

Revisions:

00 08 Nov 11  
01 18 Jan 12



Haines House,  
21 John Street,  
London W1CN

for

One West  
Smithfield LLP.  
1237-D2100-rev01

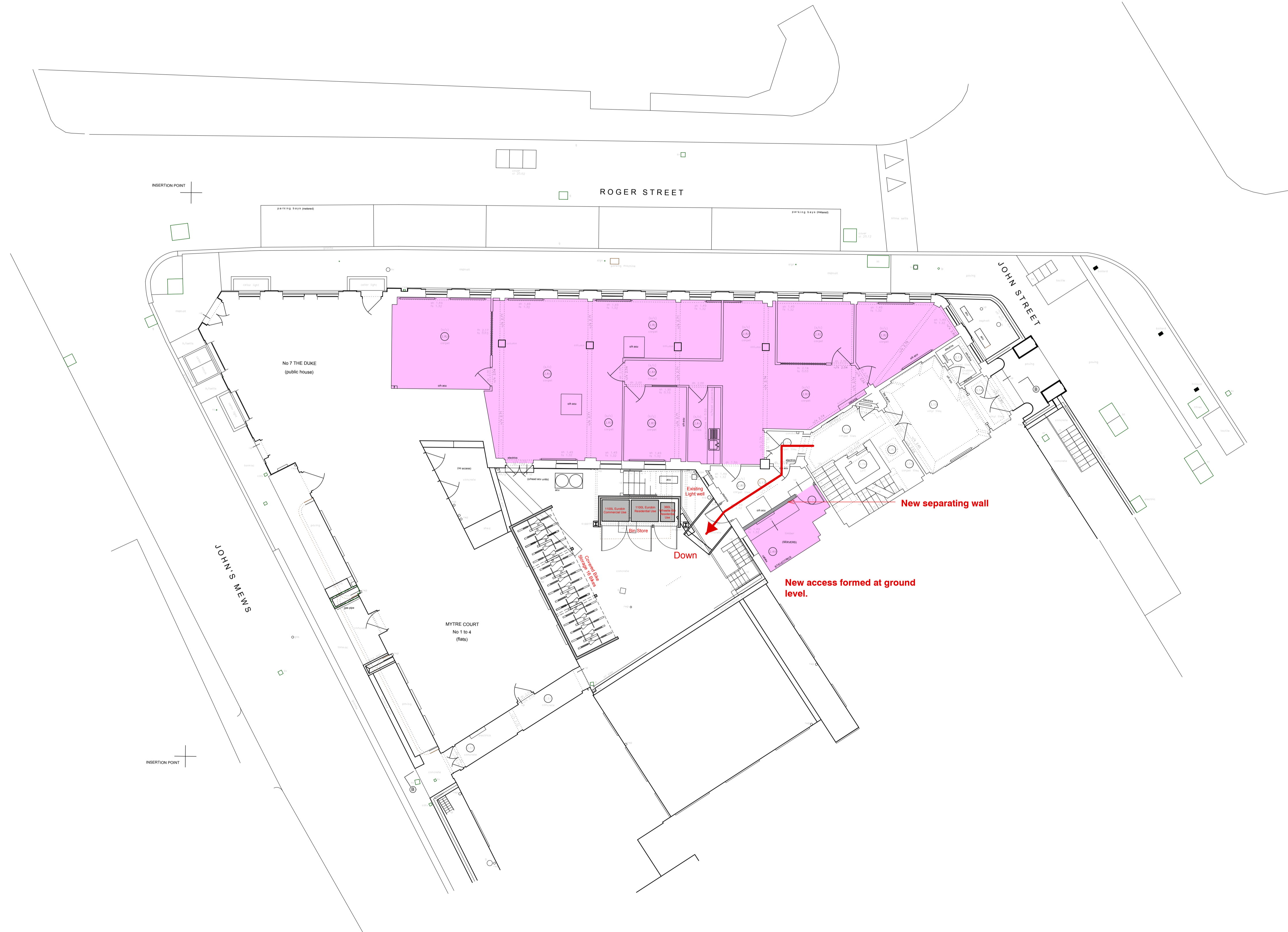
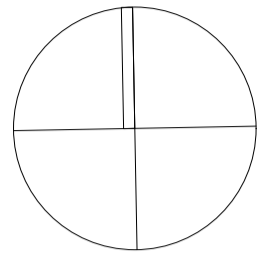
Scale: 1:100 @ A1  
Date: 08 Nov 11

Basement floor  
plan:  
Proposed

**Planning**

Key:

Commercial



# Planning

Revisions:

- 00 08 Nov 11
- 01 15 Dec 11
- 02 19 Jan 12

Haines House,  
21 John Street,  
London W1CN

for

One West  
Smithfield LLP.  
1237-D2102-rev02

Scale: 1:100 @ A1  
Date: 08 Nov 11

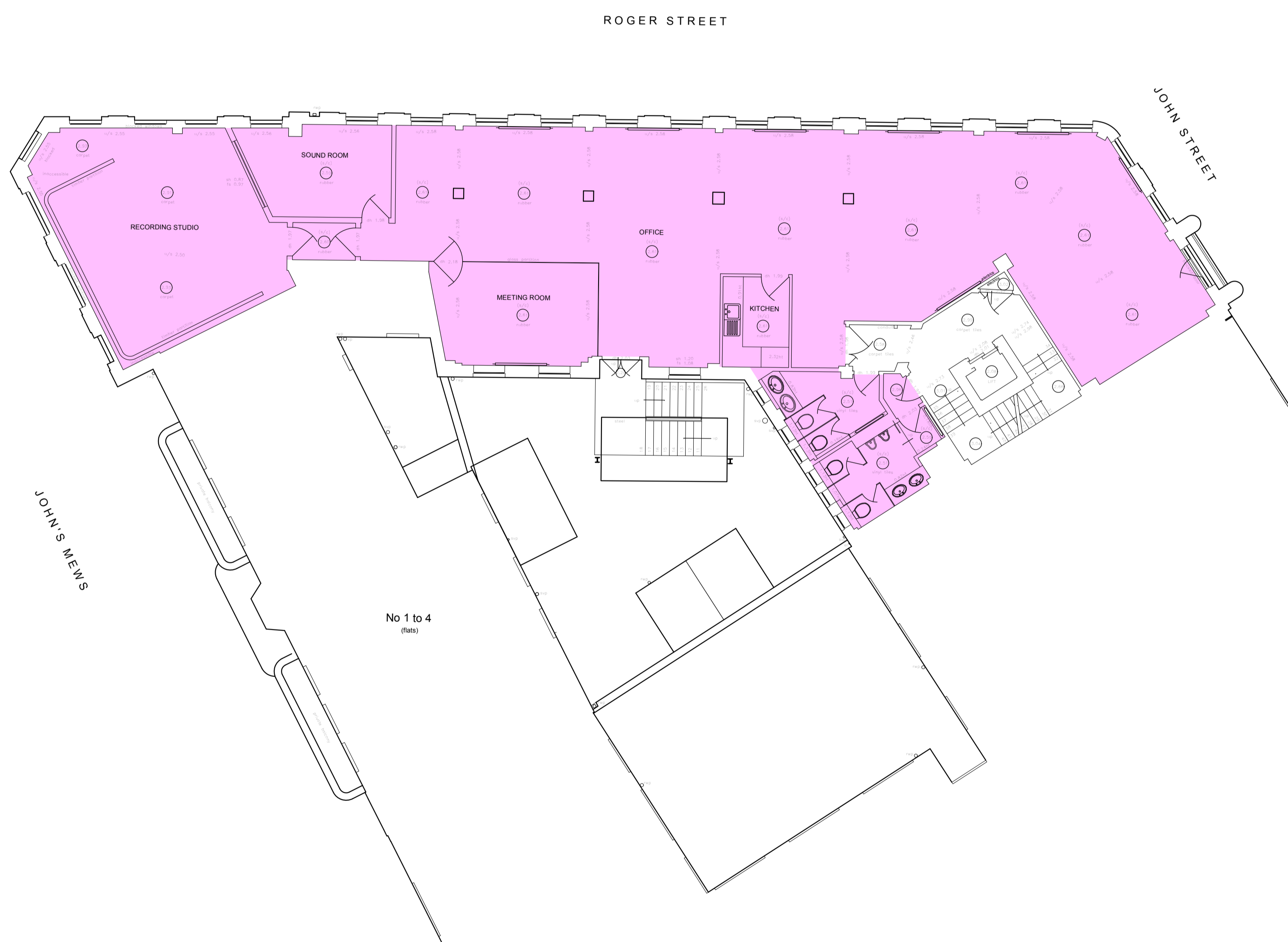
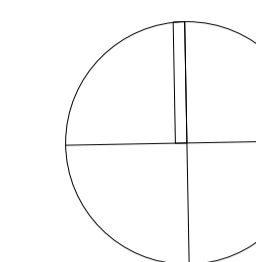
First floor plan:  
Proposed

**Key:**

Commercial

GIA: 261sq.m.

NIA: 240sq.m



**Planning**

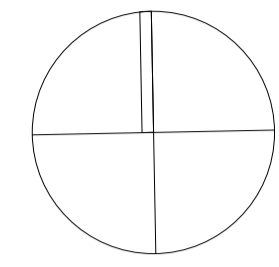
**Key:**

Private Residential



GIA: 262sq.m.

Flat 2.01 (3-BED) - 150.5sq.m.  
Flat 2.02 (2-BED) - 83sq.m



Revisions:

- 00 08 Nov 11
- 01 15 Dec 11
- 02 19 Jan 12
- 03 24 May 12

Haines House,  
21 John Street,  
London W1CN

for

One West  
Smithfield LLP.  
1237-D2103-rev03

Scale: 1:100 @ A1  
Date: 08 Nov 11

Second floor plan:  
Proposed

**Planning**

**Key:**

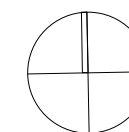
Private Residential



GIA: 173sq.m.

Flat 3.01 (2-BED) - 87sq.m.

Flat 3.02 (1-BED) - 59sq.m



0m 5m

Revisions:

- 00 08 Nov 11
- 01 15 Dec 11
- 02 19 Jan 12
- 03 24 May 12
- 04 11 Sep 12



# Planning

Haines House,  
21 John Street,  
London W1CN

for

One West  
Smithfield LLP.  
1237-D2104-rev04

Scale: 1:100 @ A1  
Date: 08 Nov 11

Third floor plan:  
Proposed

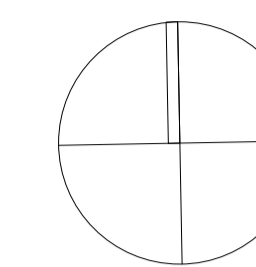
**Key:**

Private Residential



GIA: 152sq.m.

