as third floor ceilings. All cornices to be repaired.
- c.) All fixings/ levelling to wood flooring to be checked before carpet laid
- d.) (E) Unless indicated all timber sash windows retained (indicated as WG) overhauled and prepared for painting including replacing sash cords and adding draught proofing strips
- e.) (E) All doors to be removed and overhauled and prepared for painting
All ironmongers retained or re-used as applicable
- f.) All interiors to be painted colours and ironmongery installed both to reflect the period of house
- g.) Fire places to be repaired and cleaned where required and retained in each room as existing
- h.) (E) All existing services to be removed. Service runs for heating/ electrical to be concealed within ceiling / floor void or walls where possible

NOTES:

1. New glazed wood door formed in existing window opening
2. Lightwell floor raised 100 mm to provide level threshold from platform lift to Hallway
3. Existing wall demolished
4. Excavation for lift with possible associated foundation underpinning to rear wall of house
5. (E) Stair removed and floor in filled
6. Fittings removed
7. Existing opening blocked in
8. Existing poor render at low level to be removed and new render finish applied
9. Floor / Ceiling adjusted for services risers. New wall erected and existing cornice moved on to this wall
10. New opening with wood panelled door to match existing doors
11. Platform lift installed with shallow pit
12. Roof light removed
13. Narrow slot formed in existing floor to install flush heating grille
14. Existing roof light altered to form access hatch to roof
15. Existing roof slates to be replaced where required
16. Bulkhead removed to bring wall back to former setting. Cornices to be extended
17. (E) Shelving removed
18. Strengthening of existing roof and floor timber structure as structural engineers details included in application
19. New roof light formed
21. Pipe ducts installed below existing stone floor for main services routes to plant and services risers
22. New opening for services route - see structural engineers detail
23. Hatch removed
24. Stair removed with new stair arrangement to accommodate platform lift installation
25. New gate adjusted/ formed to match existing railings to provide access to platform lift and new stair position
26. New plasterboard wall

KEY :

-  Indicates location of proposed future works
- G.04** Room Number
- FG.02** Existing fire place
- WG.04** Existing window
-  Existing door



ALL DIMENSIONS SUBJECT TO MEASURED SURVEY

JOB TITLE Miranda House 58 Grafton Way London W1T 5DL		JOB NO. 240	DRWG. TITLE Demolition: Ground Floor Plan	STATUS Listed Building Consent + Full Planning Application	
A	28/09/12		DRWG. NO. 240 / PD / 102 (A3 ORIGINAL FORMAT)	REV: A	SCALE: 1:100
Studiodownie ARCHITECTS LLP		TEL: +44 (0) 20 7269 7745 info@studiodownie.com	All dimensions to be checked on site by the Contractor and confirmed with the Architect prior to construction. Do not scale off this drawing.	Drawn by: MV	DATE: 01/06/12

DEMOLITION: GROUND FLOOR PLAN - 1:100 @ A3; - 1:50 @ A1

General notes:

