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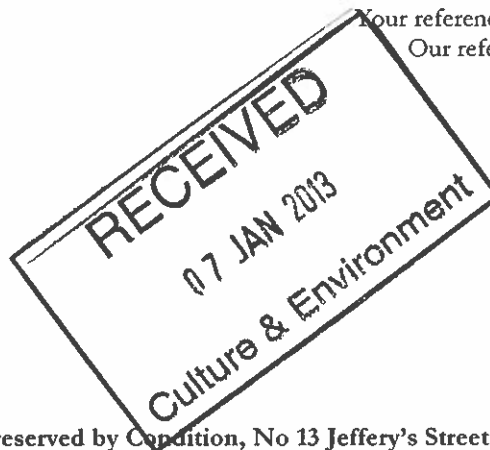
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Mr Charles Rose
Conservation Officer
Planning Department
Development Management
Camden Town hall Extension
Argyle Street
London
WC1H 8EQ

Your reference: 2012/3921/L

Our reference: JEF13.02



4 January 2013

Dear Mr Rose,

Re: Application for approval of details reserved by Condition, No 13 Jeffery's Street

Further to the planning and listed building consent application, we have noticed that two sash windows on front façade on the top floor are rotten and need replacing. We plan to replace them in like-for-like manner. Please see drawings P2003 Rev D Proposed second floor plan and P2200 Rev D Proposed elevations for your reference.

I have also enclosed the latest proposed drawings showing door numbers and window numbers. Since there is no or little floorboards surviving in proposed bathrooms, we have amended the notes on new floor build-up on a general arrangement plan. Please refer to drawings T3103 and T3104 showing 1:5 details.

We wish to apply for discharging conditions attached to the listed building consent 2012/3921/L. Please find the necessary document enclosed.

No	Conditions	DIA Comments
1	The works hereby permitted shall be begun not later than the end of three years from the date of this consent.	To begin in January 2013 on items previously approved (but not on the items below)
2 a)	Plan, elevation and section drawings of all new doors at a scale of 1:10 with typical moulding and architrave details at a scale of 1:1.	Drawing T3000 & T3001 for typical internal door details. T3000s series for joinery details.
2b)	Plan, elevation and section drawings, including jambs, head and cill, of all new window and door openings	See the Rooflight company's detail for new roof light details. See T3000 series for new joinery
2c)	Samples and manufacturer's details of new facing materials for the new extension to be provided on site and retained on site during the course of the works.	External wall – London stock bricks (cavity wall construction) Roof covering – Code 6 lead sheet Samples to be kept on site for approval.

Directors Nicholas V Thompson, BA(ChHons), RIBA (Chairman), Tony Barton, BA(Hons), DipArch, RIBA (Deputy Chairman), Jonathan Carey, DipArch, RIBA, SCA, Simon Charrington, FCA (Company Secretary), Anthony Close-Smith, BA(Hons), BArch(Hons), Peter Riddington, BSc(Hons), BArch(Hons), RIBA, Michael Shippobottom, MA, BArch, RIBA, Mark Wilkinson, BA(Hons), DipArch, RIBA.

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Consultants Sir Donald Insall, CBE, LLD, FSA, RWA, FRIBA, FRTP(Rtd), SpDipl(Hons) (Founder), Alan Frost, LVO, AADipl, RIBA, DCHM, RMAPS, AABC, Alasdair Glass, MA, FSA, RIBA, IHBC.

2d)	Drawings or samples of all new architectural details including 1:2 of all new skirting and cornicing including photos of the existing to be removed clearly marked on a floor plan. (other than where reinstatement is a repair to existing, which should be undertaken on a like for like basis in accordance with the approved drawings)	See T3300 for cornices, T3301 for skirtings. See T3200 for fireplace details.
2e)	Samples and manufacturer's details of all new floors including an associated location plan and photo of the existing floor finishes to be removed.	Existing original floor to be repaired as necessary and retained in situ. New floor covering will be placed over the existing unless noted otherwise.
2f)	Details of any works of alterations or upgrading not included on the approved drawings which are required to satisfy Building Regulations or Fire Certification including new fire and sound insulation or additional structural works to the building	See T3101, 3103, 3104 for proposed floor details. See T3002 and T3003 for partition wall details.
3	A method statement for strengthening and levelling the floors including details of removal/dismantling of the floors boards and joists shall be submitted to and approved in writing by the Council before works are commenced. The relevant part of the works shall not be carried out otherwise than in accordance with the details thus approved.	Structural Engineer's letter and drawings enclosed.
4	Notwithstanding the details and annotations on the approved drawings, a statement of the structural alterations necessary to create a doorway between bedroom and bathroom at first and second floor level shall be submitted to and approved in writing by the Council before the relevant part of the work is begun. The details shall include photographs as to the structure, age and composition of the spine walls, together with reinstatement work to make good the affected areas The works shall then be carried in accordance with the approved details.	Structural Engineer's letter and drawings enclosed. See drawing P1301 – P1303 showing existing

Please do not hesitate to contact me if you require any questions or further information.

With kind regards,

PP

Ayaka Takaki



For and on behalf of Donald Insall Associates