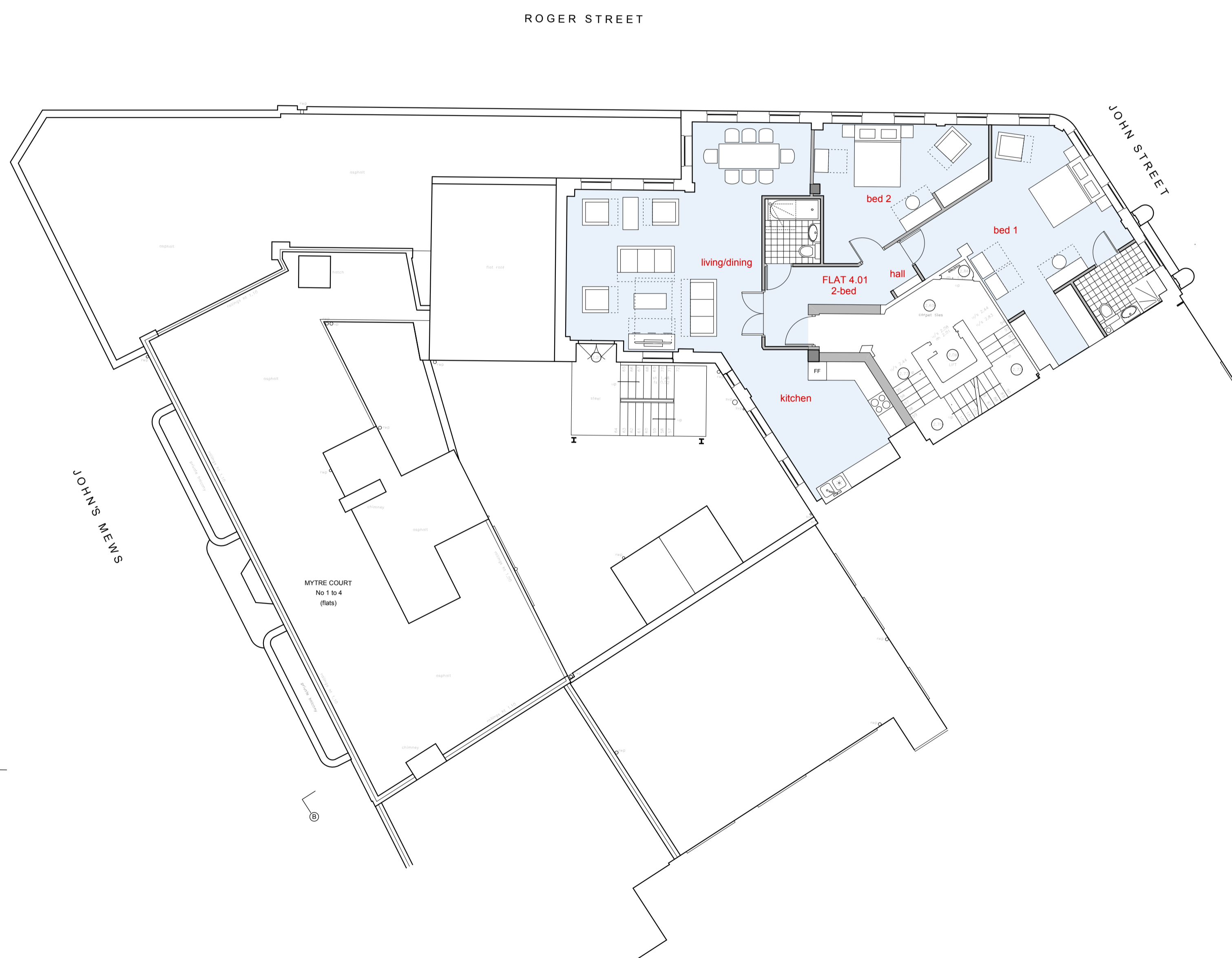
Flat 4.01 (2-BED) - 127sq.m.



0m 5m

Revisions:

- 00 08 Nov 11
- 01 15 Dec 11
- 02 19 Jan 12



Haines House,  
21 John Street,  
London W1CN

for

One West  
Smithfield LLP.  
1237-D2105-rev02

Scale: 1:100 @ A1  
Date: 08 Nov 11

Fourth floor plan:  
Proposed

# Planning

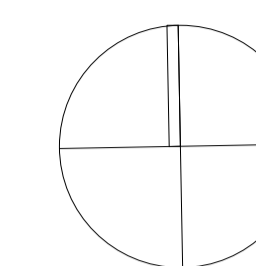
**Key:**

Private Residential



GIA: 152sq.m.

Flat 5.01 (2-BED) - 127sq.m.



Revisions:

- 00 08 Nov 11
- 01 15 Dec 11

Haines House,  
21 John Street,  
London W1CN

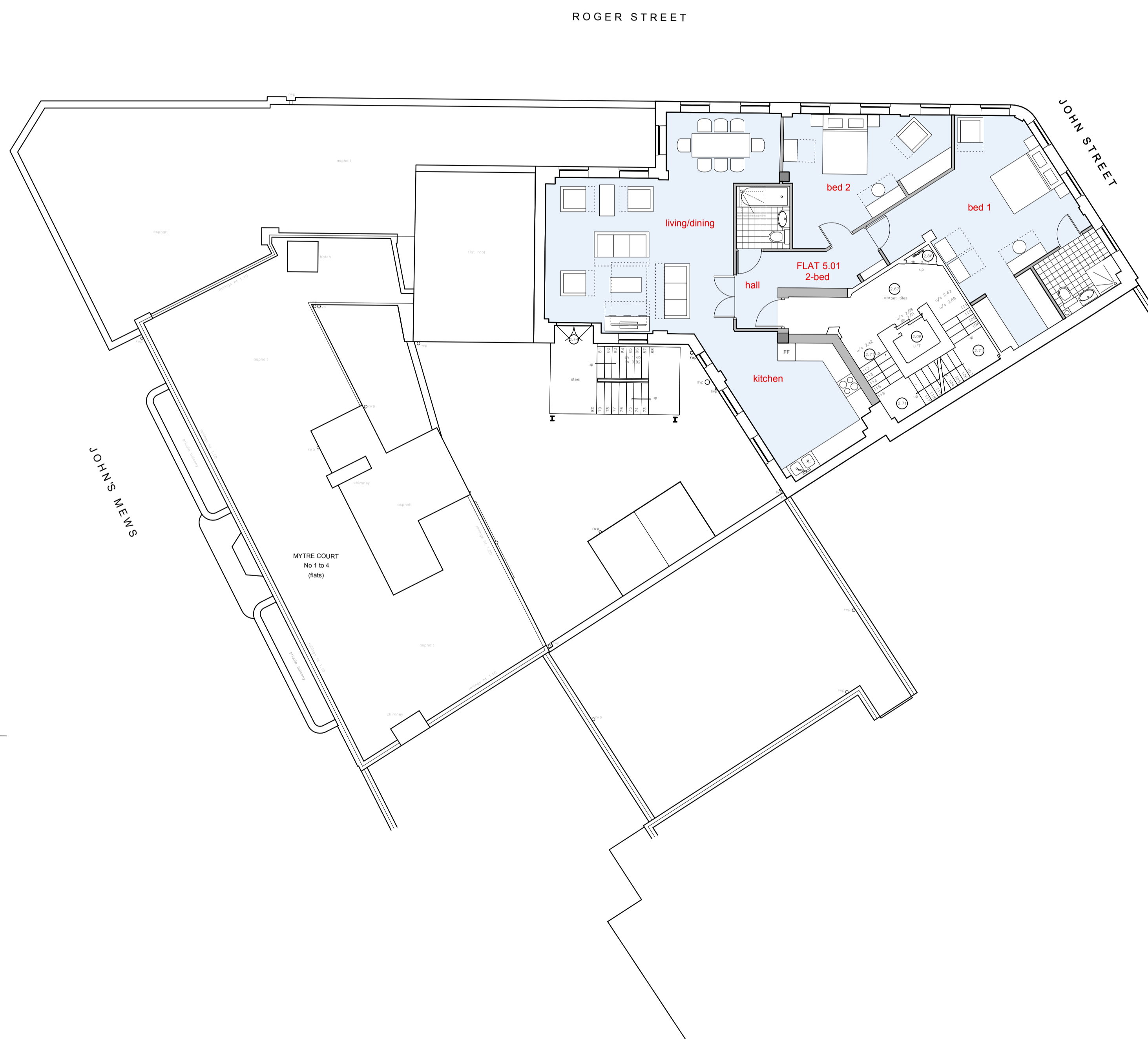
for

One West  
Smithfield LLP.  
1237-D2106-rev01

Scale: 1:100 @ A1  
Date: 08 Nov 11

Fifth floor plan:  
Proposed

# Planning

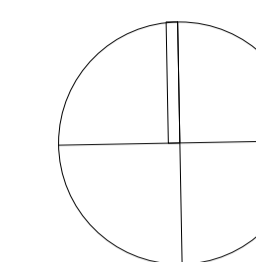


**Key:**

Private Residential



Flat 6.01 (2-BED) - 127sq.m.



0m 5m

Revisions:

- 00 08 Nov 11
- 01 15 Dec 11
- 02 19 Jan 12

Haines House,  
21 John Street,  
London W1CN

for

One West  
Smithfield LLP.  
1237-D2107-rev02

Scale: 1:100 @ A1  
Date: 08 Nov 11

Sixth floor plan:  
Proposed



**Planning**

INSERTION POINT

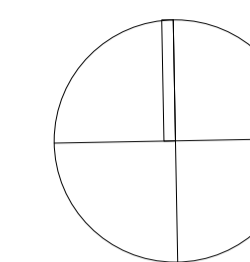


Key:

Private Residential



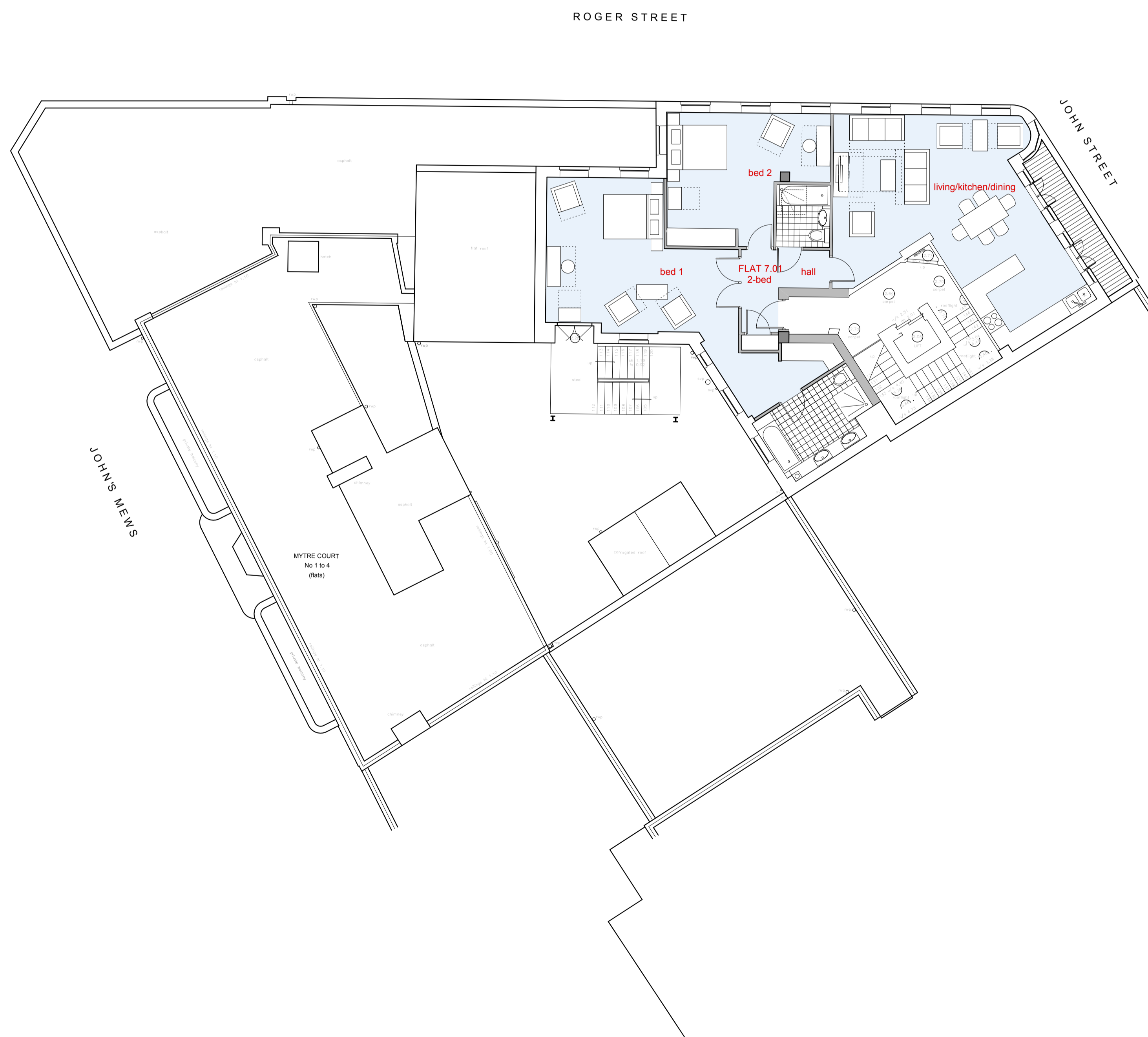
Flat 7.01 (2-BED) - 120sq.m.



