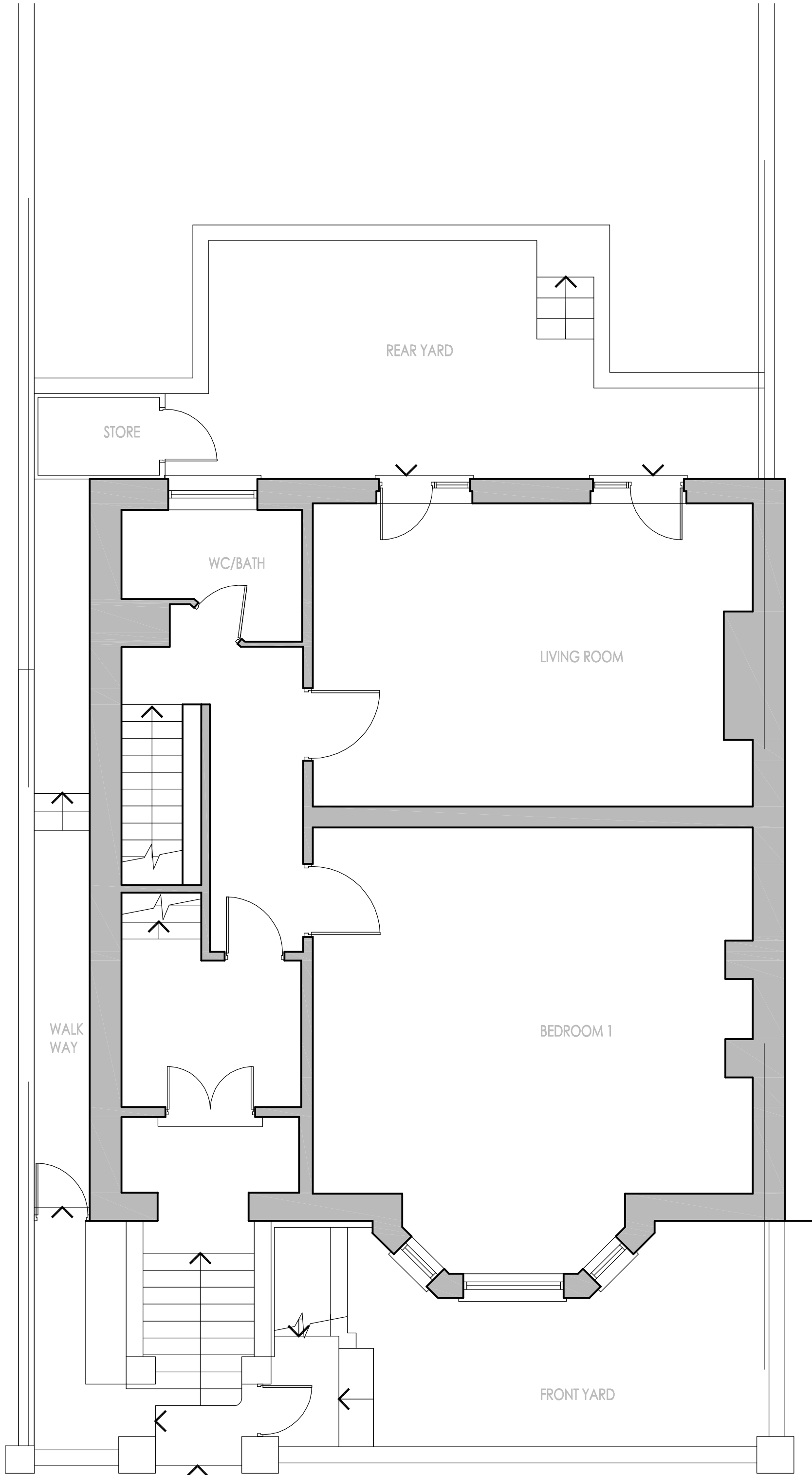


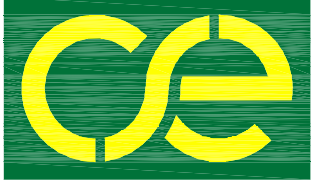
LOWER GROUND FLOOR PLAN - EXISTING
[scale 1:50]



GROUND FLOOR PLAN - PROPOSED
[scale 1:50]

PRE - PLANNING
SCHEME DRAWING

rev.	date	description	chk.



civil
structural
engineers

Victoria House
Desborough Street
High Wycombe
Bucks HP11 2NF
tel: 01494 601170
fax: 01494 601171
email: mail@cseconsulting.co.uk

client:

Kewdale Property Investment

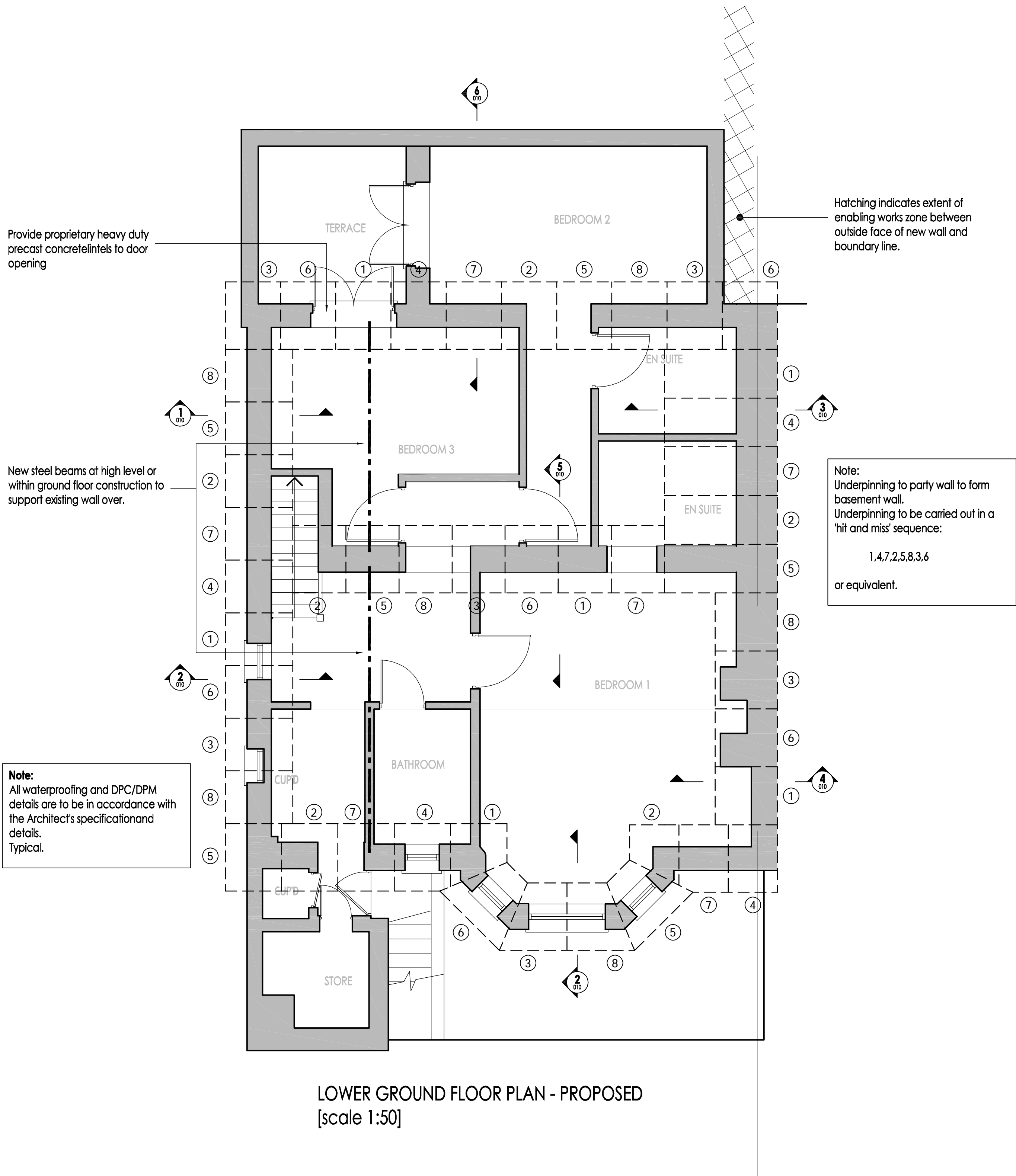
job title:
47 SOUTH HILL PARK
LONDON NW3 2SS

drawing title:
EXISTING LOWER GROUND AND
GROUND FLOOR PLANS

scale: 1:50@A1 date: June 2012 drawn by: MRH checked by:

job number:	drawing number:	revision:
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UNDERPINNING SPECIFICATION

1.00 CODES OF PRACTICE

All continuous underpinning is to be carried out strictly in accordance with the requirements of B.S.8004, 1985. The Code of Practice for Foundations. All materials used in the works shall comply with the requirements of the relevant Codes of Practice.

2.00 SHORING AND PROPPING

It is the Contractor's responsibility to take all necessary steps to ensure that the structure is adequately propped, shored and braced to ensure that during the progress of the works excessive deflections or deformations of the structure do not occur. The Contractor shall discuss with the Engineer any proposals for temporary works. This does not in any way relieve the Contractor of his responsibility to ensure that the structure is adequately supported at all times during the progress of the works. It is frequently necessary for the Contractor to brace or prop existing openings so that isolated load bearing piers may be underpinned. The Contractor is to allow in his tender price for all propping, shoring and bracing required to ensure that the works may be safely undertaken with no undue disruption to the structure.

3.00 SEQUENCE OF WORKING

The sequence of working is to be submitted to the Engineer and approved by the Local Authority. This shall be based on a maximum leg length of approximately 1.0m. The agreed sequence of operations shall be strictly adhered to. The Contractor may wish to alter the excavation and concreting sequence, but this must be discussed with the Engineer/Local Authority Representative, and no deviation from the sequence of operations shall be permitted unless the Engineer/Local Authority Representative confirms otherwise in writing.

4.00 EXCAVATION AND APPROVAL

During excavations the Contractor shall take all necessary steps to prevent softening of the excavation base by ground water. Where necessary the Contractor shall keep excavations free from ground water by pumping. The contractor shall also ensure that the base of the excavation shall not become contaminated by loose material falling into the excavation. The Contractor shall take steps to ensure that the size of the excavation closely matches the required size agreed with the Engineer/Local Authority Representative. Excessive overbreak will not be permitted, and the Contractor shall provide all necessary trench sheeting and strutting to prevent overbreak. The Contractor may be required to provide sheeting and strutting to prevent any ingress of loose material from beneath the existing slab. All underpinning excavations shall be approved by the Local Authority Representative before any concrete is placed.

5.00 LINKING OF ADJACENT LEGS

Place and fix 16mm diameter continuity dowel bars 600mm long at 500mm vertical centres to each bay: 300mm minimum into concrete underpinning section of 300mm projection for adjacent concrete section.

6.00 CLEANING OF EXISTING FOOTINGS

The underside of all existing footings (where exposed by excavation in preparation for underpinning) shall be cleaned of all loose soil and fragments. Any major projections or inclusions such as bricks, broken concrete or boulders, shall be broken away from the underside of the existing footing. Prior to concreting the underpinning leg the existing footing should be clean, firm and level so that dry packing may be accomplished satisfactorily.

