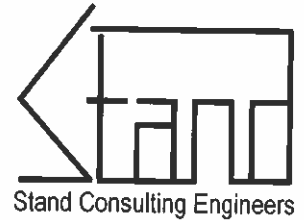


337/01

11 December 2012

Anthony Close-Smith
Donald Insall Associates
12 Devonshire Street
London
W1G 7AB



133 Foundling Court
The Brunswick Centre
Marchmont Street
London
WC1N 1QF

T: 0207 713 8608

W: www.standengineers.eu

Dear Anthony

11 Jeffrey's Street, NW1 9PS

Following the recent opening up inside the property we note below our comments on the structural engineering conditions under points 3 and 4 in Camden's letter to you dated 9 October 2012 which granted listed building consent.

The investigations found a number of structural defects which are typical for properties of this age and form of construction. Where defects are found we shall take a conservation-based approach to the structural repairs. This includes retaining the existing materials and load paths, and specifying compatible materials.

1. Repairs to the floor joists

We have allowed for the doubling-up of the existing joists in the rear rooms to the first and second floors as shown on drawings SK 12 – SK 14 and photos 1 and 2. The aim is to stiffen the structure and reduce the risk of damage to the ceiling finishes below. We assume you will respond to the query about works to level the floor finishes and the requirements for the dismantling and reinstatement of the floor boards.

2. New openings in spine wall at first and second floors

The investigations found, as expected, that the upper floors of the spine wall are formed by timber studs. See photos 3 and 4. The new openings will be set out to limit the removal of the timber studs. The studs each side of the proposed opening will be doubled-up to support a timber lintel over the new opening, as shown on drawing SK 22.

The recent opening up also confirmed our assumption of a poor bond between the front wall and the party walls (photos 5 to 9). This is a common defect for 19th century terraces. The proposed repair shown on SK 33 has been used on many listed and un-listed buildings to enhance the robustness of the existing structure.

Please let us know if you have questions or comments.