0m 5m

Revisions:

- 00 08 Nov 11
- 01 15 Dec 11
- 02 19 Jan 12



# Planning

Haines House,  
21 John Street,  
London W1CN

for

One West  
Smithfield LLP.  
1237-D2108-rev02

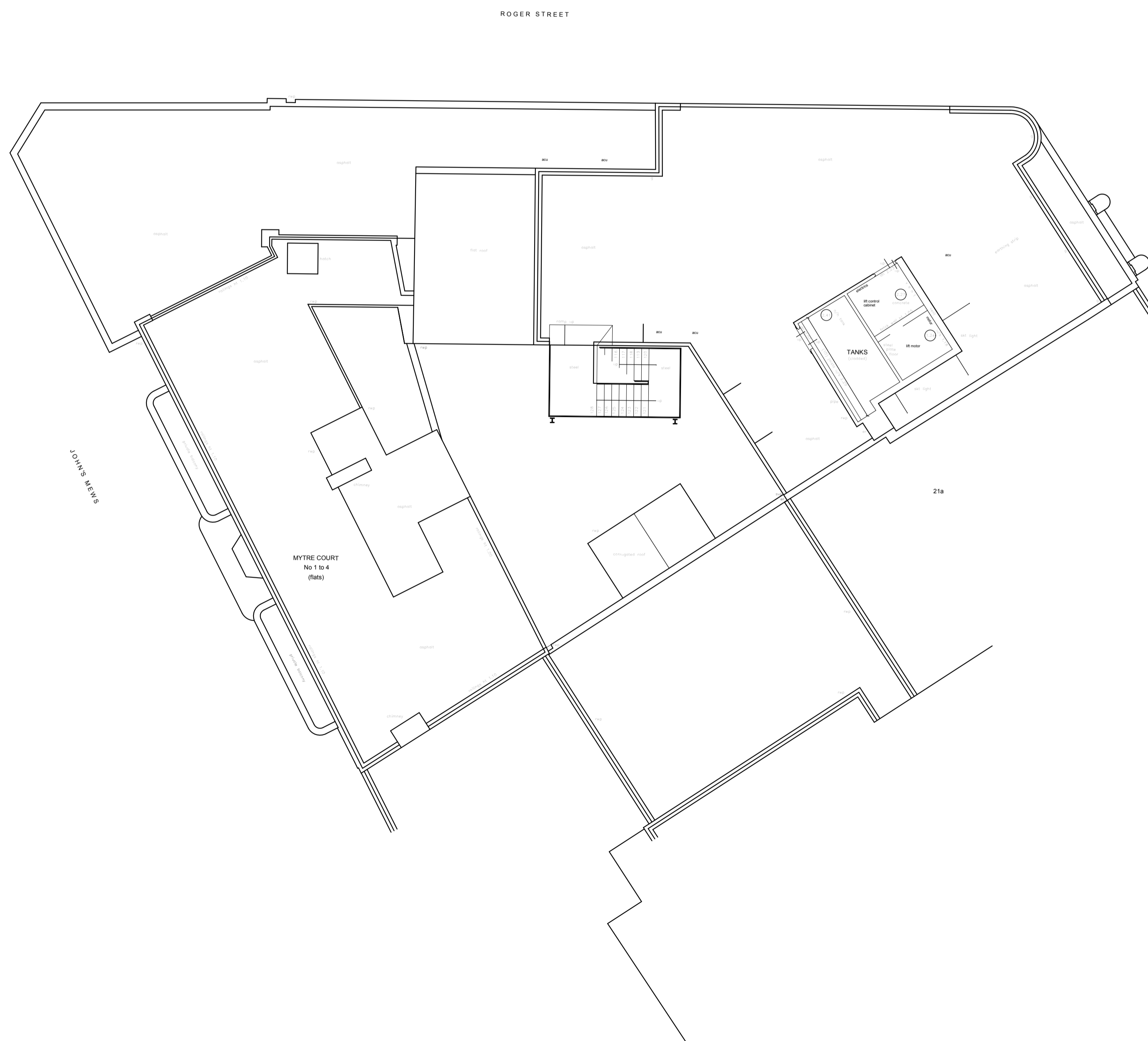
Scale: 1:100 @ A1  
Date: 08 Nov 11

Seventh floor plan:  
Proposed



Revisions:

- 00 08 Nov 11
- 01 15 Dec 11
- 02 19 Jan 12



Haines House,  
21 John Street,  
London W1CN

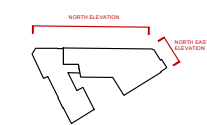
for

One West  
Smithfield LLP.  
1237-D2109-rev02

Scale: 1:100 @ A1  
Date: 08 Nov 11

Roof plan:  
Proposed

**Planning**



Haines House,  
21 John Street,  
London W1CN

for  
One West  
Smithfield LLP.  
1237-D2201-rev00

Scale: 1:100 @ A1  
Date: 15 Dec 11

North East &  
North Elevation

# Planning



Revisions:  
00 15 Dec 11

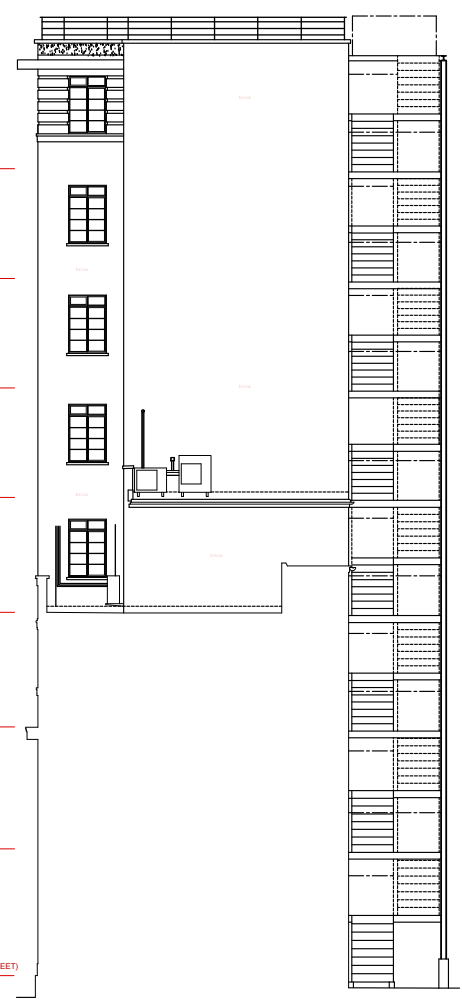
Seventh Floor 42.08  
Sixth Floor 39.18  
Fifth Floor 36.28  
Fourth Floor 33.39  
Third Floor 30.35  
Second Floor 27.32  
First Floor 24.09  
Ground Floor 20.74



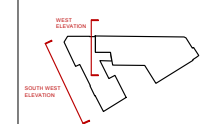
(THE DUKE of York Public House) (No 1 to 4 MYRE COURT) (No 21a)

SOUTH WEST ELEVATION (JOHN'S MEWS)

Seventh Floor 42.08  
Sixth Floor 39.18  
Fifth Floor 36.28  
Fourth Floor 33.39  
Third Floor 30.35  
Second Floor 27.32  
First Floor 24.09  
Ground Floor 20.74 (ROGER STREET)



WEST ELEVATION



Haines House,  
21 John Street,  
London W1CN

for  
One West  
Smithfield LLP.  
1237-D2202-rev00

Scale: 1:100 @ A1  
Date: 15 Dec 11

South West &  
West Elevation

# Planning

KEY  
 • New Boiler Flue  
 ■ New Ventilation Hole

0m 5m

Revisions:  
 00 15 Dec 11



SOUTH WEST COURTYARD ELEVATION



SOUTH COURTYARD ELEVATION



Haines House,  
 21 John Street,  
 London W1CN

for

One West  
 Smithfield LLP.  
 1237-D2203-rev00

Scale: 1:100 @ A1  
 Date: 15 Dec 11  
 South West &  
 South Courtyard  
 Elevation

**Planning**



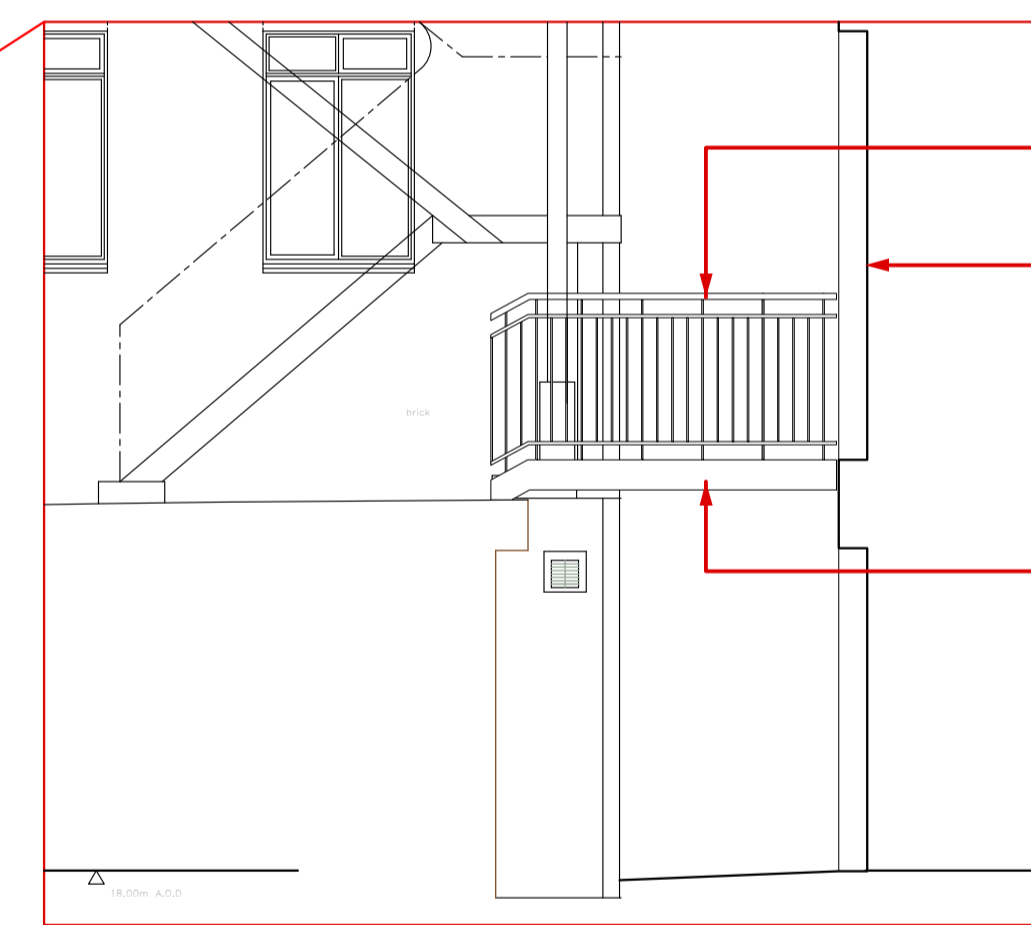
Revisions:  
**00** 24 Feb 12  
**01** 24 May 12