7.00 CONCRETING

All concrete shall be grade C35 and mixed, delivered, placed and vibrated strictly in accordance with the concrete specification contained in B.S.8110:Part 1:1985. Sulphate resisting cement to be used should site conditions dictate or as directed by Local Building Control Officer. It should be noted that the concrete should be adequately compacted with a vibratory poker to ensure adequate density. The concrete for the underpinning legs should be brought up to 75mm from the underside of the existing footings.

8.00 DRY PACKING

Once the concrete in the underpinning legs has set (at least 48 hours after concrete placement) the gap between the underside of the existing footing and the top of the new footing is to be packed with dry concrete. The mix proportions for the dry concrete are to be by weight 1:3 (cement:zone 2 sharp sand) with Combex non-shrink admixture added in accordance with Manufacturers recommendations. The constituents are to be mixed dry and a small volume of water is to be added such that when compressed, a small ball of the mixture retains its shape. The dry packing concrete is then to be rammed solid into the gap between the underside of the existing footing and the top of the new footing using a steel bar.

9.00 CURING TIME

A sufficient time should elapse between the completion of dry packing and the excavation of any underpinning legs in the vicinity. The curing time shall be agreed with the Engineer, this being dependent upon the prevailing weather conditions. Vicinity in this context shall be deemed to include all legs adjacent to, or next but one to the leg in question.

10.00 PROVISION FOR EXISTING SERVICES

Underpinning legs may be punctured by the services entering the building. The means of 'sleeving' these services shall be agreed with the Engineer during the progress of the works. Where existing services interfere with or affect the underpinning excavation these services should be temporarily diverted. The contractor shall make due allowance in his tender price for any diversions of services, sleeving or other service adjustments which may be required in order to undertake the works in a satisfactory fashion.

PRE - PLANNING
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CSE CONSULTING civil structural engineers
Victoria House
Desborough Street
High Wycombe
Bucks HP11 2NF
tel: 01494 601170
fax: 01494 601171
email: mail@cseconsulting.co.uk
client:

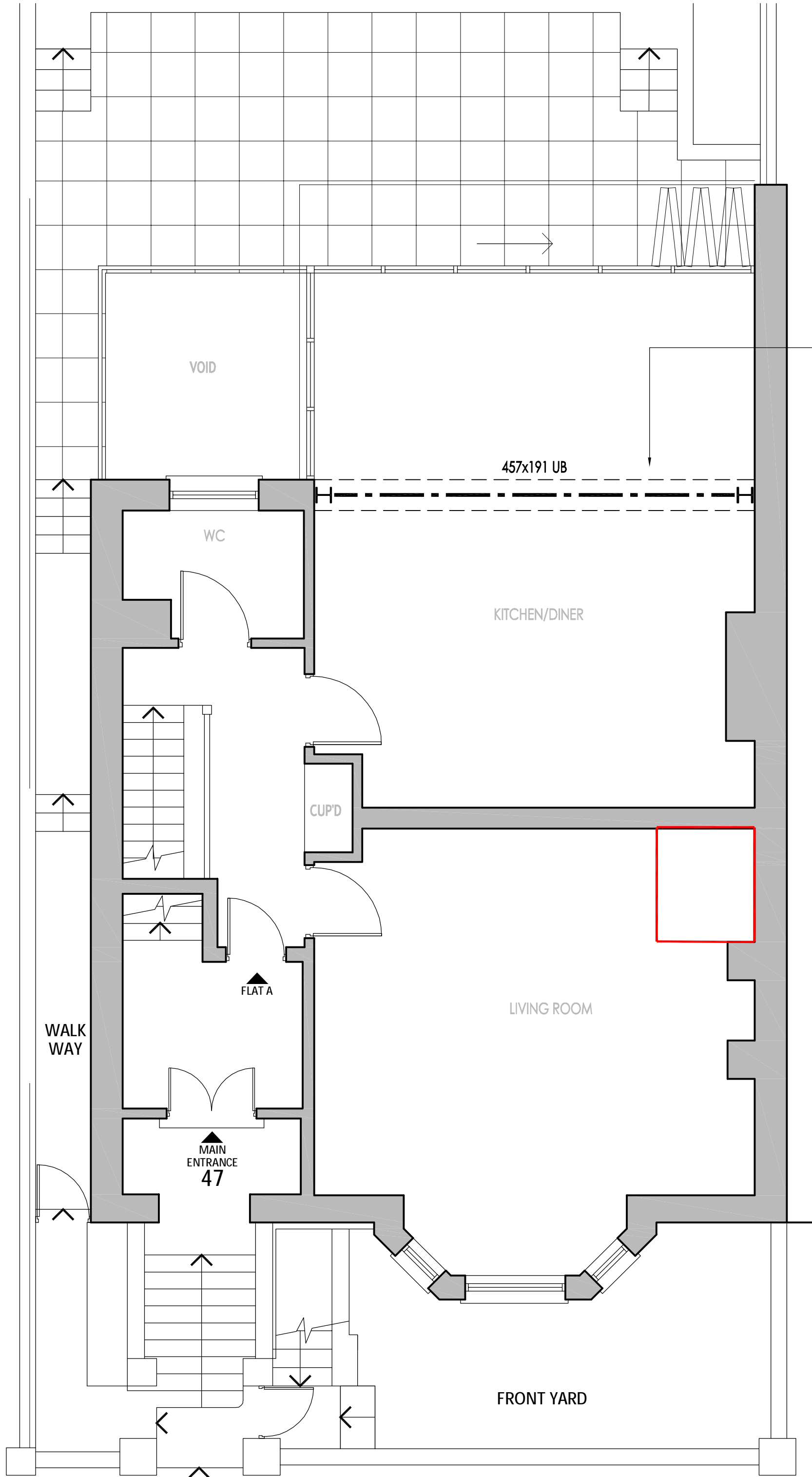
Kewdale Property Investment

job title:
**47 SOUTH HILL PARK
LONDON NW3 2SS**

drawing title:
**PROPOSED LOWER GROUND
FLOOR PLAN**

scale: 1:50@A1	date: June 2012	drawn by: MRH	checked by:
job number: 10-157	drawing number: 002	revision:	





Structural box frame comprising 203 UC vertical members and 457x191 UB top and 254 UC bottom members. Top member to be provided with 12.5mm thick, wall width plate to top flange to support existing wall over. Bottom member to be level bedded on good quality mortar on top of underpinning concrete.

