

69 Highgate High Street Design & Access Statement



Birds Portchmouth Russum Architects
December 2012

69 Highgate High Street, Highgate London

Design and Access Statement

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Introduction & Site Ownership

The site at 69 Highgate High Street is owned by Iain Brewster, who has been a resident of Highgate for over 30 years and lives with his wife and two children in the listed building next door at 67 Highgate High Street. Iain's father formerly ran the celebrated Highgate Tea Rooms from 67 Highgate High Street but moved some 10 years ago to France. Iain subsequently bought the property from his father, reverted the Tea Rooms to domestic use refurbishing the building to a high standard and moved in with his young family.

The adjoining outhouses on the site at 69 Highgate High Street are, however, in a very poor state of repair. Iain has consistently patched up this property to keep it tidy and presentable including regularly arranging the costly removal of unattractive graffiti. In view of the ever increasing cost of maintenance Iain commissioned a study by a Chartered Building Surveyor which concluded that it was not commercially viable to refurbish the existing outhouses.

As a resident since childhood Iain Brewster cares deeply about Highgate Village and is very aware of the sensitivity of this important location - which is highly visible from the High St, North Hill and Pond Square. Conscious of the need to engage designers with a proven track record of high quality design in sensitive contexts. Iain researched various architects and commissioned the award winning architectural practice Birds Portchmouth Russum to develop proposals for the site.

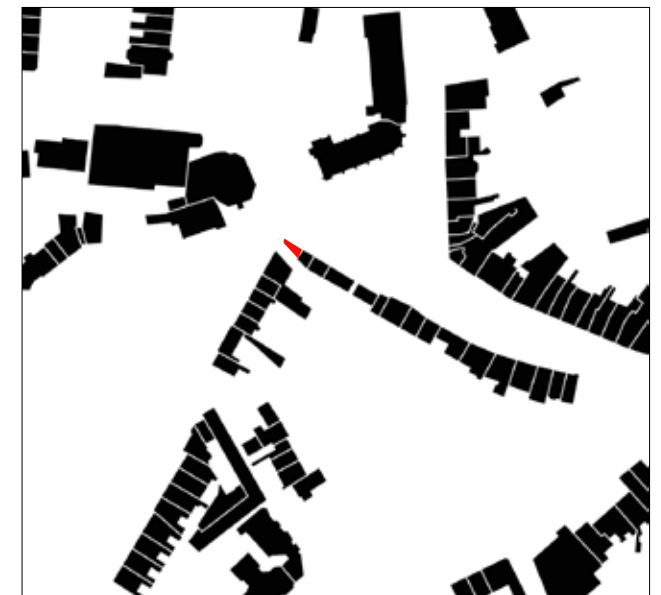


Figure Ground Plan



The Site and its Context

The site at 69 Highgate High Street is located at the summit of Highgate High Street at the junction with West Hill and North Hill and adjacent to the busy traffic island. The site lies within the Highgate Conservation area and is neighboured by a number of listed buildings. The adjoining terrace of buildings along the High Street to the east are grade 2 listed and 49-51 West Hill. To the immediate north across the High Street Highgate School Chapel stands upon an enclosed and slightly elevated graveyard.

The tapered end of terrace site is approximately 15 metres long and defined on its northern edge along the High Street by a single storey brick wall and on its southern edge by a public alley, known locally as 'Snow Hill', which slopes down from West Hill to Pond Square. The site apex is occupied by a flower stall which utilises a store at High Street level behind the brick wall. At Pond Square level a small studio flat, a clock repairer's workshop and another store are set within a timber lean to structure which are all accessed off Snow Hill alley.

The existing composition provides a weak termination to the High Street and fails to respond to the scale and quality of the neighbouring buildings. The site stands on a prominent historic route from the north into London and presents a rather shabby focal point in this important location.



High Street

← Site →



← Site →

Pond Square



Highgate High Street



Interior



Snow Hill



Flank wall of 67 Highgate High St, May 2005



Flank Wall of Stonebridge Estate Agents



Stonebridge Estate Agents June 2009

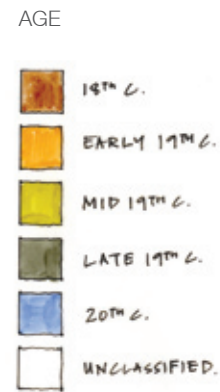
The Existing Buildings on Site

The existing buildings are dilapidated and in need of costly repair or reinterpretation. The existing living accommodation does not conform to modern habitable standards and the working environment for the flower stall and clockmaker offers little in the way of proper sanitary facilities.

The High Street and Snow Hill elevations are subject to unpleasant graffiti and because Snow Hill is poorly lit and not overlooked this area is susceptible to the wilder excesses of the local youth who urinate in the alley and regularly cast empty beer bottles and fast food containers onto the studio roof.