1:100 Existing South Elevation

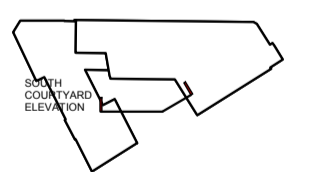


1:100 Proposed South West Elevation



- New painted  
hardwood handrail.**
- New painted  
hardwood door to  
match exiting.**
- New painted metal  
face plate with  
robust steel deck.**

1:50 Proposed South Bridge Elevation



Haines House,  
21 John Street,  
London W1CN

for  
 One West  
 Smithfield LLP.  
 1237-D2204-rev01

Scale: 1:100 @ A1  
 Date: 24 Feb 12

South  
 Courtyard Elevation:  
 Proposed

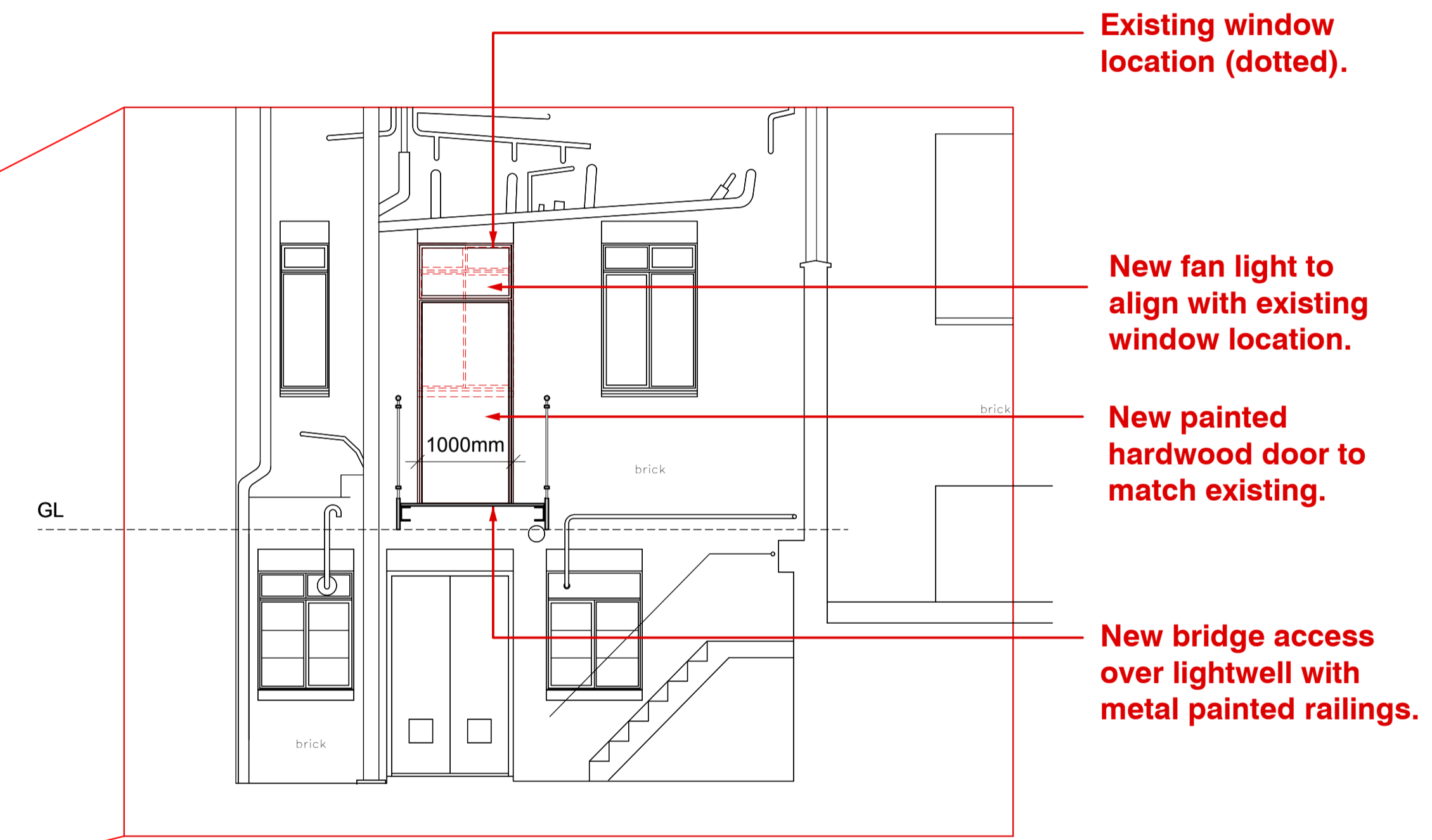
# Planning



1:100 Existing South West Elevation



1:100 Proposed South West Elevation



1:50 Proposed South West Elevation

Revisions:  
00 24 Feb 12  
01 24 May 12



Haines House,  
21 John Street,  
London W1CN

for  
One West  
Smithfield LLP.  
1237-D2205-rev01

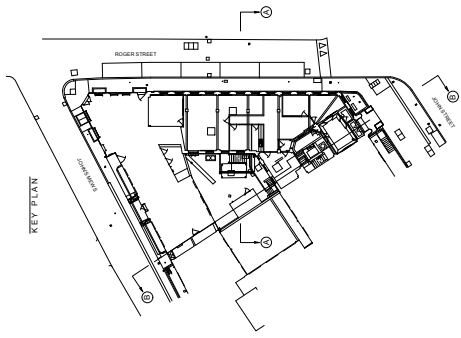
Scale: 1:100 @ A1  
Date: 24 Feb 12

South west  
Courtyard Elevation:  
Proposed

# Planning



Revisions:  
00 16 Dec 11



# Planning

Haines House,  
21 John Street,  
London W1CN

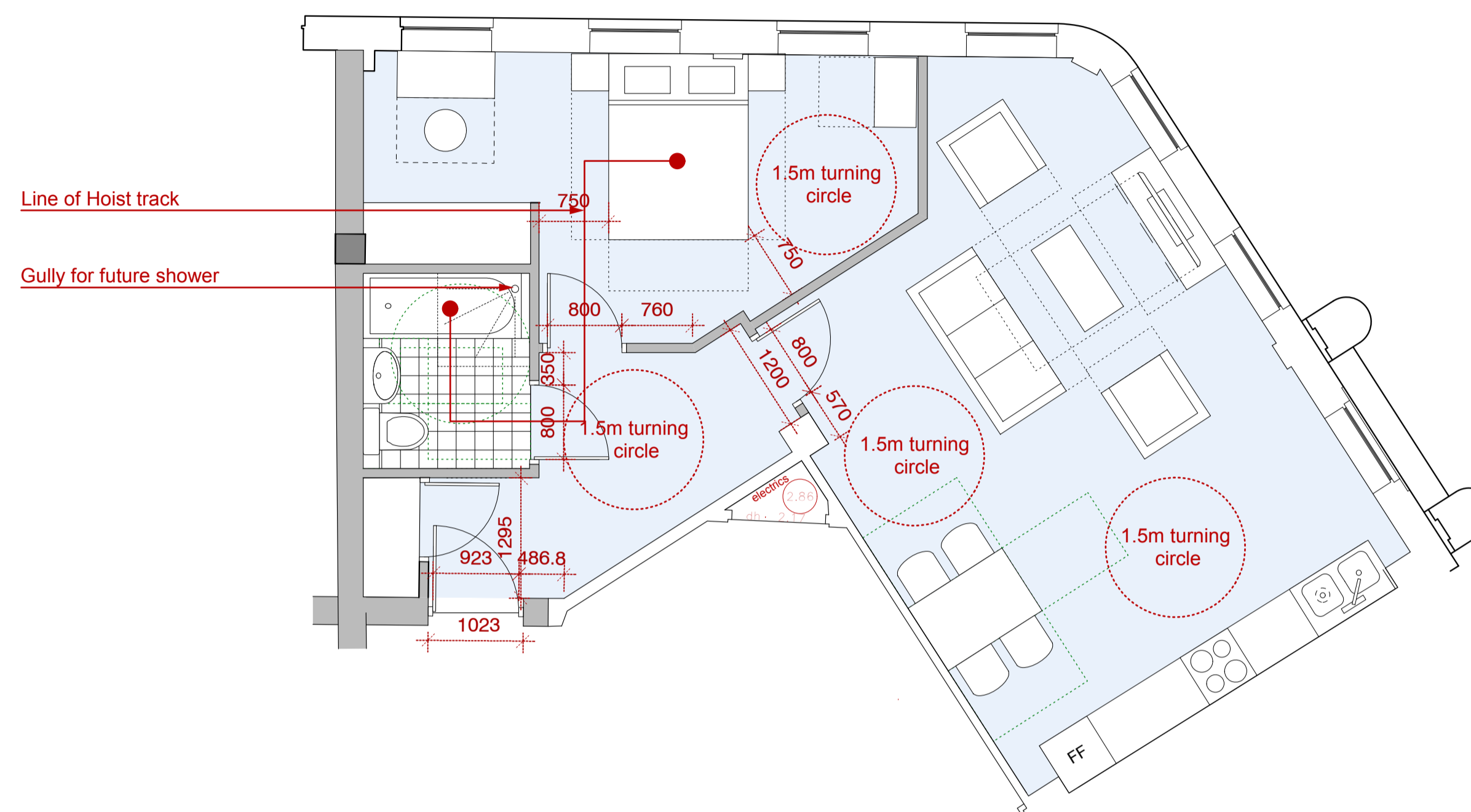
for  
One West  
Smithfield LLP.  
1237-D2301-rev00