GROUND FLOOR PLAN - PROPOSED
[scale 1:50]

PRE - PLANNING
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civil
structural
engineers

CSE CONSULTING
email: mail@cseconsulting.co.uk

Victoria House
Desborough Street
High Wycombe
Bucks HP11 2NF
tel: 01494 601170
fax: 01494 601171

client: Kewdale Property Investment

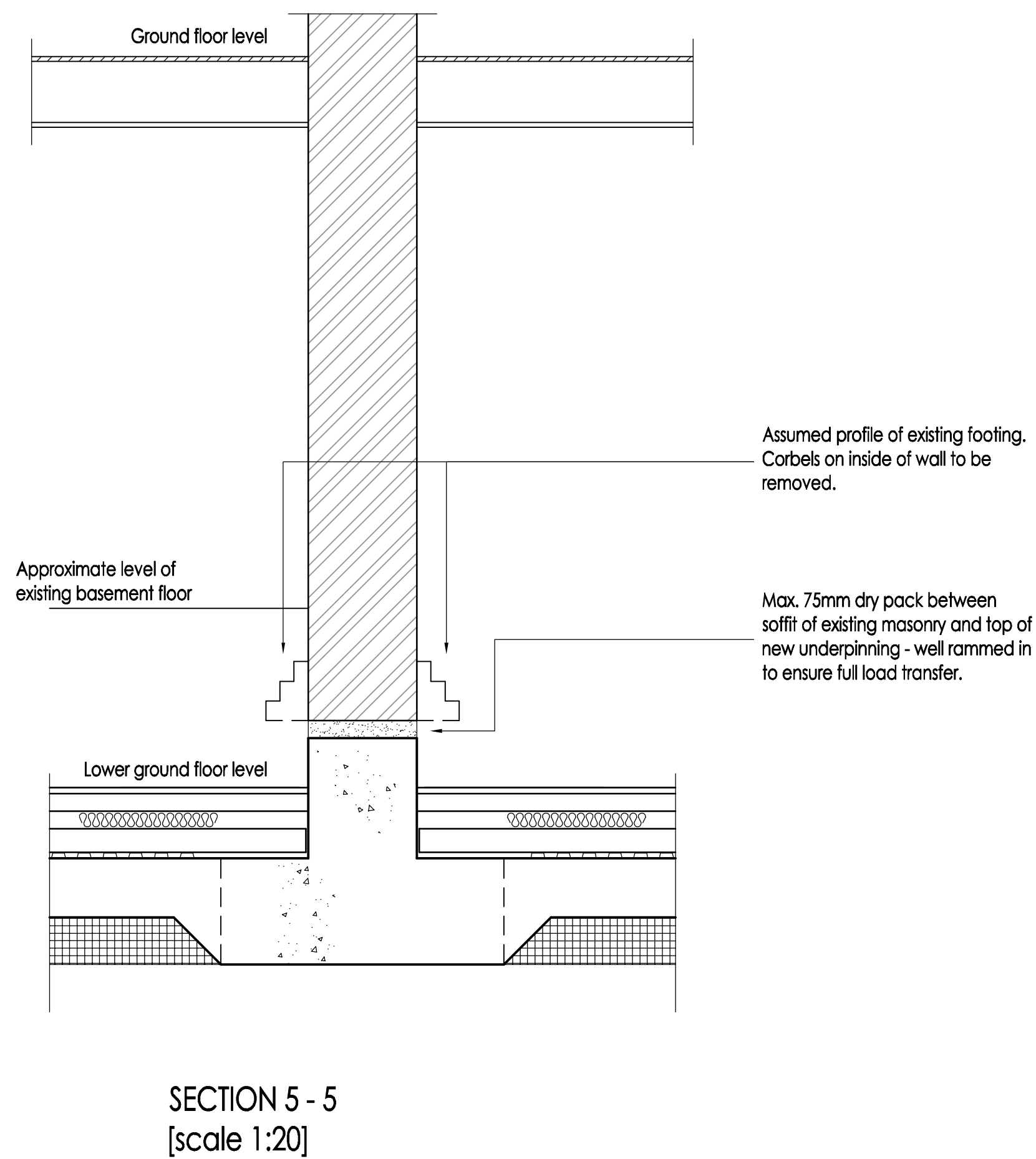
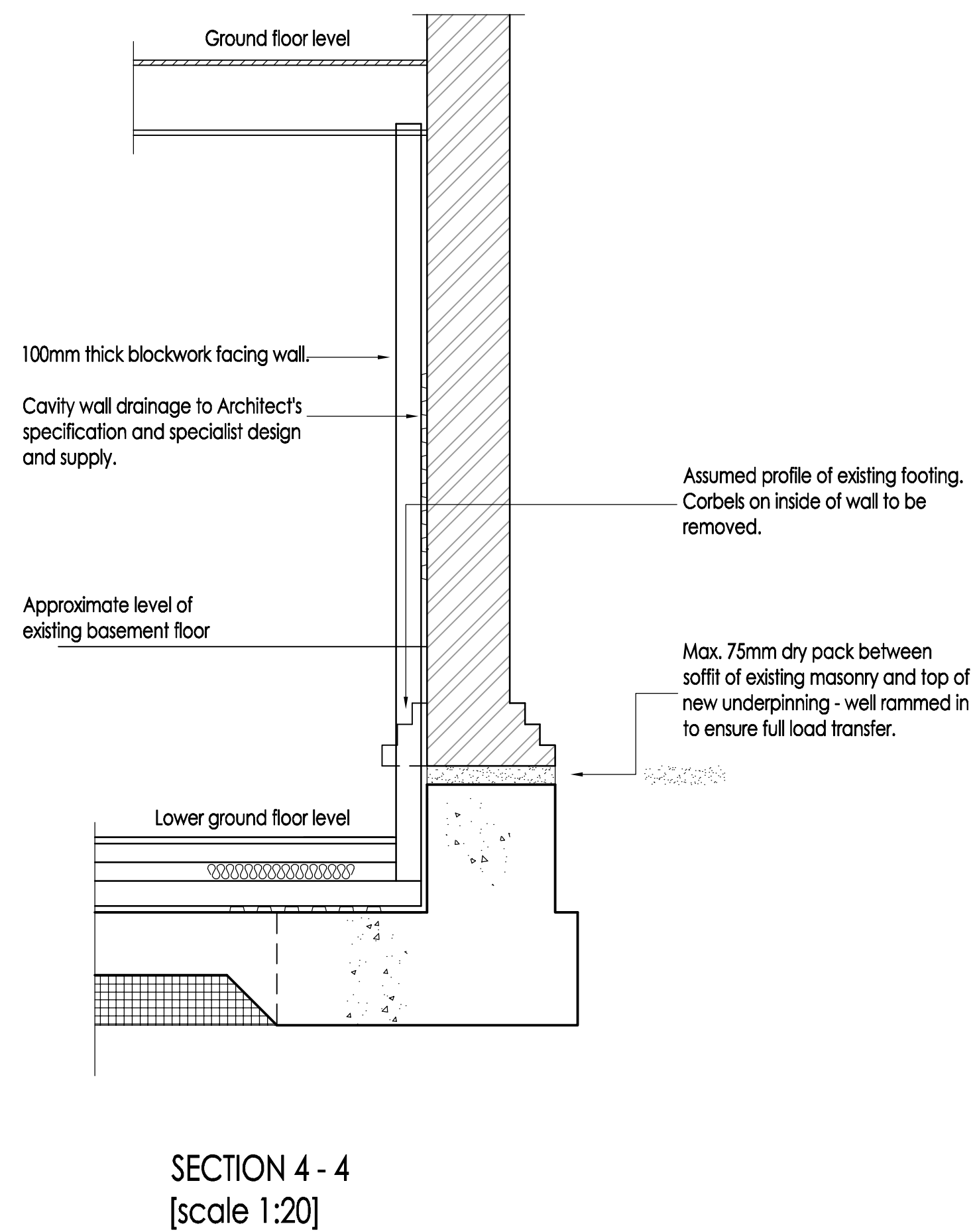
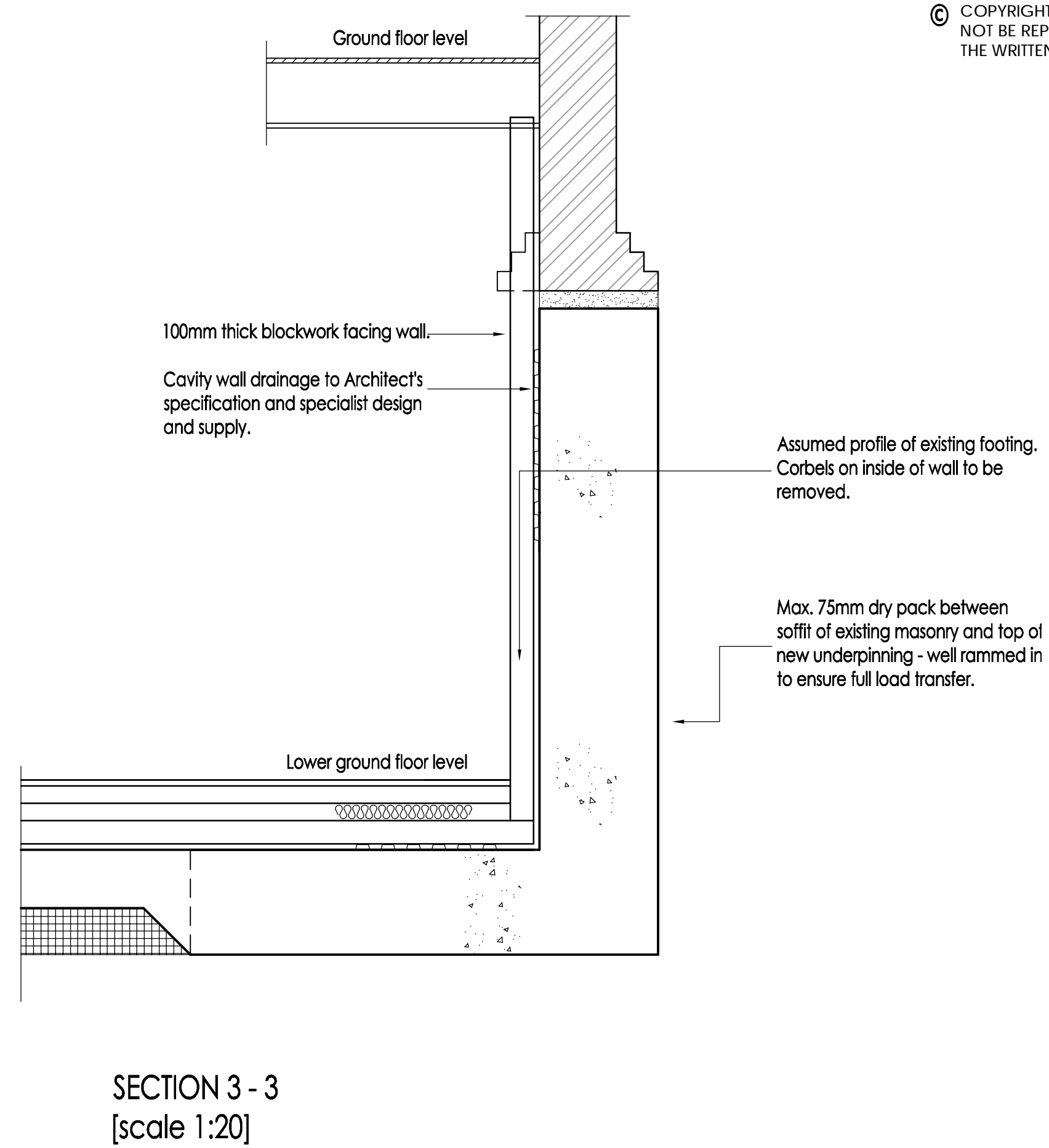