Furthermore the flank wall of 67 Highgate High Street can be accessed off the High Street studio roof and because of its potential as a visually prominent billboard it has been defaced periodically with large-scale graffiti. This has required costly removal.

A Chartered Surveyor, Gerald Barrett of Barrett Firrell, has carried out a survey of the existing buildings, made a financial appraisal of the costs of repairs required and the viability of their retention. The surveyor has concluded that the existing buildings are beyond their useful life and it is not feasible to renovate them.



Analysis of Site - Character

The character of the appraisal area derives from its eclectic qualities. This is typified by the richness and diversity in:

- the age of buildings and the architectural styles and details that they employ;
- irregular plots sizes and layouts; and
- varying building heights and scales.

The building that occupies the proposal site will need to relate effectively to its disparate, fragmented surroundings. It can achieve this through mediating between the different scales of built form that surround it at this prominent site and through high quality materials and building methods. The site offers an opportunity to respond to the richness of its setting by creating a new layer and juxtapositions in the townscape.





EXISTING: facades addressing junction



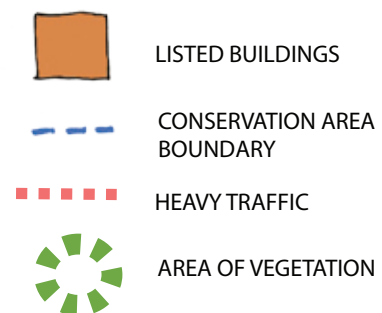
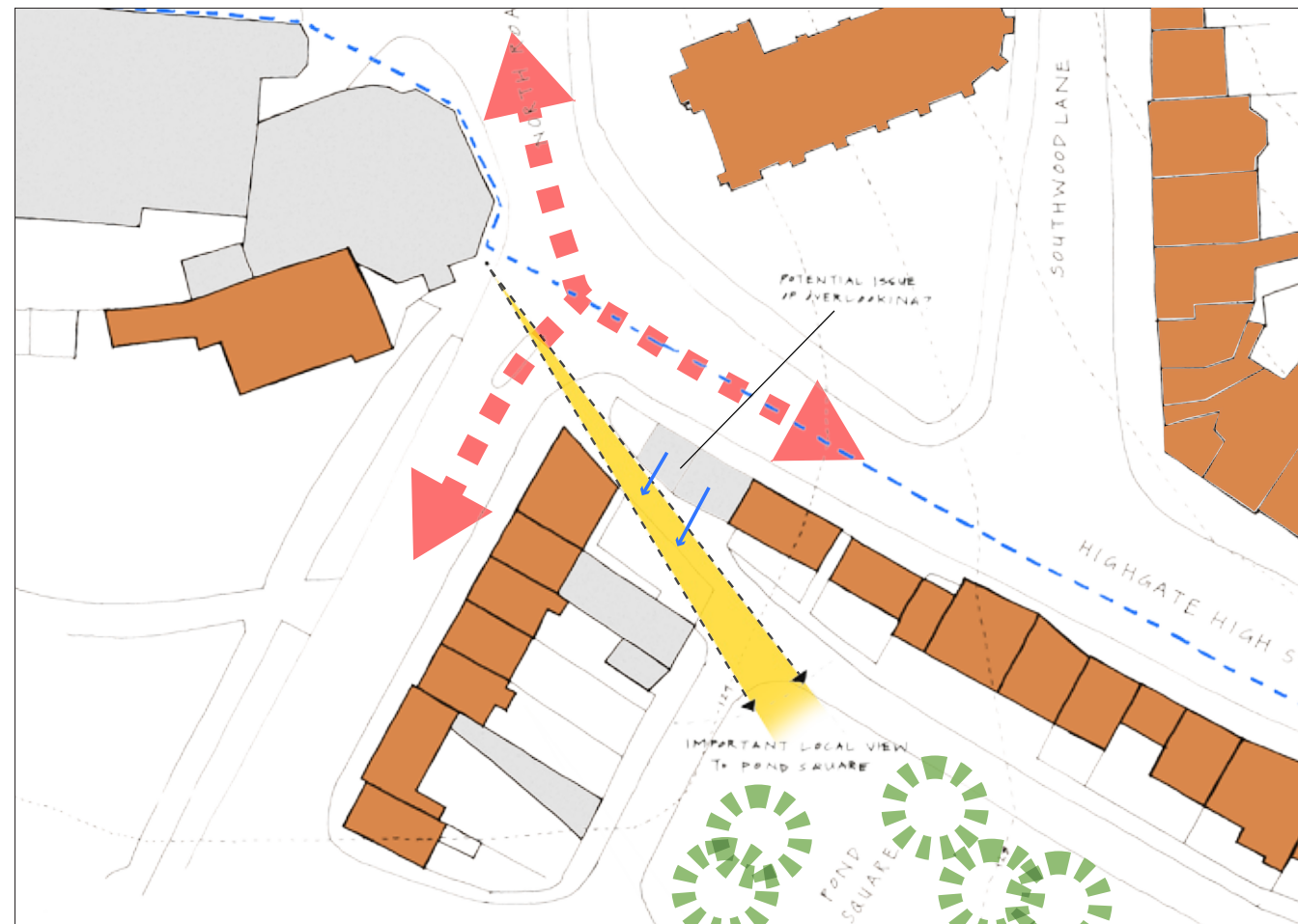
IDEAL ARRANGEMENT: a built edge providing stronger containment and demarcation of the corner

Analysis of Site - Urban Context

The site occupies an important and prominent corner on a busy junction at the north-western entrance to Highgate High Street. However, the structures that currently occupy the site do not function effectively as a landmark to aid navigation and contribute to a sense of place at this important node in the urban fabric. An exception to this is the flower stall.