Scale: 1:100 @ A1  
Date: 16 Dec 11

Sections:  
Proposed



# 1 BED (2P) FLAT PLAN 2.02



## The Lifetime Home Standards

<p><b>1. Car Parking</b> - Where parking is provided by communal or shared bays, at least one parking space 3300mm wide x 4800mm deep should be provided adjacent to (or close to) each block's entrance or lift core.</p> <p>The access route between the parking and communal entrance (or in the case of basement parking, the lift core) should maintain a minimum clear width of 1200mm.</p>	YES
<p><b>2. Access from Car Parking</b> - The distance from the car parking space to the dwelling entrance (or relevant block entrance or lift core), should be kept to a minimum and be level or gently sloping. The distance from visitors parking to relevant entrances should be as short as practicable and be level or gently sloping.</p>	YES
<p><b>3. Approach</b> - The approach to all entrances should be level or gently sloping.</p>	YES
<p><b>4. External Entrances</b> - All entrances should be illuminated and have level access over the threshold. They should have effective clear opening widths and nibs as follows: There should be 300mm nib or wall space to the side of the leading edge of the doors on entrance level. For communal doors - When the approach is head on or at right angles to an access route at least 1500mm wide, the opening should have a clear width of 800mm. When the approach is at right angles to an access route at least 1200mm wide, the opening should have a clear width of 825mm.</p> <p>Main entrances should also have adequate weather protection and have a level external landing.</p>	YES
<p><b>5. Communal Stairs</b> - Communal stairs should provide easy access and, where homes are reached by a lift, it should be fully accessible.</p>	ALL FLATS FULLY ACCESSIBLE
<p><b>6. Internal Doorways &amp; Hallways</b> - Movement in hallways and through doorways should be as convenient to the widest range of people, including those using mobility aids or wheelchairs, and those moving furniture or other objects. As a general principle, narrower hallways and landings will need wider doorways in their side walls.</p> <p>For internal dwelling doors - When the approach is head on or at right angles to an access route at least 1200mm wide, the opening should have a clear width of 750mm. When the approach is at right angles to an access route at least 1050mm wide, the opening should have a clear width of 775mm. When the approach is at right angles to an access route less than 1050mm wide, the opening should have a clear width of 900mm.</p>	SEE DRAWING

<p><b>7. Wheelchair Accessibility</b> - There should be space for turning a wheelchair in dining areas and living rooms and adequate circulation space for wheelchairs elsewhere.</p>	SEE DRAWING
<p><b>8. Living Room</b> - The living room should be at entrance level of every dwelling</p>	YES
<p><b>9. Two or more storey requirements</b> - In dwellings with two or more storeys, with no permanent bedroom on the entrance level, there should be space on the entrance level that could be used as a convenient temporary bed-space.</p>	N/A
<p><b>10. WC</b> - In dwellings with two or more storeys, and no more than two habitable rooms in addition to the main living room and any kitchen/diner, the entrance level should have an accessible WC compartment with potential for a shower to be installed, if an accessible bathroom is not provided on that level. In houses with two bedrooms the downstairs WC should at least conform to Part M.</p>	N/A
<p><b>11. Bathroom &amp; WC Walls</b> - Walls in all bathrooms and WC compartments should be capable of firm fixing and support for adaptations such as grab rails.</p>	YES (stud walls will include plywood sublayer)
<p><b>12. Stairs and potential through-floor lift in dwellings</b> - The design within a dwelling of two or more storeys should incorporate potential for stair lift installation and a suitable identified space for a through-the-floor lift from the entrance level to storey containing a main bedroom and a bathroom satisfying criterion 14.</p>	N/A
<p><b>13. Main Bedroom</b> - Structure above a main bedroom and bathroom ceilings should be capable of supporting ceiling hoists and the design should provide a reasonable route between this bedroom and the bathroom.</p>	SEE DRAWING
<p><b>14. Bathroom Layout</b> - An accessible bathroom, providing ease of access in accordance with the specification below, should be provided in every dwelling on the same storey as a main bedroom.</p>	SEE DRAWING
<p><b>15. Window Specification</b> - Windows in the principal living space (typically the living room), should allow people to see out when seated. In addition, at least one opening light in each habitable room should be approachable and usable by a wide range of people including those with restricted movement and reach.</p> <p>Living room window glazing should begin no higher than 800mm from the floor level and windows should be easy to open/operate.</p>	YES
<p><b>16. Fixtures &amp; Fittings</b> - Location of service controls Service controls should be within a height band of 450mm to 1200mm from the floor and at least 300mm away from any internal room corner.</p>	YES

# Planning

Haines House,  
21 John Street,  
London W1CN

for

One West  
Smithfield LLP.

1237-D2150-rev01

Scale: 1:50 @A1  
Date: 17 January 2012

Typical Lifetime  
Homes Plans:  
Proposed

## TYPICAL 2 BED (4P) FLAT PLAN 4.01 & 5.01



### The Lifetime Home Standards

**1. Car Parking** - Where parking is provided by communal or shared bays, at least one parking space 3300mm wide x 4800mm deep should be provided adjacent to (or close to) each block's entrance or lift core. **YES**

The access route between the parking and communal entrance (or in the case of basement parking, the lift core) should maintain a minimum clear width of 1200mm.

**2. Access from Car Parking** - The distance from the car parking space to the dwelling entrance (or relevant block entrance or lift core), should be kept to a minimum and be level or gently sloping. The distance from visitors parking to relevant entrances should be as short as practicable and be level or gently sloping. **YES**

**3. Approach** - The approach to all entrances should be level or gently sloping. **YES**

**4. External Entrances** - All entrances should be illuminated and have level access over the threshold. They should have effective clear opening widths and nibs as follows: There should be 300mm nib or wall space to the side of the leading edge of the doors on entrance level. For communal doors - When the approach is head on or at right angles to an access route at least 1500mm wide, the opening should have a clear width of 800mm. When the approach is at right angles to an access route at least 1200mm wide, the opening should have a clear width of 825mm. **YES**

Main entrances should also have adequate weather protection and have a level external landing.

**5. Communal Stairs** - Communal stairs should provide easy access and, where homes are reached by a lift, it should be fully accessible. **ALL FLATS FULLY ACCESSIBLE**

**6. Internal Doorways & Hallways** - Movement in hallways and through doorways should be as convenient to the widest range of people, including those using mobility aids or wheelchairs, and those moving furniture or other objects. As a general principle, narrower hallways and landings will need wider doorways in their side walls. **SEE DRAWING**

For internal dwelling doors - When the approach is head on or at right angles to an access route at least 1200mm wide, the opening should have a clear width of 750mm. When the approach is at right angles to an access route at least 1050mm wide, the opening should have a clear width of 775mm. When the approach is at right angles to an access route less than 1050mm wide, the opening should have a clear width of 900mm.

**7. Wheelchair Accessibility** - There should be space for turning a wheelchair in dining areas and living rooms and adequate circulation space for wheelchairs elsewhere. **SEE DRAWING**

**8. Living Room** - The living room should be at entrance level of every dwelling **YES**

**9. Two or more storey requirements** - In dwellings with two or more storeys, with no permanent bedroom on the entrance level, there should be space on the entrance level that could be used as a convenient temporary bed-space. **N/A**

**10. WC** - In dwellings with two or more storeys, and no more than two habitable rooms in addition to the main living room and any kitchen/diner, the entrance level should have an accessible WC compartment with potential for a shower to be installed, if an accessible bathroom is not provided on that level. In houses with two bedrooms the downstairs WC should at least conform to Part M. **N/A**

**11. Bathroom & WC Walls** - Walls in all bathrooms and WC compartments should be capable of firm fixing and support for adaptations such as grab rails. **YES (stud walls will include plywood sublayer)**

**12. Stairs and potential through-floor lift in dwellings** - The design within a dwelling of two or more storeys should incorporate potential for stair lift installation and a suitable identified space for a through-the-floor lift from the entrance level to a storey containing a main bedroom and a bathroom satisfying criterion 14. **N/A**

**13. Main Bedroom** - Structure above a main bedroom and bathroom ceilings should be capable of supporting ceiling hoists and the design should provide a reasonable route between this bedroom and the bathroom. **SEE DRAWING**

**14. Bathroom Layout** - An accessible bathroom, providing ease of access in accordance with the specification below, should be provided in every dwelling on the same storey as a main bedroom. **SEE DRAWING**

**15. Window Specification** - Windows in the principal living space (typically the living room), should allow people to see out when seated. In addition, at least one opening light in each habitable room should be approachable and usable by a wide range of people including those with restricted movement and reach. **YES**

Living room window glazing should begin no higher than 800mm from the floor level and windows should be easy to open/operate.

**16. Fixtures & Fittings** - Location of service controls Service controls should be within a height band of 450mm to 1200mm from the floor and at least 300mm away from any internal room corner. **YES**

# Planning

Haines House,  
21 John Street,  
London W1CN

for

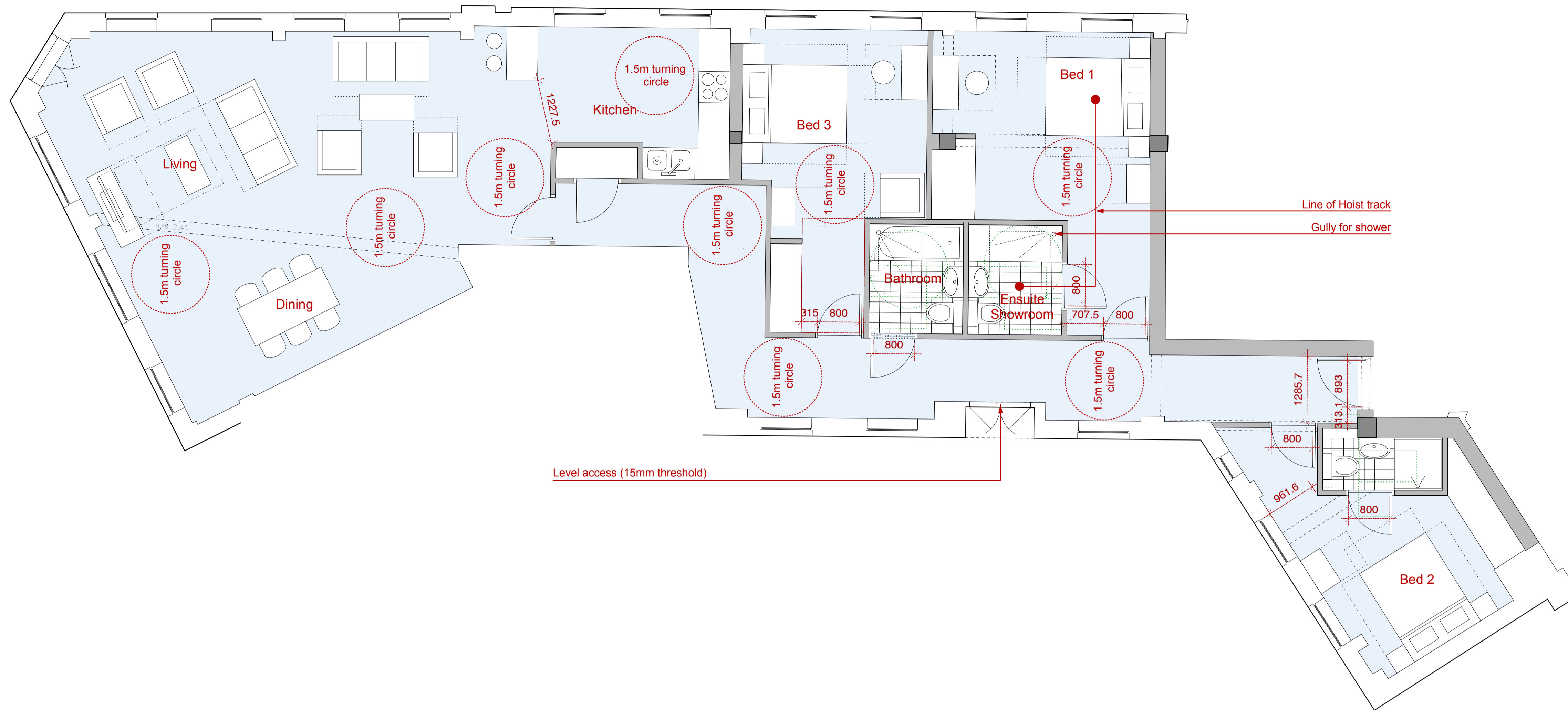
One West  
Smithfield LLP.