Yours sincerely

Stuart Tappin

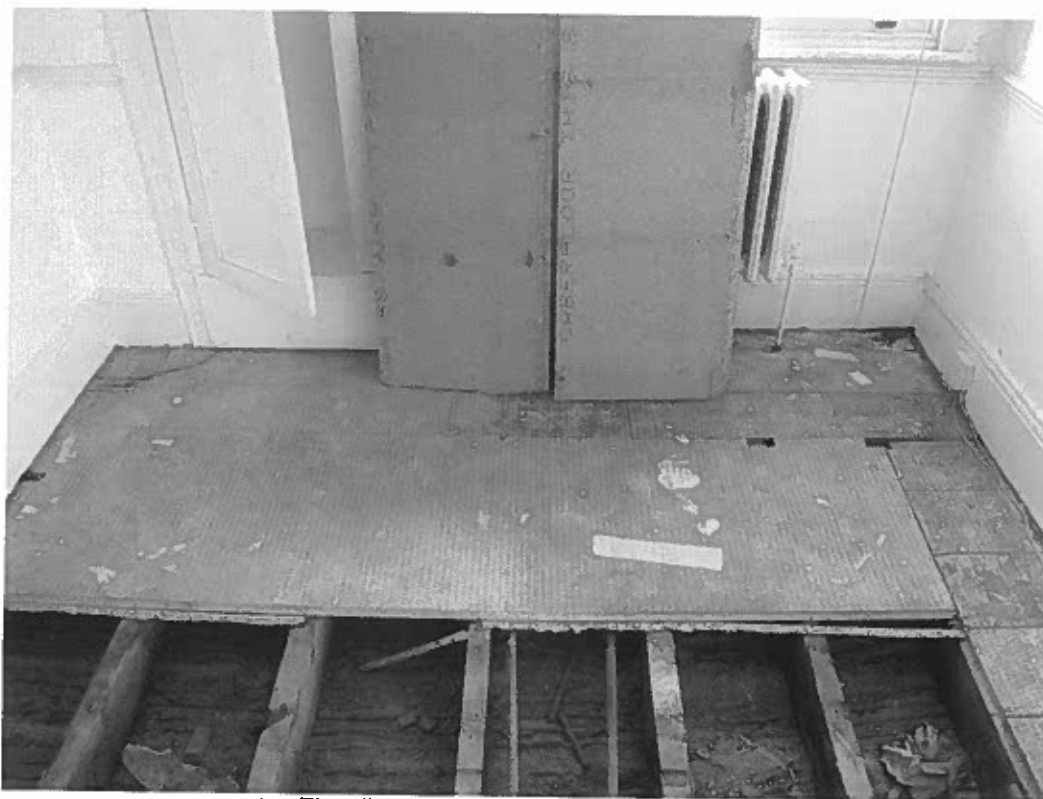
cc Nicola Radice

Stand Consulting Engineers Ltd
Registered Office:
133 Foundling Court
The Brunswick Centre
London WC1N 1QF
Registered in England & Wales
No 6421869

337/01

11 December 2012

Page 2 of 5



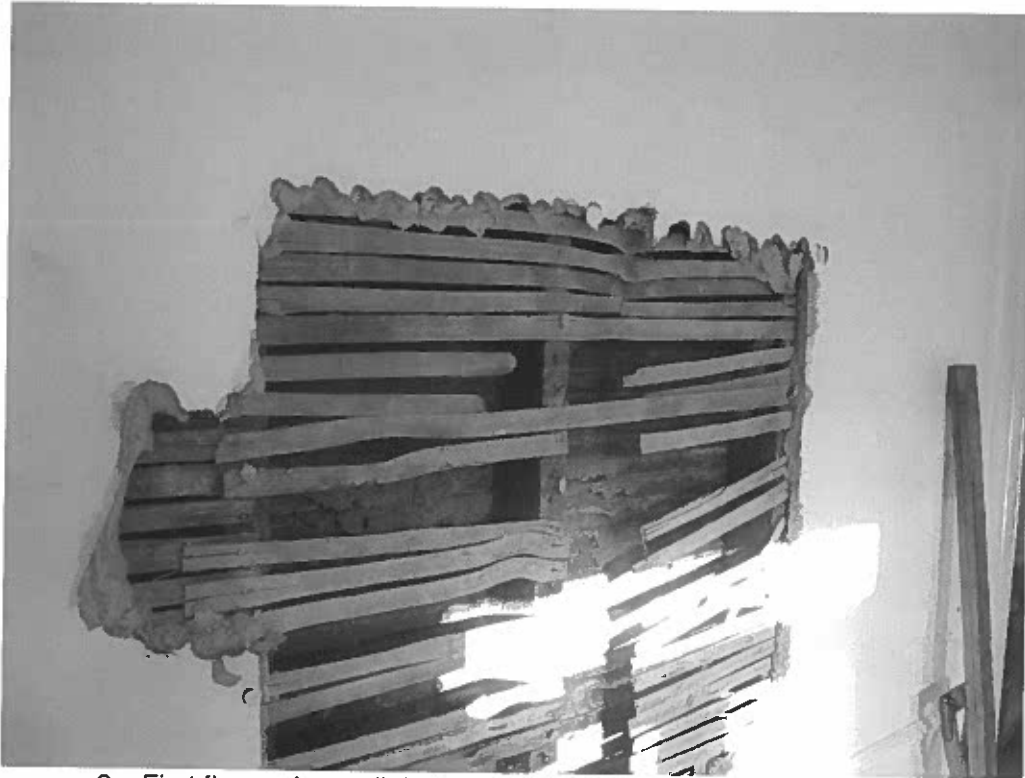
1. First floor rear room. Joists to be doubled up