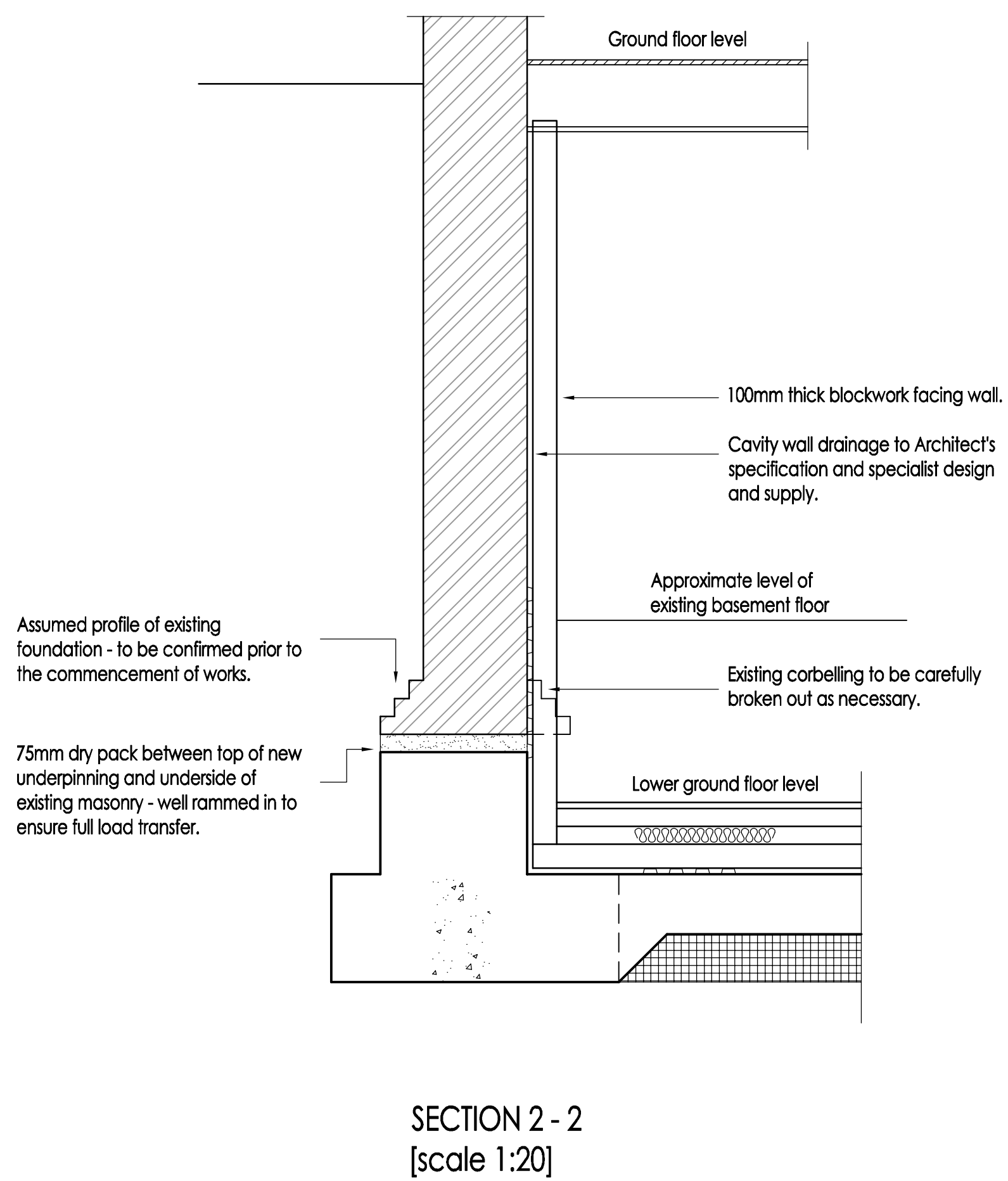
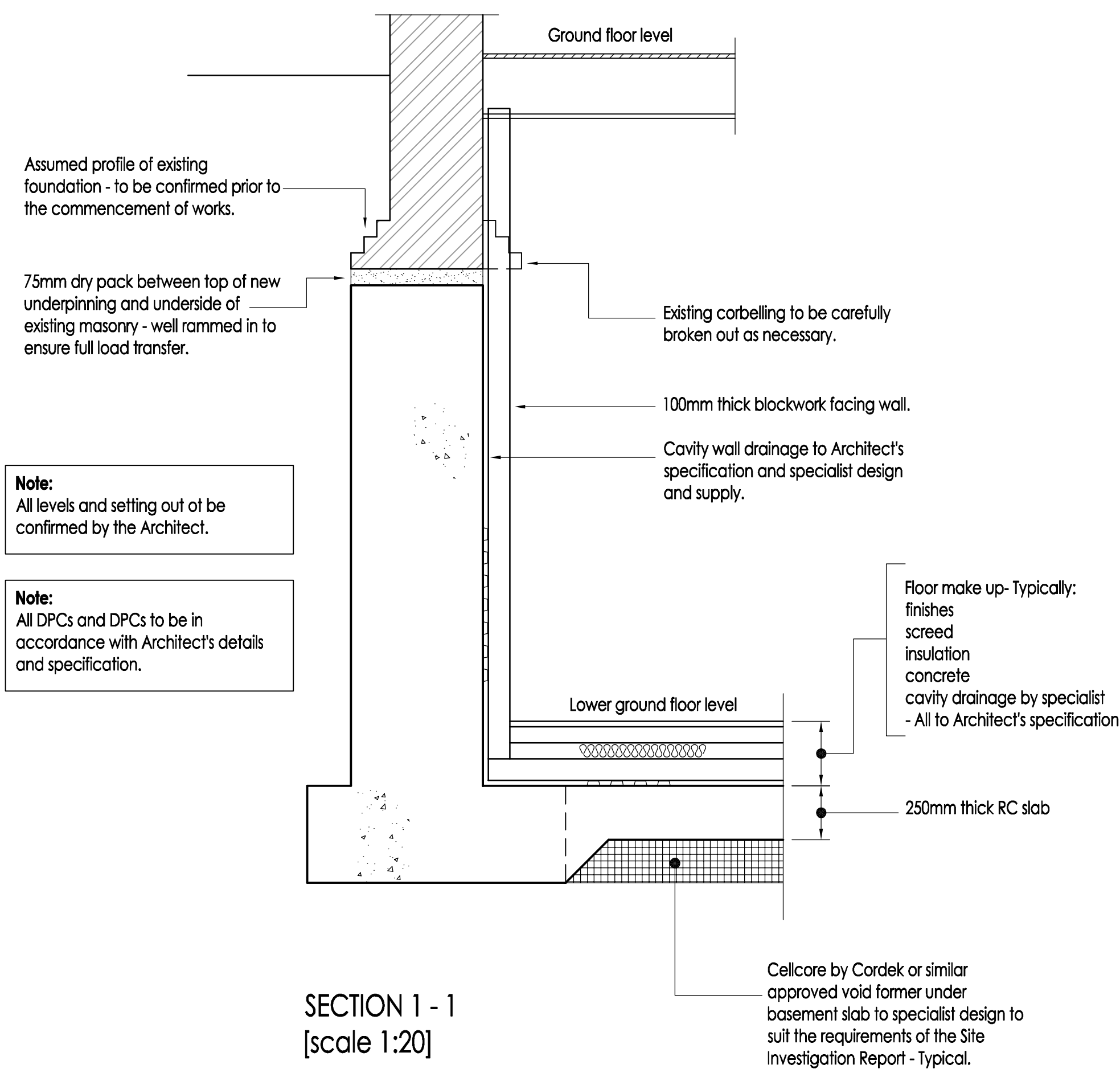
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47 SOUTH HILL PARK
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drawing title:
PROPOSED GROUND
FLOOR PLAN