1237-D2151-rev00

Scale: 1:50 @A1  
Date: 17 January 2012

Lifetime Homes  
Plans: Proposed

# 3 BED (6P) FLAT PLAN 2.01



## The Lifetime Home Standards

<p><b>1. Car Parking</b> - Where parking is provided by communal or shared bays, at least one parking space 3300mm wide x 4800mm deep should be provided adjacent to (or close to) each block's entrance or lift core.</p> <p>The access route between the parking and communal entrance (or in the case of basement parking, the lift core) should maintain a minimum clear width of 1200mm.</p> <p><b>2. Access from Car Parking</b> - The distance from the car parking space to the dwelling entrance (or relevant block entrance or lift core), should be kept to a minimum and be level or gently sloping. The distance from visitors parking to relevant entrances should be as short as practicable and be level or gently sloping.</p> <p><b>3. Approach</b> - The approach to all entrances should be level or gently sloping.</p> <p><b>4. External Entrances</b> - All entrances should be illuminated and have level access over the threshold. They should have effective clear opening widths and nibs as follows: There should be 300mm nib or wall space to the side of the leading edge of the doors on entrance level. For communal doors - When the approach is head on or at right angles to an access route at least 1500mm wide, the opening should have a clear width of 800mm. When the approach is at right angles to an access route at least 1200mm wide, the opening should have a clear width of 825mm.</p> <p>Main entrances should also have adequate weather protection and have a level external landing.</p> <p><b>5. Communal Stairs</b> - Communal stairs should provide easy access and, where homes are reached by a lift, it should be fully accessible.</p> <p><b>6. Internal Doorways &amp; Hallways</b> - Movement in hallways and through doorways should be as convenient to the widest range of people, including those using mobility aids or wheelchairs, and those moving furniture or other objects. As a general principle, narrower hallways and landings will need wider doorways in their side walls.</p> <p>For internal dwelling doors - When the approach is head on or at right angles to an access route at least 1200mm wide, the opening should have a clear width of 750mm. When the approach is at right angles to an access route at least 1050mm wide, the opening should have a clear width of 775mm. When the approach is at right angles to an access route less than 1050mm wide, the opening should have a clear width of 900mm.</p>	<p><b>YES</b></p> <p><b>YES</b></p> <p><b>YES</b></p> <p><b>YES</b></p> <p><b>ALL FLATS FULLY ACCESSIBLE</b></p> <p><b>SEE DRAWING</b></p>
--	--

<p><b>7. Wheelchair Accessibility</b> - There should be space for turning a wheelchair in dining areas and living rooms and adequate circulation space for wheelchairs elsewhere.</p> <p><b>8. Living Room</b> - The living room should be at entrance level of every dwelling</p> <p><b>9. Two or more storey requirements</b> - In dwellings with two or more storeys, with no permanent bedroom on the entrance level, there should be space on the entrance level that could be used as a convenient temporary bed-space.</p> <p><b>10. WC</b> - In dwellings with two or more storeys, and no more than two habitable rooms in addition to the main living room and any kitchen/diner, the entrance level should have an accessible WC compartment with potential for a shower to be installed, if an accessible bathroom is not provided on that level. In houses with two bedrooms the downstairs WC should at least conform to Part M.</p> <p><b>11. Bathroom &amp; WC Walls</b> - Walls in all bathrooms and WC compartments should be capable of firm fixing and support for adaptations such as grab rails.</p> <p><b>12. Stairs and potential through-floor lift in dwellings</b> - The design within a dwelling of two or more storeys should incorporate potential for stair lift installation and a suitable identified space for a through-the-floor lift from the entrance level to a storey containing a main bedroom and a bathroom satisfying criterion 14.</p> <p><b>13. Main Bedroom</b> - Structure above a main bedroom and bathroom ceilings should be capable of supporting ceiling hoists and the design should provide a reasonable route between this bedroom and the bathroom.</p> <p><b>14. Bathroom Layout</b> - An accessible bathroom, providing ease of access in accordance with the specification below, should be provided in every dwelling on the same storey as a main bedroom.</p> <p><b>15. Window Specification</b> - Windows in the principal living space (typically the living room), should allow people to see out when seated. In addition, at least one opening light in each habitable room should be approachable and usable by a wide range of people including those with restricted movement and reach.</p> <p>Living room window glazing should begin no higher than 800mm from the floor level and windows should be easy to open/operate.</p> <p><b>16. Fixtures &amp; Fittings</b> - Location of service controls Service controls should be within a height band of 450mm to 1200mm from the floor and at least 300mm away from any internal room corner.</p>	<p><b>SEE DRAWING</b></p> <p><b>YES</b></p> <p><b>N/A</b></p> <p><b>N/A</b></p> <p><b>YES (stud walls will include plywood sublayer)</b></p> <p><b>N/A</b></p> <p><b>SEE DRAWING</b></p> <p><b>SEE DRAWING</b></p> <p><b>YES</b></p> <p><b>YES</b></p>
--	--

# Planning

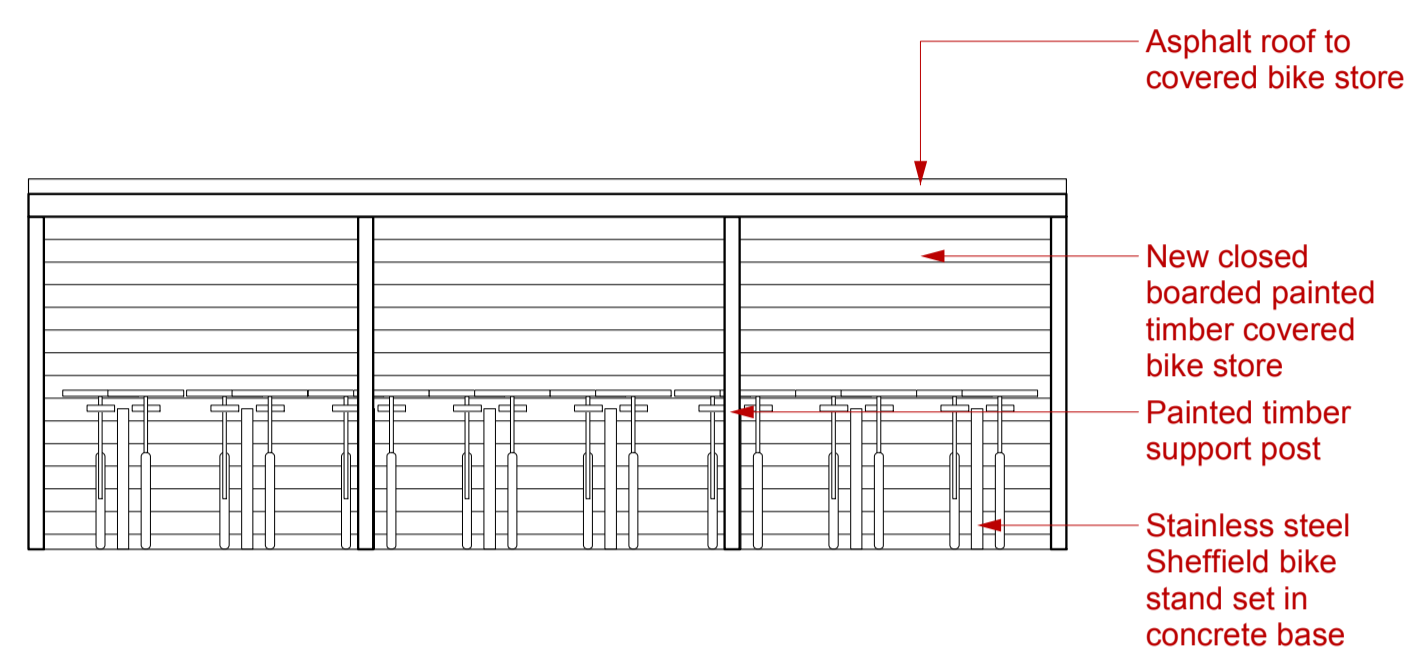
Haines House,  
21 John Street,  
London W1CN

for  
One West  
Smithfield LLP.