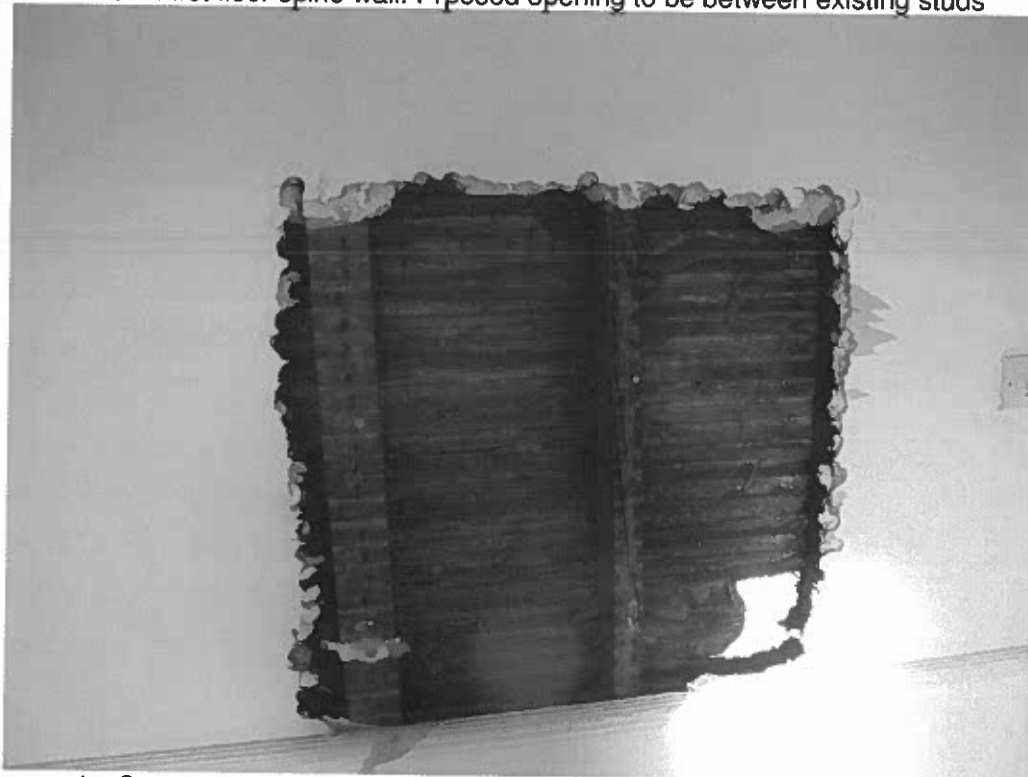
2. Second floor rear room. Joists to be doubled up