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CSE CONSULTING civil structural engineers
Victoria House
Desborough Street
High Wycombe
Bucks HP11 2NF
tel: 01494 601170
fax: 01494 601171
email: mail@cseconsulting.co.uk
client:

Kewdale Property Investment

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LONDON NW3 2SS

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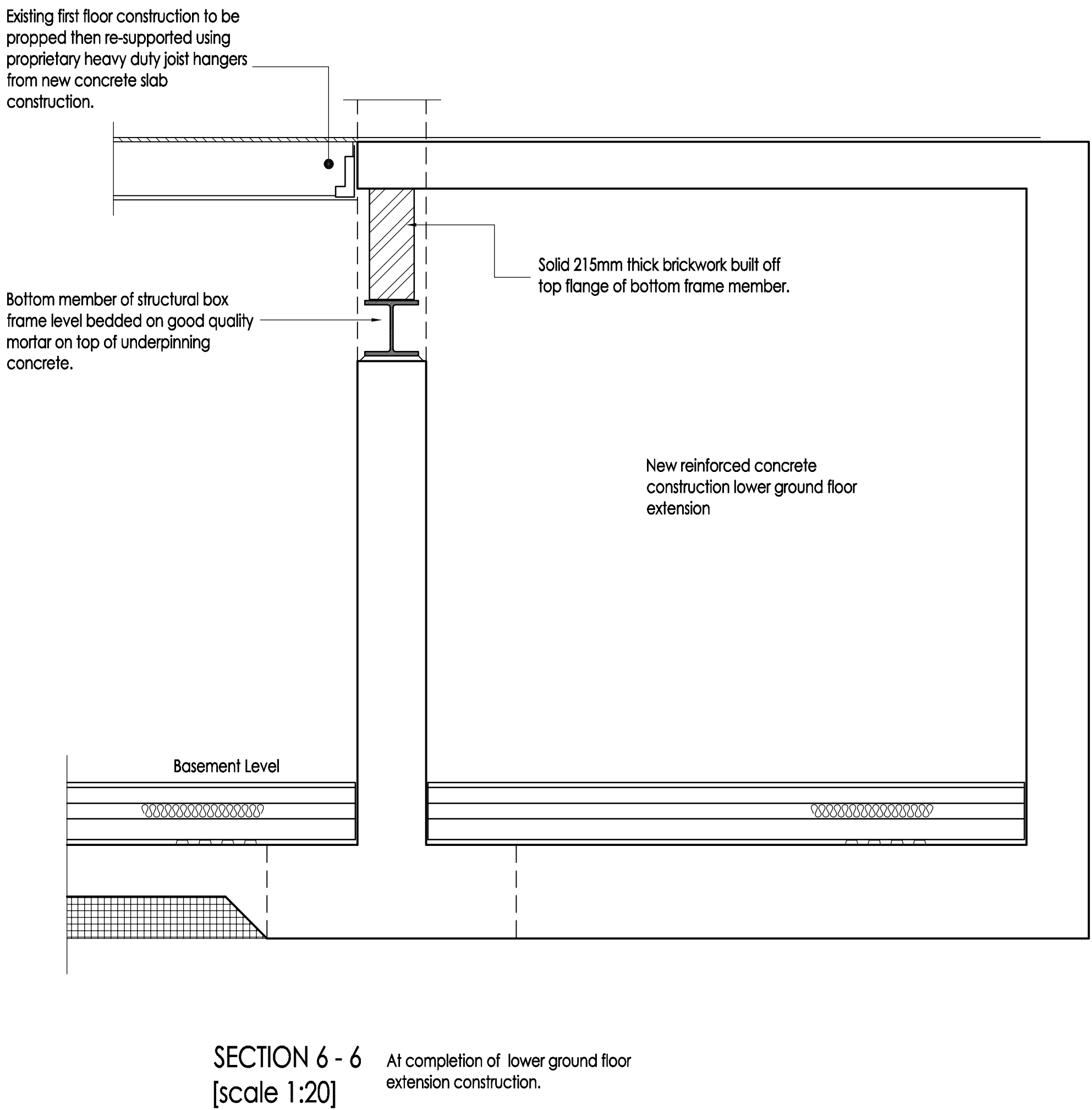