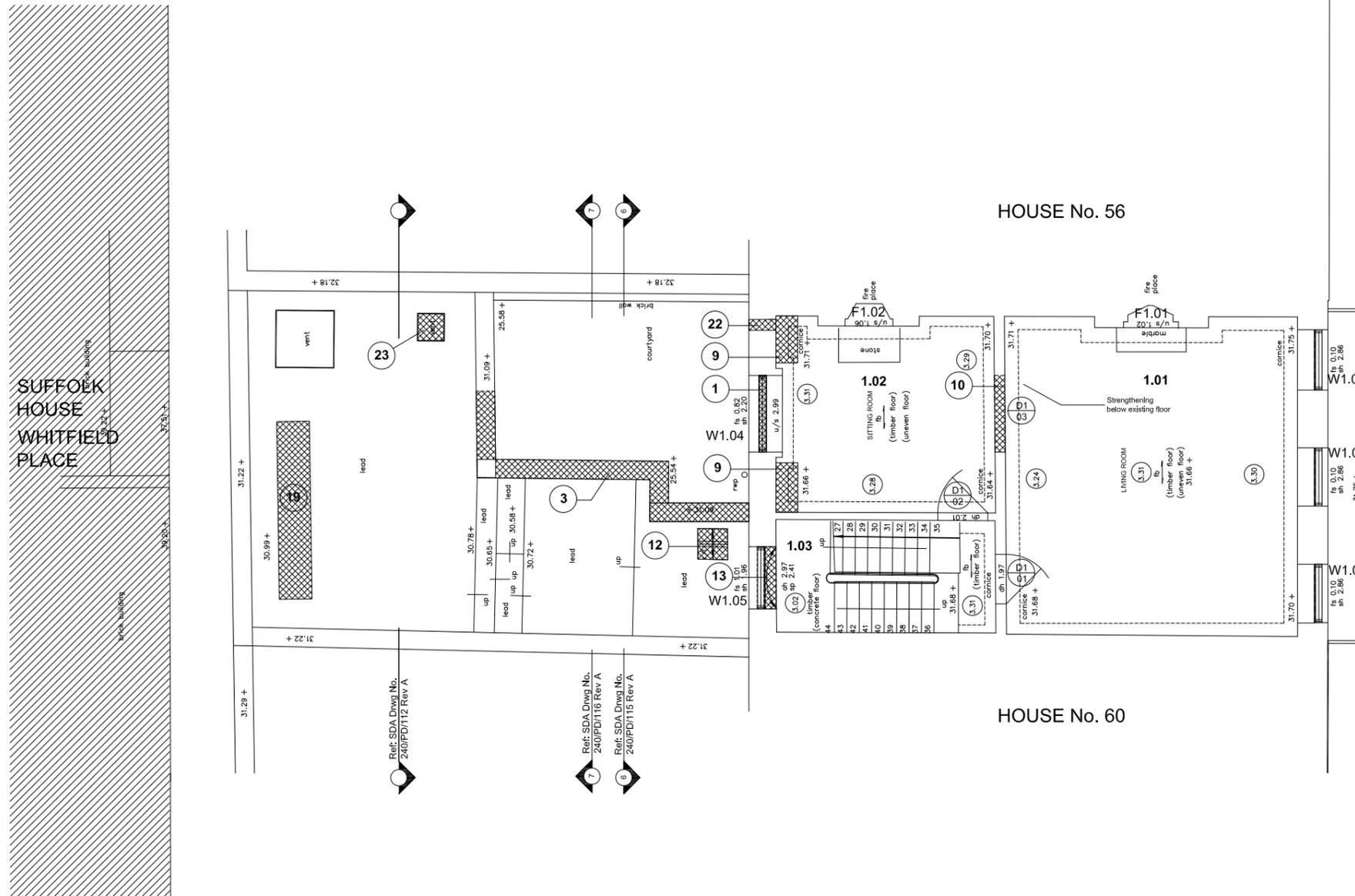
- a.) (E) Indicates work carried out as part of enabling works
- b.) Existing plaster in poor condition to walls and ceiling to be removed and replastered ranging from spot works to entire areas such as third floor ceilings. All cornices to be repaired.
- c.) All fixings/ levelling to wood flooring to be checked before carpet laid
- d.) (E) Unless indicated all timber sash windows retained (indicated as WG) overhauled and prepared for painting including replacing sash cords and adding draught proofing strips
- e.) (E) All doors to be removed and overhauled and prepared for painting
All ironmongers retained or re-used as applicable
- f.) All interiors to be painted colours and ironmongery installed both to reflect the period of house
- g.) Fire places to be repaired and cleaned where required and retained in each room as existing
- h.) (E) All existing services to be removed. Service runs for heating/ electrical to be concealed within ceiling / floor void or walls where possible

NOTES:

1. New glazed wood door formed in existing window opening
2. Lightwell floor raised 100 mm to provide level threshold from platform lift to Hallway
3. Existing wall demolished
4. Excavation for lift with possible associated foundation underpinning to rear wall of house
5. (E) Stair removed and floor in filled
6. Fittings removed
7. Existing opening blocked in
8. Existing poor render at low level to be removed and new render finish applied
9. Floor / Ceiling adjusted for services risers. New wall erected and existing cornice moved on to this wall
10. New opening with wood panelled door to match existing doors
11. Platform lift installed with shallow pit
12. Roof light removed
13. Narrow slot formed in existing floor to install flush heating grille
14. Existing roof light altered to form access hatch to roof
15. Existing roof slates to be replaced where required
16. Bulkhead removed to bring wall back to former setting. Cornices to be extended
17. (E) Shelving removed
18. Strengthening of existing roof and floor timber structure as structural engineers details included in application
19. New roof light formed
20. Pipe ducts installed below existing stone floor for main services routes to plant and services risers
21. New opening for services route - see structural engineers detail
22. Hatch removed
23. Stair removed with new stair arrangement to accommodate platform lift installation
24. New gate adjusted/ formed to match existing railings to provide access to platform lift and new stair position
25. New plasterboard wall
26. New plasterboard wall

HOUSE No. 56

HOUSE No. 60



GRAFTON WAY

Ref. SDA Drwg No. 240/PD/108 Rev A

Ref. SDA Drwg No. 240/PD/109 Rev A

Ref. SDA Drwg No. 240/PD/110 Rev A

KEY :

- Indicates location of proposed future works
- 1.04** Room Number
- F1.02** Existing fire place
- W1.04** Existing window
- Existing door

ALL DIMENSIONS SUBJECT TO MEASURED SURVEY

JOB TITLE Miranda House 58 Grafton Way London W1T 5DL		JOB NO. 240	DRWG. TITLE Demolition: First Floor Plan	STATUS Listed Building Consent + Full Planning Application	
A	28/09/12		DRWG. NO. 240 / PD / 103 (A3 ORIGINAL FORMAT)	REV: A	SCALE: 1:100
Studiodownie ARCHITECTS LLP		TEL: +44 (0) 20 7269 7745 info@studiodownie.com	All dimensions to be checked on site by the Contractor and confirmed with the Architect prior to construction. Do not scale off this drawing.	Drawn by: MV	DATE: 01/06/12

DEMOLITION: FIRST FLOOR PLAN - 1:100 @ A3; - 1:50 @ A1

General notes:

- a.) (E) Indicates work carried out as part of enabling works
- b.) Existing plaster in poor condition to walls and ceiling to be removed and replastered ranging from spot works to entire areas such as third floor ceilings. All cornices to be repaired.
- c.) All fixings/ levelling to wood flooring to be checked before carpet laid
- d.) (E) Unless indicated all timber sash windows retained (indicated as WG) overhauled and prepared for painting including replacing sash cords and adding draught proofing strips
- e.) (E) All doors to be removed and overhauled and prepared for painting
All ironmongers retained or re-used as applicable
- f.) All interiors to be painted colours and ironmongery installed both to reflect the period of house
- g.) Fire places to be repaired and cleaned where required and retained in each room as existing
- h.) (E) All existing services to be removed. Service runs for heating/ electrical to be concealed within ceiling / floor void or walls where possible

NOTES:

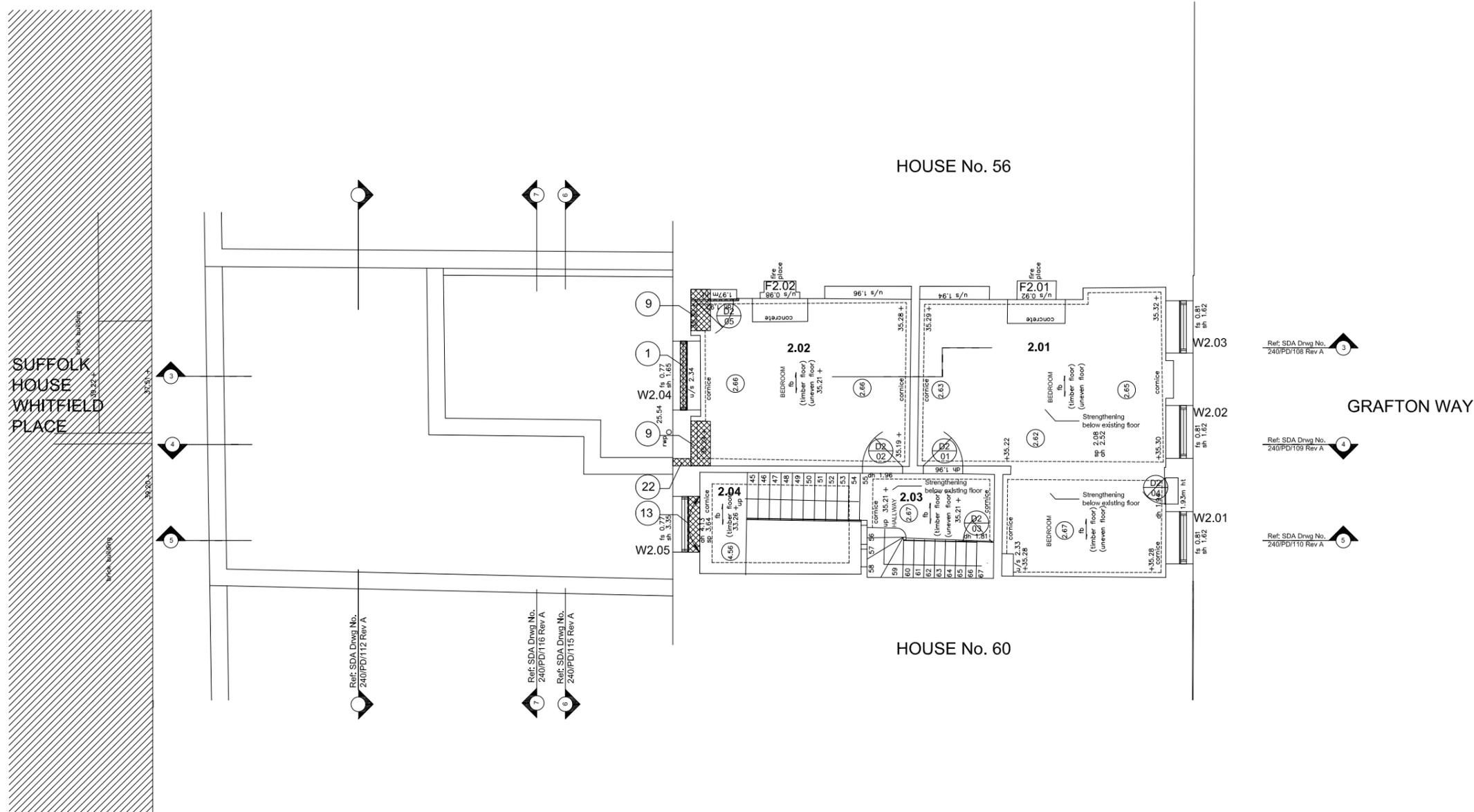
1. New glazed wood door formed in existing window opening
2. Lightwell floor raised 100 mm to provide level threshold from platform lift to Hallway
3. Existing wall demolished
4. Excavation for lift with possible associated foundation underpinning to rear wall of house
5. (E) Stair removed and floor in filled
6. Fittings removed
7. Existing opening blocked in
8. Existing poor render at low level to be removed and new render finish applied
9. Floor / Ceiling adjusted for services risers. New wall erected and existing cornice moved on to this wall
10. New opening with wood panelled door to match existing doors
11. Platform lift installed with shallow pit
12. Roof light removed
13. Narrow slot formed in existing floor to install flush heating grille
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15. Existing roof slates to be replaced where required
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19. New roof light formed
21. Pipe ducts installed below existing stone floor for main services routes to plant and services risers
22. New opening for services route - see structural engineers detail
23. Hatch removed
24. Stair removed with new stair arrangement to accommodate platform lift installation
25. New gate adjusted/ formed to match existing railings to provide access to platform lift and new stair position
26. New plasterboard wall

KEY :

-  Indicates location of proposed future works
- 2.04** Room Number
- F2.02** Existing fire place
- W2.04** Existing window
-  Existing door