337/01

11 December 2012
Page 3 of 5



3. First floor spine wall. Proposed opening to be between existing studs



4. Second floor spine wall. Proposed opening to be between existing studs

337/01

11 December 2012
Page 4 of 5



5. First floor front room showing opening up to expose bond between front and party walls



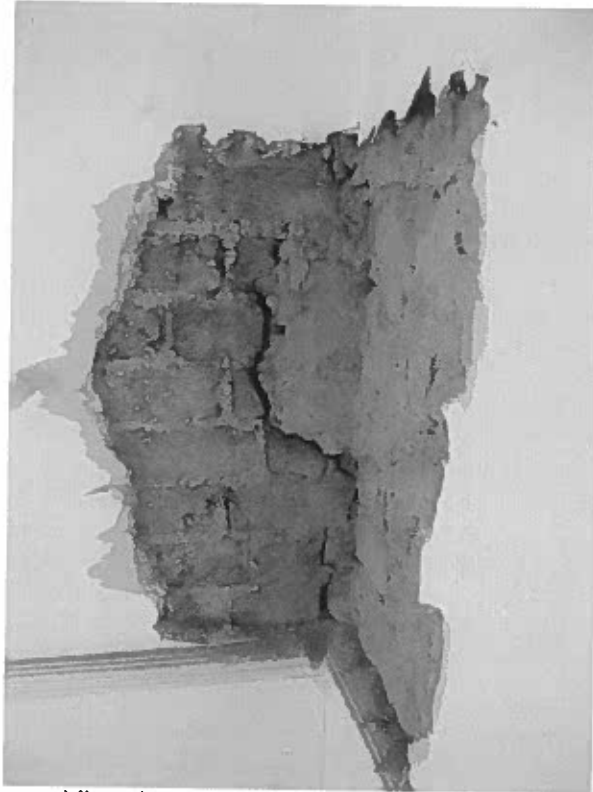
6. Poor bond to party wall 13/15



7. Poor bond to party wall 11/13

337/01

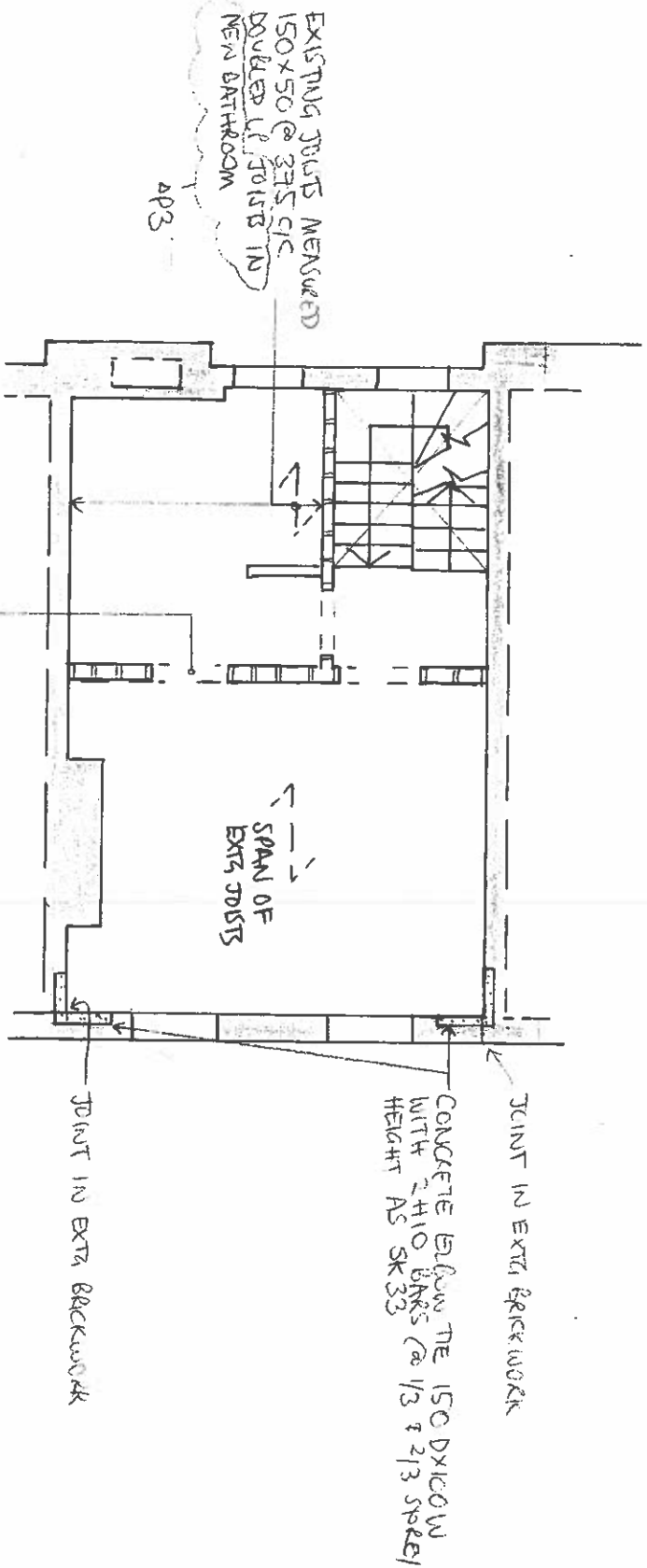
11 December 2012
Page 5 of 5



8. Second floor front wall. Crack and poor bond to party wall 13/15



9. Second floor front wall. Poor bond to party wall 11/13



NEW DETAILS IN EXTC,
100x40 @ 320/400 SPINDIALS
PROVIDE 150D TIMBER UNDER
ABOVE OPENING
DETAILS AS SK 22

SPAN OF
EXTC JOISTS

JOINT IN EXTC BRICKWORK

CONCRETE BELOW THE 150 D X 100 W
WITH 2 #10 BARS @ 1/3 & 2/3 SPAN
HEIGHT AS SK 33

JOINT IN EXTC BRICKWORK

REV	DESCRIPTION	DATE	BY	AUTH
P3	DOUBLED UP JOISTS ADDED	14/12/11	AM/ST	
P2	UPDATED & ISSUED FOR PERIOD 30/11/11	30/11/11	AM/ST	
P1	ISSUED FOR B/LG A/C/GS	12/11/11	AM/ST	