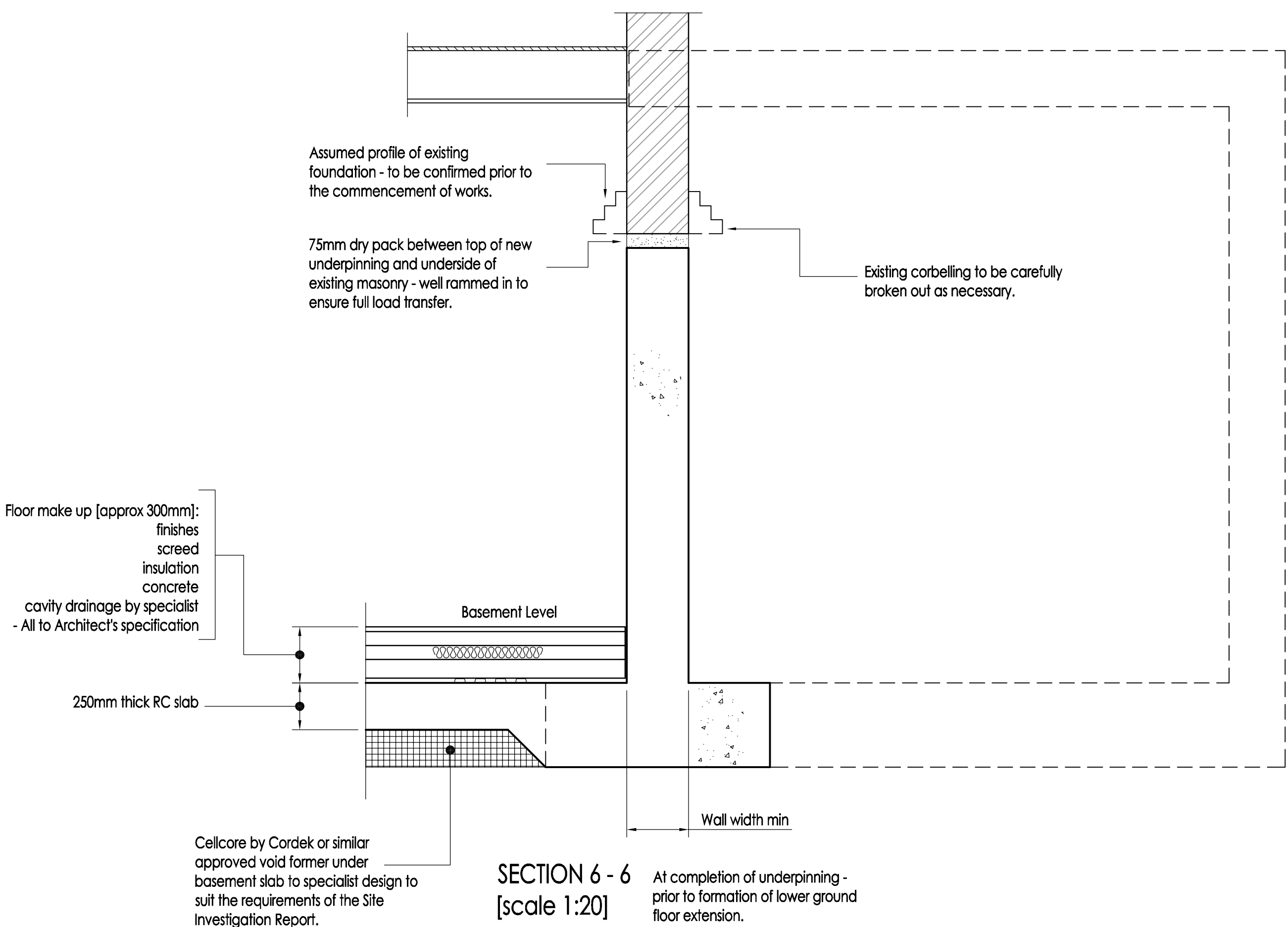
SECTIONAL DETAILS

Sheet 1

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CSE CONSULTING
civil structural engineers
Victoria House
Desborough Street
High Wycombe
Bucks HP11 2NF
tel: 01494 601170
fax: 01494 601171
email: mail@cseconsulting.co.uk
client: Kewdale Property Investment

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SECTIONAL DETAILS

Sheet 2

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