HOUSE No. 56

HOUSE No. 60



Ref: SDA Drwg No. 240/PD/108 Rev A

Ref: SDA Drwg No. 240/PD/109 Rev A

Ref: SDA Drwg No. 240/PD/110 Rev A

Ref: SDA Drwg No. 240/PD/112 Rev A

Ref: SDA Drwg No. 240/PD/116 Rev A

Ref: SDA Drwg No. 240/PD/115 Rev A

ALL DIMENSIONS SUBJECT TO MEASURED SURVEY

JOB TITLE Miranda House 58 Grafton Way London W1T 5DL		JOB NO. 240	DRWG. TITLE Demolition: Second Floor Plan	STATUS Listed Building Consent + Full Planning Application	
A	28/09/12		DRWG. NO. 240 / PD / 104 (A3 ORIGINAL FORMAT)	REV: A	SCALE: 1:100
Studiodownie ARCHITECTS LLP		TEL: +44 (0) 20 7269 7745 info@studiodownie.com	All dimensions to be checked on site by the Contractor and confirmed with the Architect prior to construction. Do not scale off this drawing.	Drawn by: MV	DATE: 01/06/12



DEMOLITION: SECOND FLOOR PLAN - 1:100 @ A3;- 1:50 @ A1

General notes:

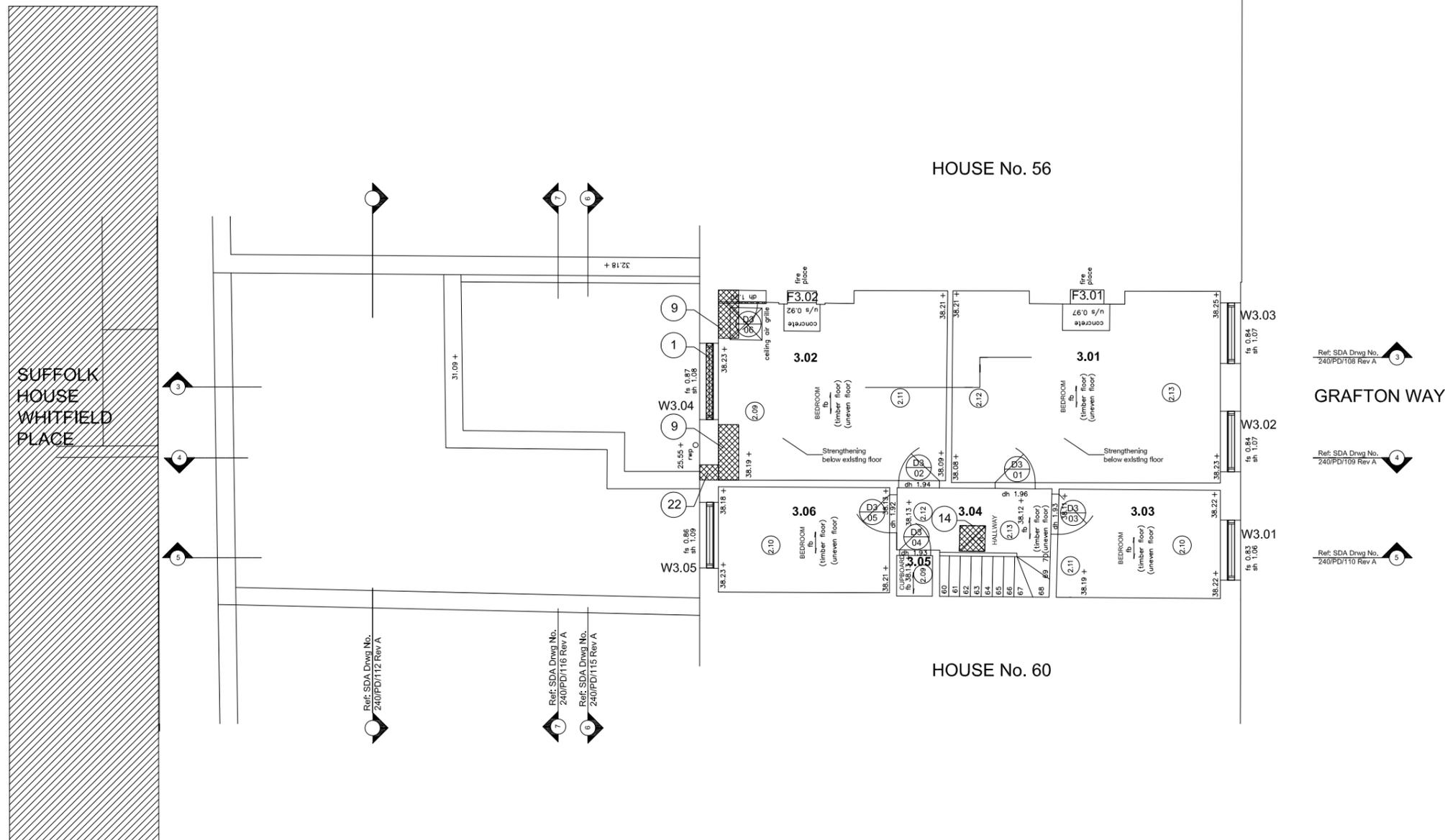
- a.) (E) Indicates work carried out as part of enabling works
- b.) Existing plaster in poor condition to walls and ceiling to be removed and replastered ranging from spot works to entire areas such as third floor ceilings. All cornices to be repaired.
- c.) All fixings/ levelling to wood flooring to be checked before carpet laid
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- e.) (E) All doors to be removed and overhauled and prepared for painting
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- f.) All interiors to be painted colours and ironmongery installed both to reflect the period of house
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NOTES:

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4. Excavation for lift with possible associated foundation underpinning to rear wall of house
5. (E) Stair removed and floor in filled
6. Fittings removed
7. Existing opening blocked in
8. Existing poor render at low level to be removed and new render finish applied
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23. Hatch removed
24. Stair removed with new stair arrangement to accommodate platform lift installation
25. New gate adjusted/ formed to match existing railings to provide access to platform lift and new stair position
26. New plasterboard wall

HOUSE No. 56

HOUSE No. 60



KEY :

- Indicates location of proposed future works
- 3.04** Room Number
- F3.02** Existing Fire place
- W3.04** Existing window
- Existing Door

ALL DIMENSIONS SUBJECT TO MEASURED SURVEY

JOB TITLE Miranda House 58 Grafton Way London W1T 5DL		JOB NO. 240	DRWG. TITLE Demolition: Third Floor Plan	STATUS Listed Building Consent + Full Planning Application	
A	28/09/12		DRWG. NO. 240 / PD / 105 (A3 ORIGINAL FORMAT)	REV: A	SCALE: 1:100
Studiosdownie ARCHITECTS LLP		TEL: +44 (0) 20 7269 7745 info@studiosdownie.com	All dimensions to be checked on site by the Contractor and confirmed with the Architect prior to construction. Do not scale off this drawing.	Drawn by: MV	DATE: 01/06/12