Stand Consulting Engineers

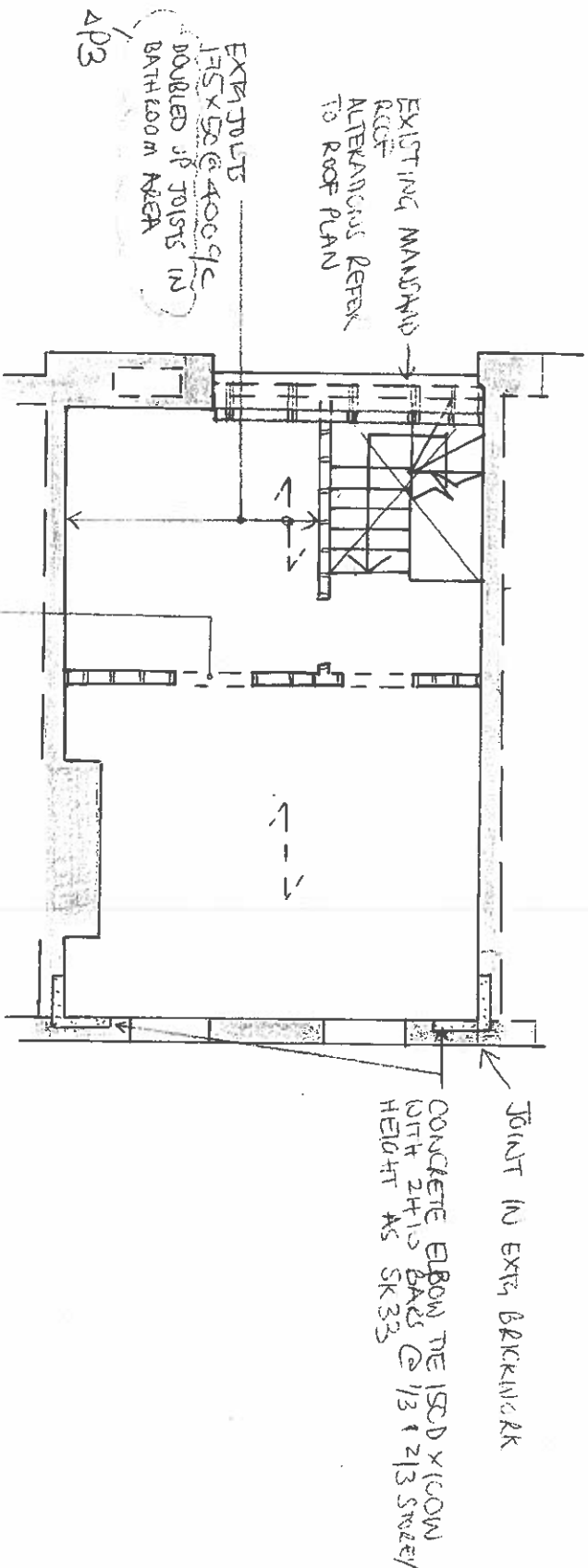
133 Foundling Court
The Brunswick Centre
Marathon Street
London WC1N 1JF
Tel: 020 7713 8608
E: info@standengineers.eu
W: www.standengineers.eu

PROJECT 13 JEFFREY'S STREET

FILE

FIRST FLOOR PLAN
PASSED SURVANCE

DESIGN	AUTHORISED	SCALE	DATE	STAGE
AM/ST	ST	1:50	26/12	
PROJECT NO 337	DRAWING NO SK13	REV		P3



REV	DESCRIPTION	DATE	BY	APP'D
P3	DOUBLED UP JOISTS ADDED	11/4/12	AW	ST
P2	FOR REWORKING & FINISH WALL	30/11	AW	ST
P1	ISSUED FOR B.C. RETS.	13/11	AW	ST