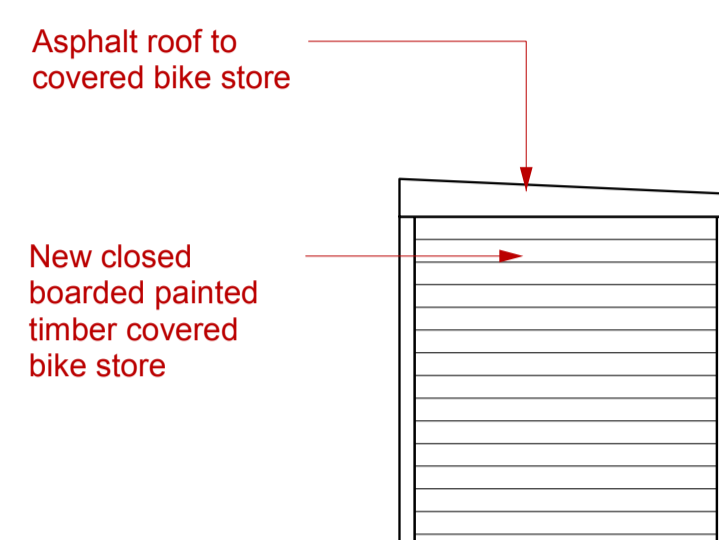
1237-D2152-rev00

Scale: 1:50 @A1  
Date: 17 January 12

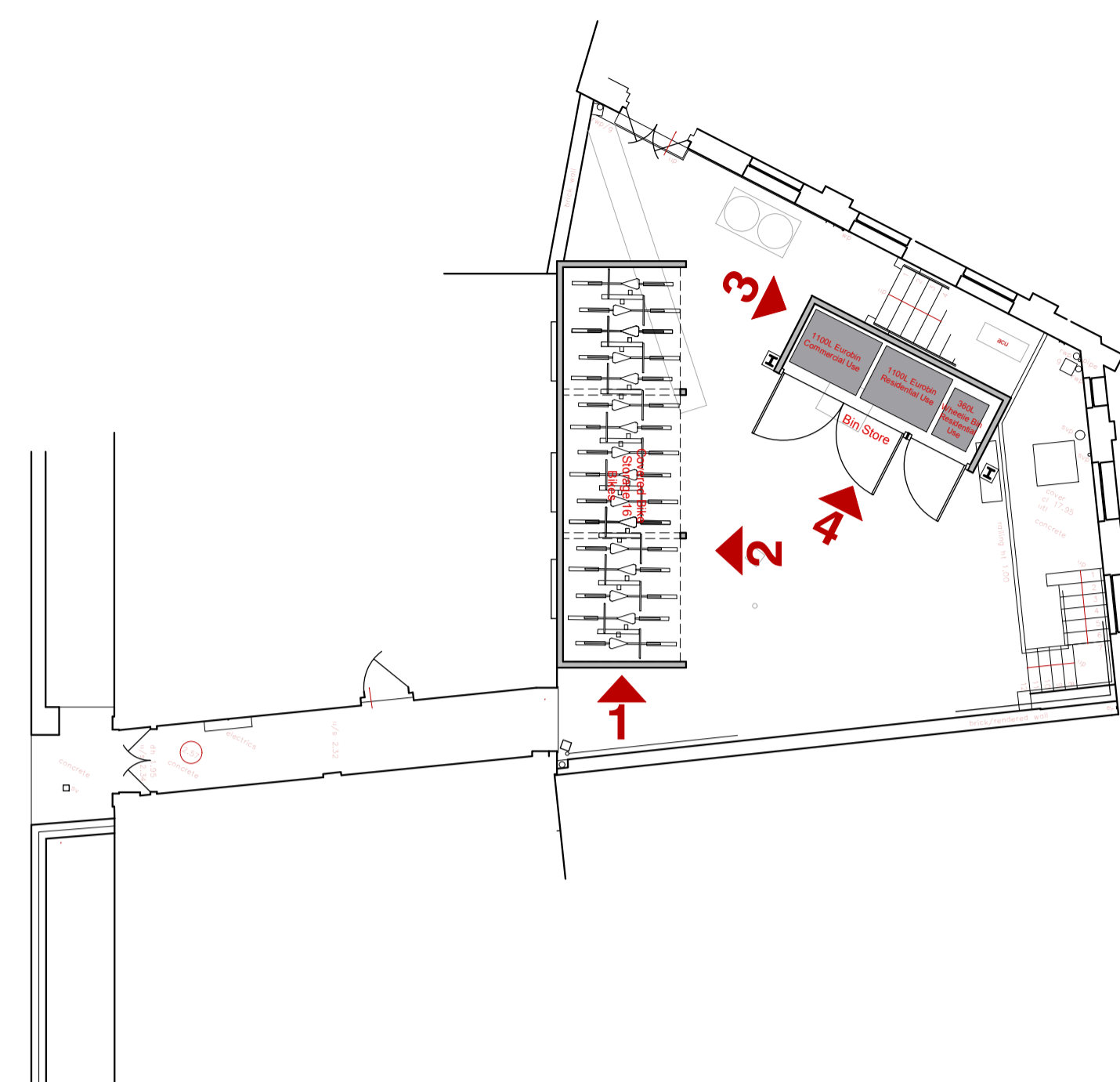
Lifetime Homes  
Plans: Proposed



1 - Front Elevation to Covered Bike Storage

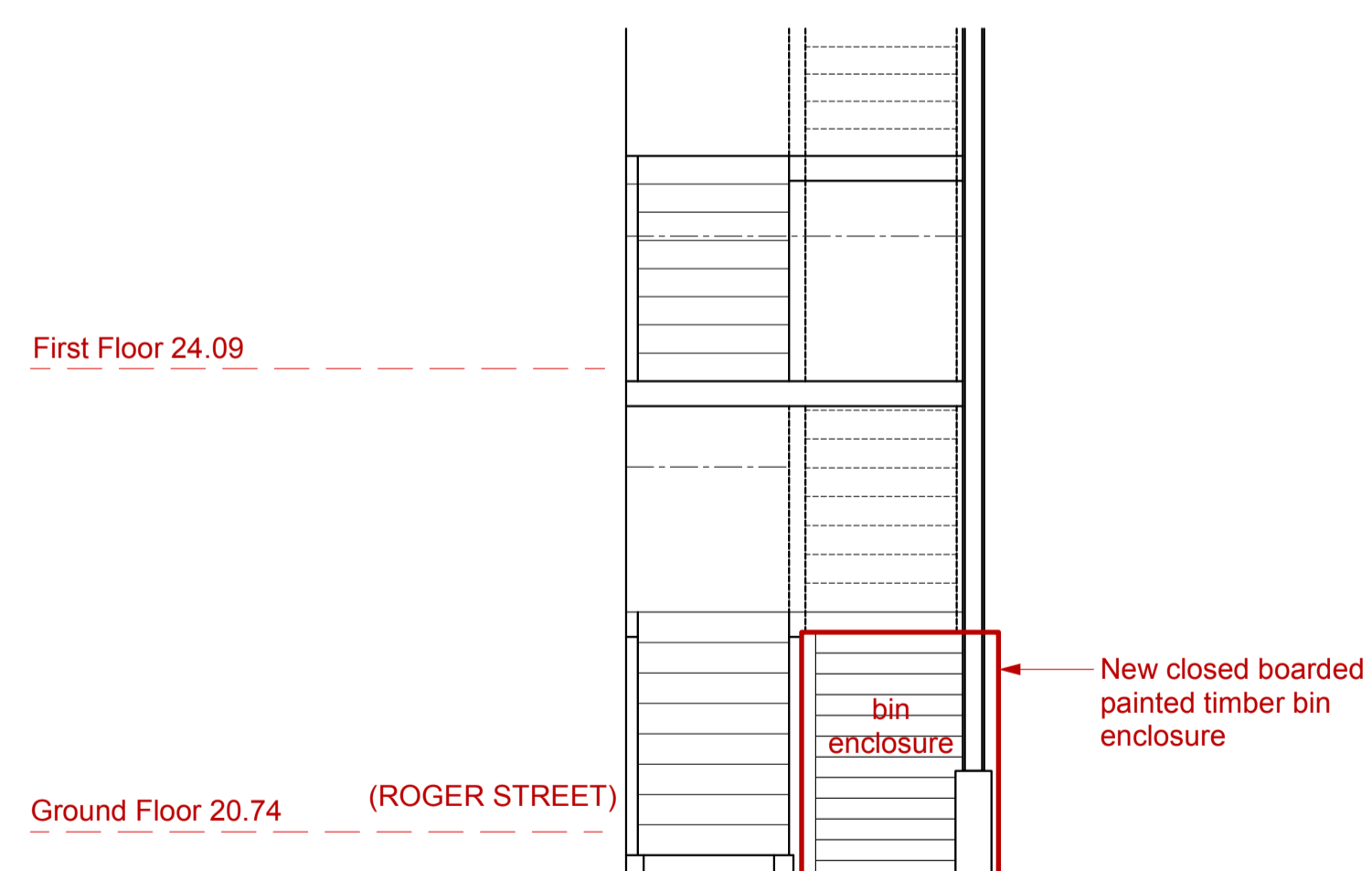


2 - Side Elevation of Covered Bike Storage

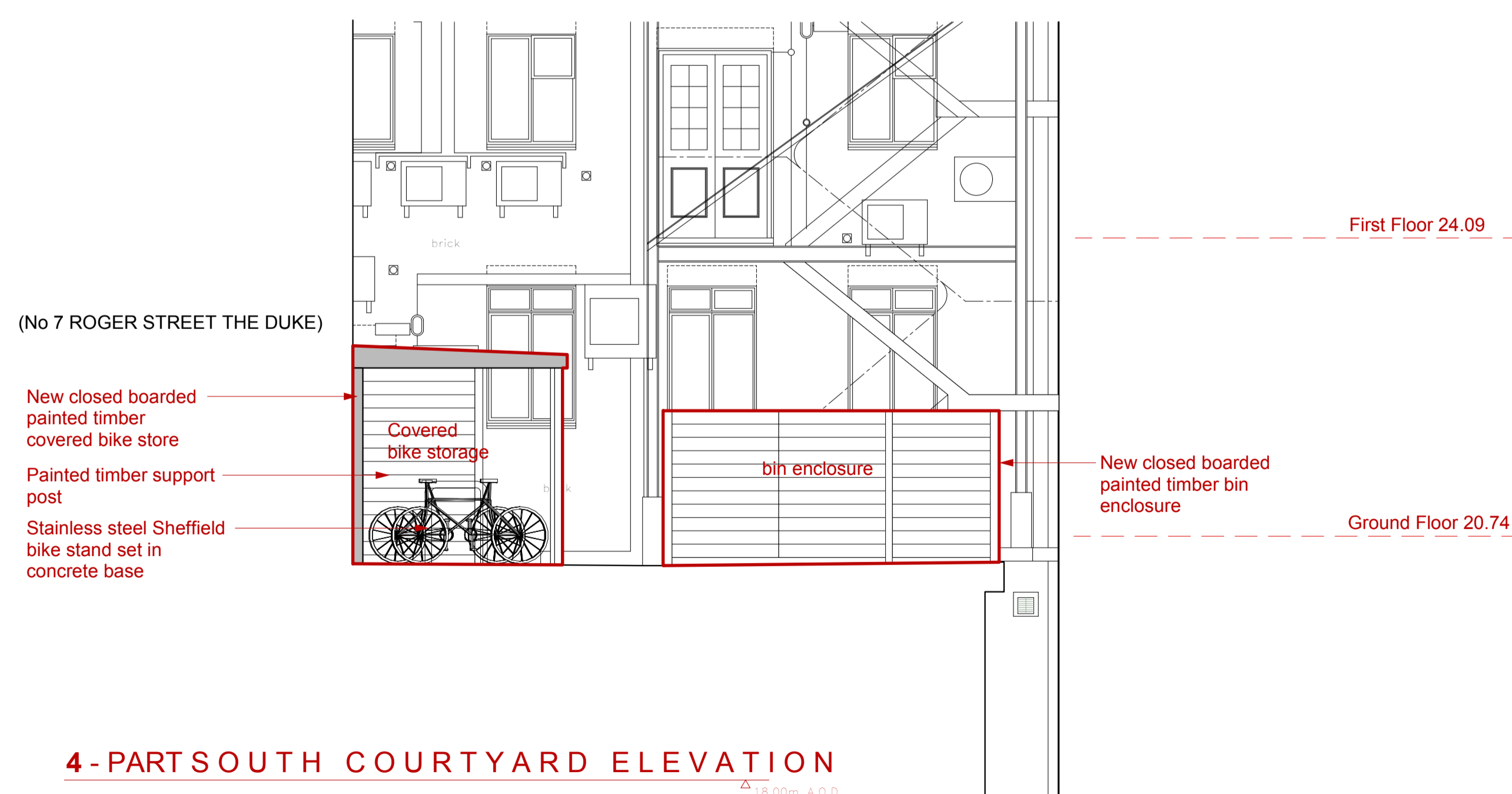


Key Plan of Courtyard

Revisions:  
00 18 Jan 12



3 - SIDE ELEVATION OF BIN STORAGE ENCLOSURE



4 - PART SOUTH COURTYARD ELEVATION


Haines House,  
21 John Street,  
London W1CN

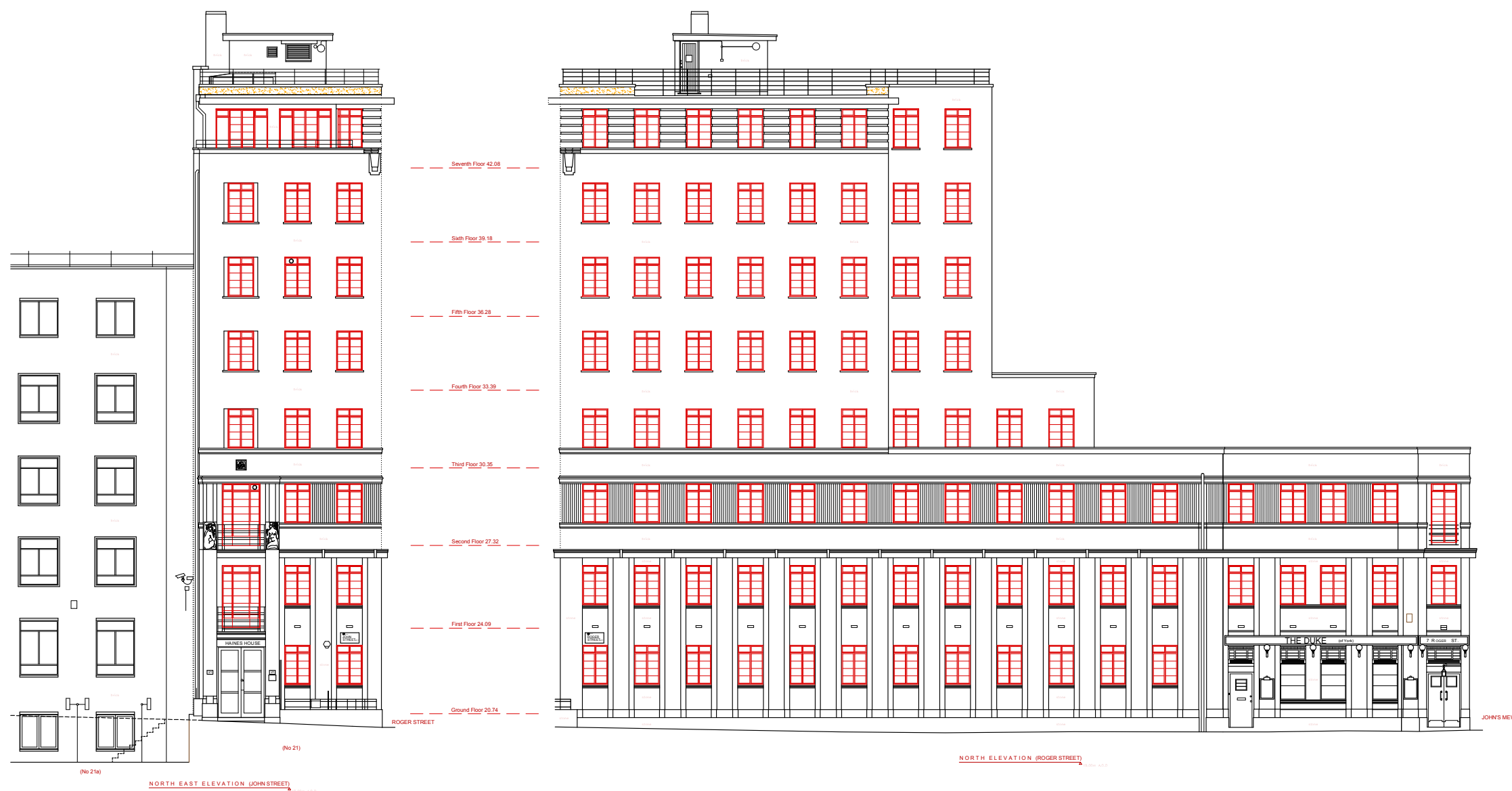
for

One West  
Smithfield LLP.  
1237-D2250-rev00

Scale: 1:50 @ A1  
Date: 18 January 12  
Bin/Bike Storage  
Elevation:  
Proposed

**Planning**

KEY:  
 New window to match existing



Haines House,  
21 John Street,  
London W1CN


for

One West  
Smithfield LLP.  
1237-D3201-rev00

Scale: 1:100 @ A1  
Date: 15 Dec 11

North East &  
North Elevation

**Planning**

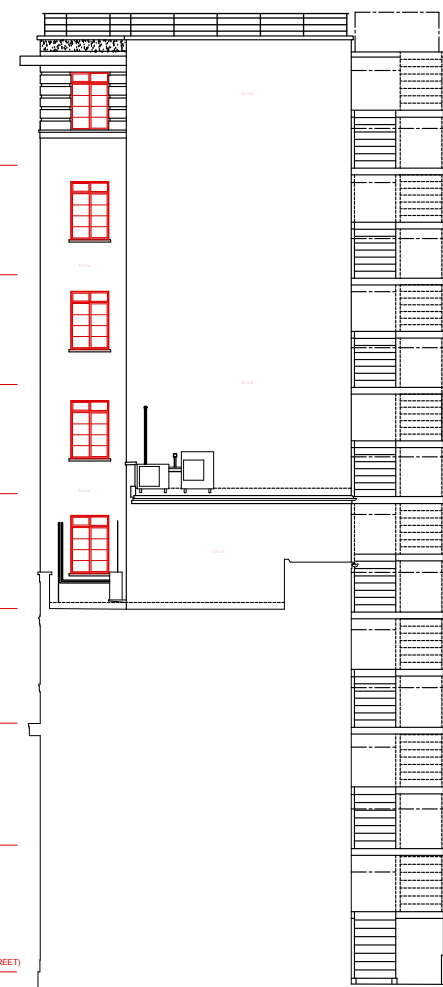
KEY:  
 New window to match existing

Seventh Floor 42.08  
 Sixth Floor 39.18  
 Fifth Floor 36.28  
 Fourth Floor 33.39  
 Third Floor 30.35  
 Second Floor 27.32  
 First Floor 24.09  
 Ground Floor 20.74

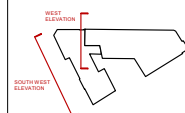


SOUTH WEST ELEVATION (JOHN'S MENS)

Seventh Floor 42.08  
 Sixth Floor 39.18  
 Fifth Floor 36.28  
 Fourth Floor 33.39  
 Third Floor 30.35  
 Second Floor 27.32  
 First Floor 24.09  
 Ground Floor 20.74 (ROGER STREET)