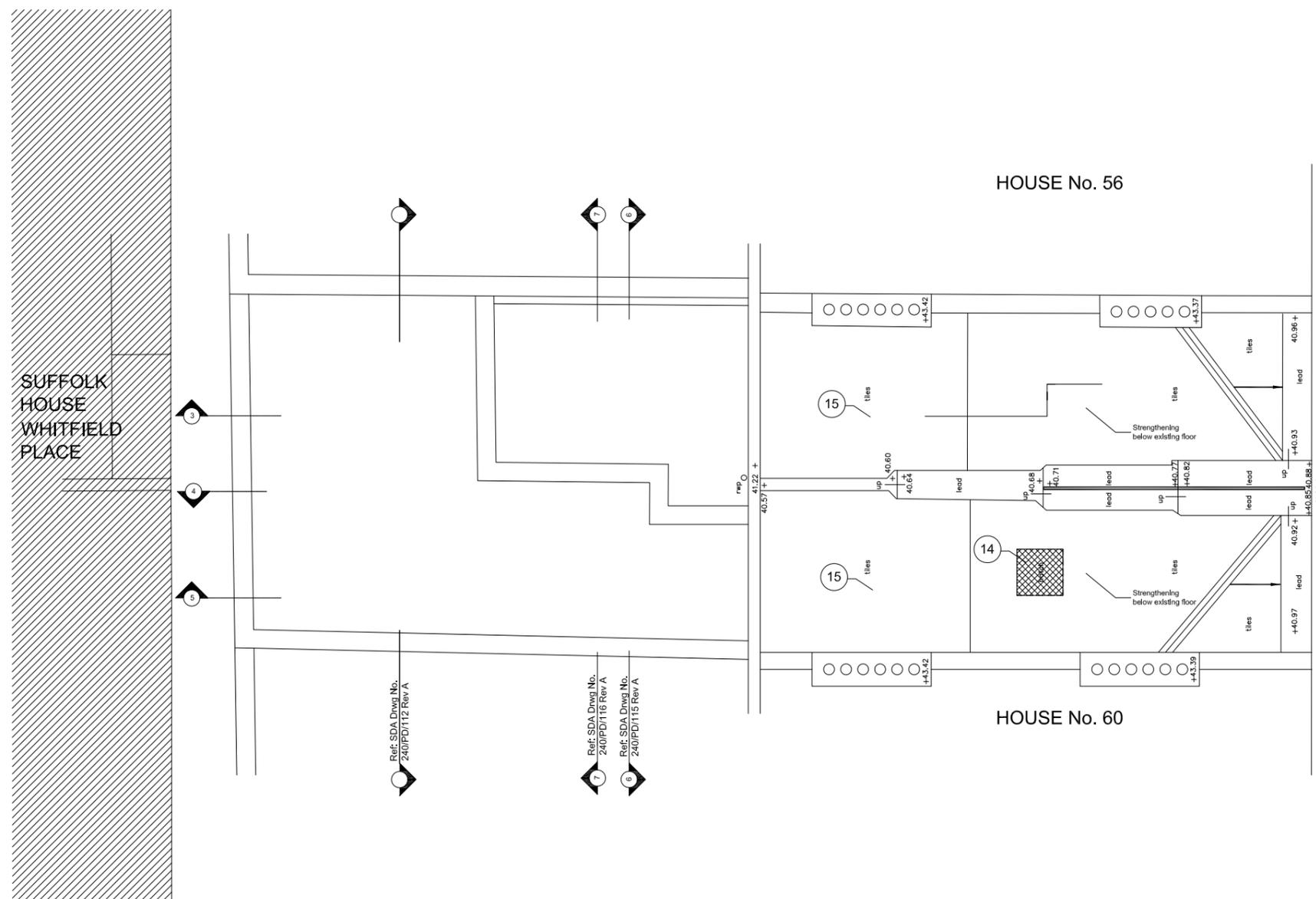
DEMOLITION: THIRD FLOOR PLAN - 1:100 @ A3; - 1:50 @ A1

General notes:

- a.) (E) Indicates work carried out as part of enabling works
- b.) Existing plaster in poor condition to walls and ceiling to be removed and replastered ranging from spot works to entire areas such as third floor ceilings. All cornices to be repaired.
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NOTES:

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3. Existing wall demolished
4. Excavation for lift with possible associated foundation underpinning to rear wall of house
5. (E) Stair removed and floor in filled
6. Fittings removed
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24. Stair removed with new stair arrangement to accommodate platform lift installation
25. New gate adjusted/ formed to match existing railings to provide access to platform lift and new stair position
26. New plasterboard wall



Ref: SDA Drwg No. 240/PD/108 Rev A
3
GRAFTON WAY

Ref: SDA Drwg No. 240/PD/109 Rev A
4

Ref: SDA Drwg No. 240/PD/110 Rev A
5

KEY :

 Indicates location of proposed future works

ALL DIMENSIONS SUBJECT TO MEASURED SURVEY

JOB TITLE Miranda House 58 Grafton Way London W1T 5DL		JOB NO. 240	DRWG. TITLE Demolition: Roof Plan	STATUS Listed Building Consent + Full Planning Application	
A	28/09/12		DRWG. NO. 240 / PD / 106 (A3 ORIGINAL FORMAT)	REV: A	SCALE: 1:100
Studiodownie ARCHITECTS LLP		TEL: +44 (0) 20 7269 7745 info@studiodownie.com	All dimensions to be checked on site by the Contractor and confirmed with the Architect prior to construction. Do not scale off this drawing.	Drawn by: MV	DATE: 01/06/12

DEMOLITION: ROOF PLAN - 1:100 @ A3; - 1:50 @ A1