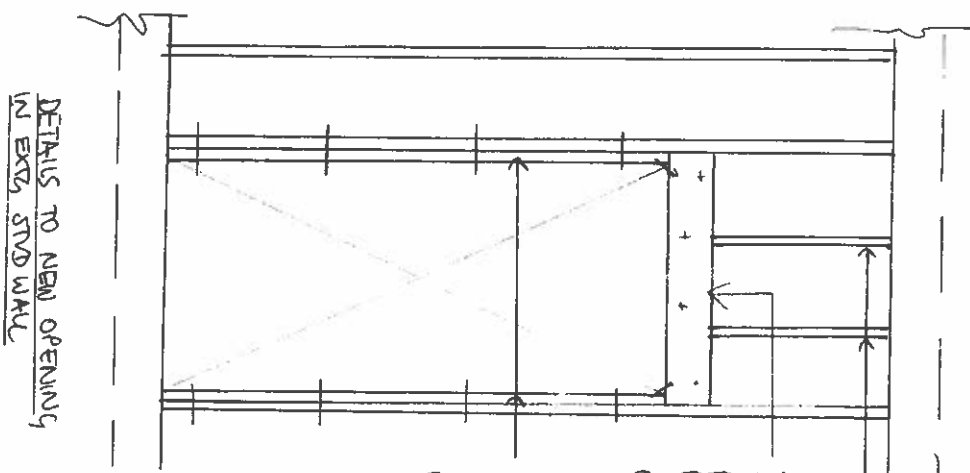
Stand Consulting Engineers

133 Foundling Court
The Burswick Centre
Marchmont Street
London WC1N 1DF
Tel: 020 7713 5508
E: s@standengineers.co.uk
W: www.standengineers.co.uk

PROJECT 13 JEFFREY'S STREET

TITLE
SECOND FLOOR PLAN
PROPOSED STRUCTURE

DRAWN	AUTHORISED	SCALE	DATE	STAGE
AW	ST	1:50	26/12	
PROJECT NO. 337	DRAWING NO. SK14	REV		P3



EXISTING STUD CUT BACK & STEEN NAILED
TIGHT TO LINTEY/BEAM BELOW

2 NO.
150x50 TIMBER BEAM
BOLTED TOGETHER WITH
MID @ 600 c/c MIN.
4 NO. PLANKS OVER
OPENING (250 DEEP FOR
LARGE OPENING ON)
GROUND FLOOR

100x50 STUD FIXED
TO EXT. OF NEW STUD
WITH MID BOLTS @ 600 c/c
MIN. 4 NO. PLANKS

DETAILS TO NEW OPENING
IN EXT. STUD WALL

REV	DESCRIPTION	DATE	BY	UNIT
P1	ISSUED FOR B/C. REQS	12/11	AW	ST

Stand Consulting Engineers

133 Foundling Court
The Brunswick Centre
Maitland Street
London WC1N 1QF
Tel: 020 7713 8808
E: sl@standengineers.co.uk
W: www.standengineers.co.uk