WEST ELEVATION



Haines House,  
21 John Street,  
London W1CN


for

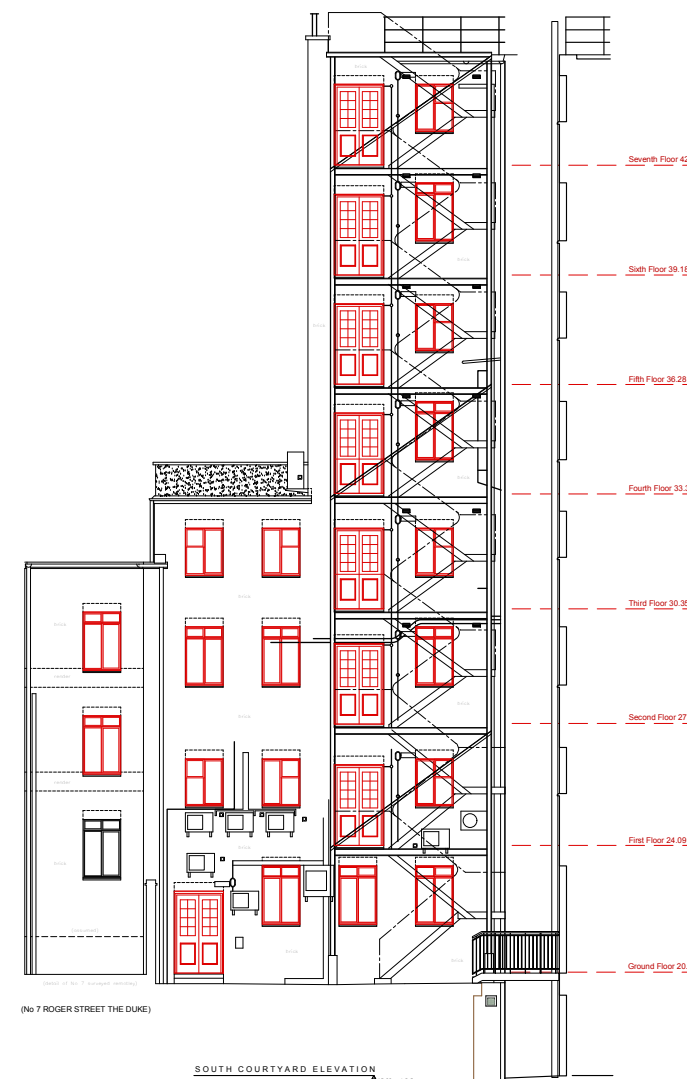
One West  
Smithfield LLP.  
1237-D2302-rev00

Scale: 1:100 @ A1  
Date: 15 Dec 11

South West &  
West Elevation

**Planning**

KEY:  
 New window to match existing



Haines House,  
21 John Street,  
London W1CN

for

One West  
Smithfield LLP.  
1237-D3203-rev00

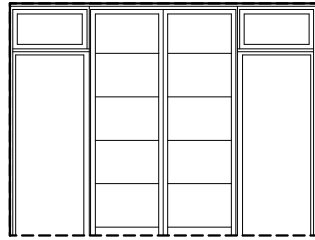
Scale: 1:100 @ A1  
Date: 15 Dec 11  
South West &  
South Courtyard  
Elevation

# Planning

**Note:**

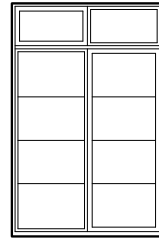
All window opening dimensions, and types to be confirmed on site by specialist window contractor

Type A

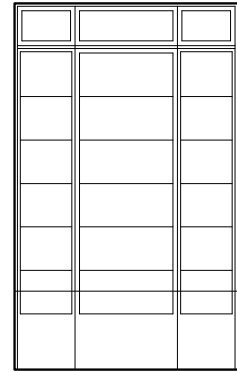


Precise size to match existing structural opening

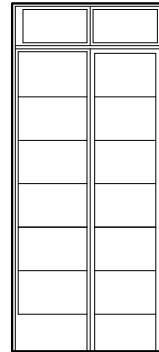
Type B



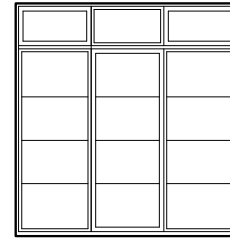
Type C



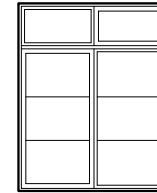
Type D



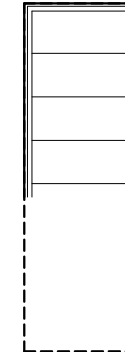
Type E



Type F

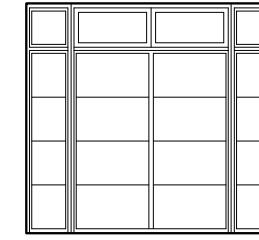


Type G

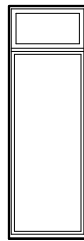


Precise size to match existing structural opening

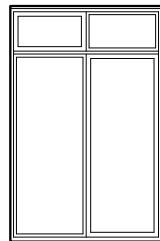
Type H



Type I



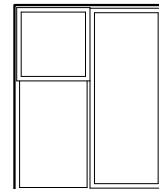
Type J



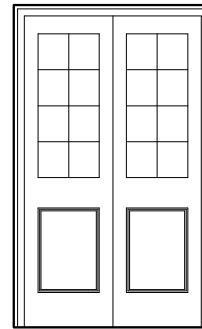
Type K



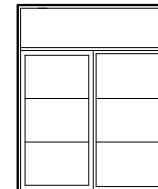
Type L



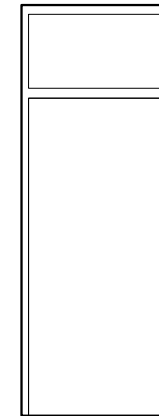
Type M



Type N



Type O (New Door and Fanlight)



# Planning