PROJECT 13 JEFFREY'S STREET

TITLE
TIMBER DETAILS

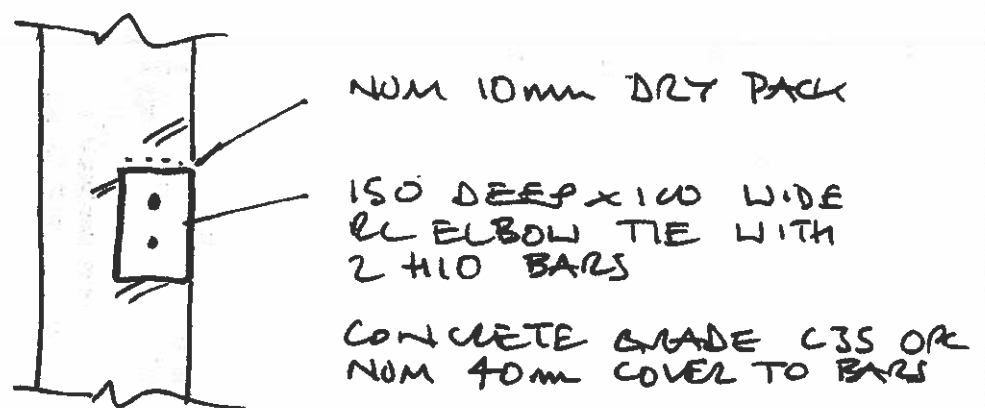
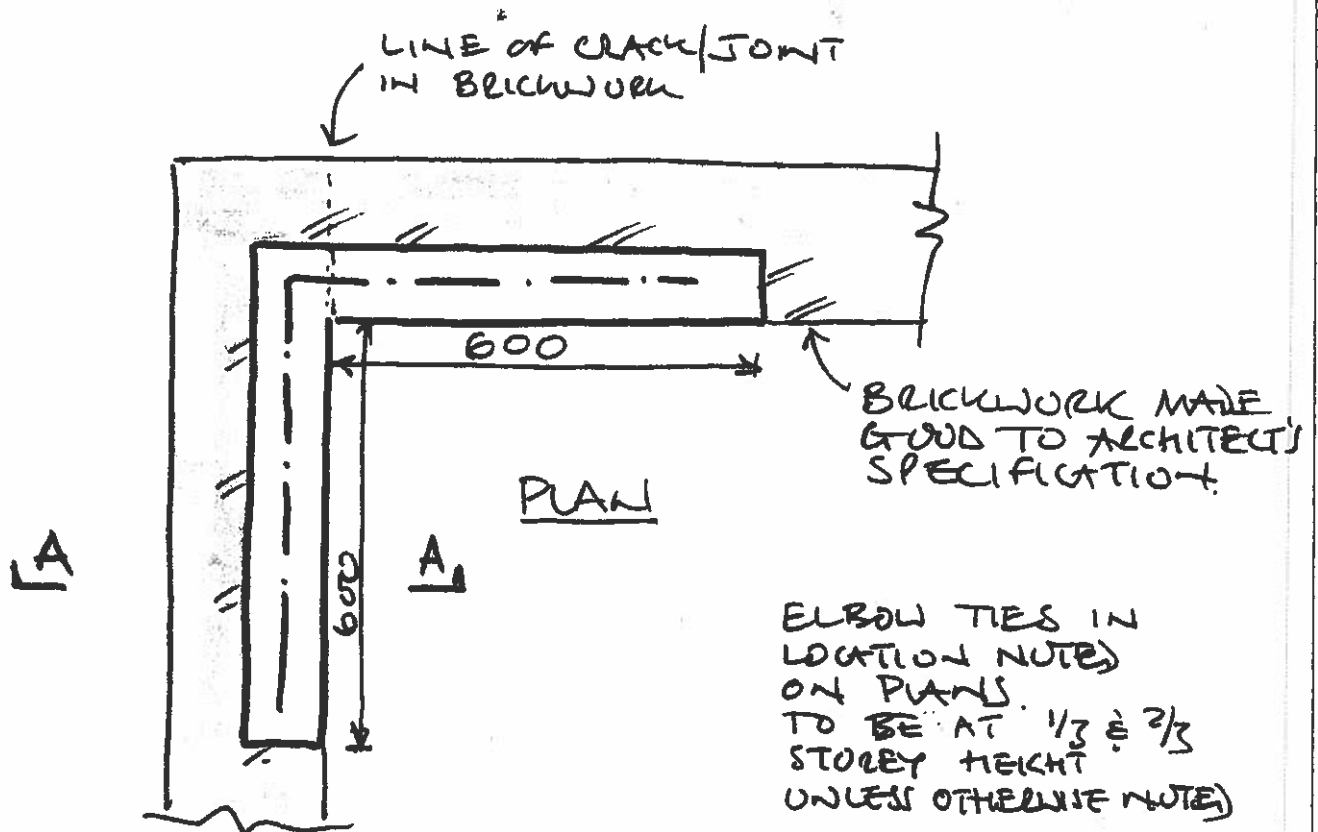
DRAWN	APPROVED	SCALE	DATE	STATUS
AW	ST	1:20	20/12	
PROJECT NO. 337	DRAWING NO. SK22	REV P1		

Stand Consulting Engineers

133 Foundling Court
The Brunswick Centre
Marchmont Street
London WC1N 1QF

Tel: 0207 713 8808
Mobile: 07813 824798
E: st@standengineers.eu
W: www.standengineers.eu

PROJECT	13 JEFFREY'S STREET	DRAWN	ST	AUTHORISED	SCALE	DATE
TITLE	ELBOW TIE DETAIL	PROJECT NO.	337	DRAWING NO.	SK33	REV
						P1



SECTION A-A