The diagram illustrates the boundary treatment at each of the corner sites adjacent to this junction. The Gatehouse PH at the west side of the junction has a strong presence which derives from the relatively large scale of this cluster of buildings and it provides a continuous building edge to the street. The chapel is also a large and prominent landmark and, although set back behind a wall, the wall itself functions as a clear demarcation of the corner. The corner of Southwood Lane and Highgate High Street is defined by the unbroken edge of a perimeter block.

In contrast to these strong corners and edges at the junction, the proposal site provides a weak and poorly defined edge. The blank gable ends that finish the two rows of buildings on either side of the proposal site are a negative element in the townscape. They detract from the view towards Pond Square.



Analysis of Site - Constraints

The proposal must work within boundaries defined by a number of site constraints. It is a particularly sensitive site in heritage terms, sitting within the boundary of the Highgate Conservation Area and amongst a number of listed buildings.






The proposal will need to respect the scale of neighbouring buildings and relate well to the topography of the area. It will also need to mitigate potential overlooking issues through its detailed design.

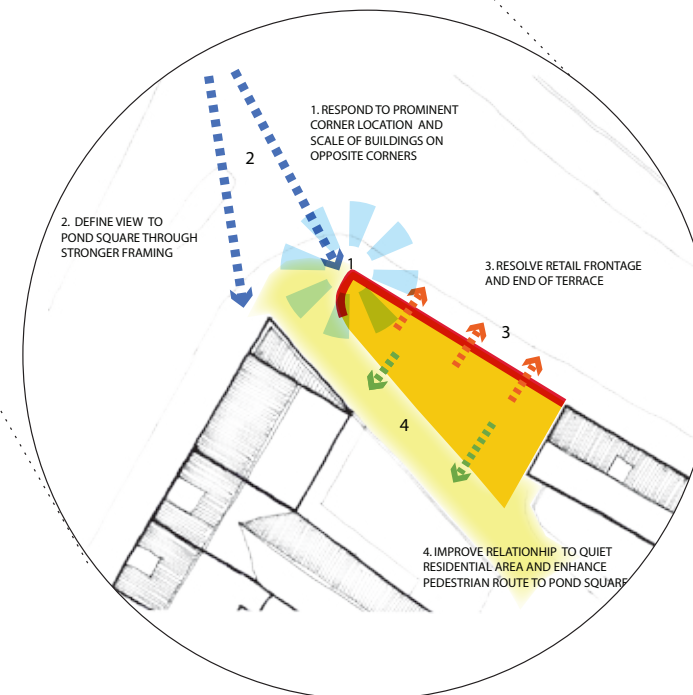
Next to the proposal site is a well-used pedestrian route between the junction of Highgate High Street, North Road and West Hill through to Pond Square. This route provides an important local view through to Pond Square from the junction.



Snow Hill - the route to Pond Square



-  Active frontage
-  Busy junction
-  Green space with peaceful residential character
-  Highly prominent site visible from many approaches
-  Transition from busy to peaceful



Development Framework

Analysis of Site - Opportunities

Development opportunities to:

- provide a stronger definition of the corner through a high quality landmark building. The prominence of the site in a location that acts as a gateway to north London means that it has a significance far beyond the site boundary and its immediate surroundings.
- provide active frontage to Highgate High Street elevation resolving current blank flank wall that is a negative element in the townscape.
- remove blank gable end wall of No. 67 Highgate High Street from townscape.
- relate to distinctive topography of surroundings by taking advantage of change of level across site.
- enhance view to Pond Square by framing and defining.
- improve pedestrian connection to Pond Square by providing a high quality frontage.

The Brief

The brief for the project emerged through discussions with Iain Brewster, Birds Portchmouth Russum, conversations with local people and the Camden Conservation Officer. Concerns expressed about the current condition of the site included:

The dilapidated state of the exiting buildings on site and the cost of their repair,
Antisocial behaviour including graffiti and drug use creating an unsafe environ,
Under performing retail premises on West Hill because it is separated from the High Street,
The lack of a visual termination to the High Street and gateway to Pond Square from West Hill.

Aspirations for the proposed building include;

- To create a building which responds to the sensitive context of the conservation zone and adjacent listed buildings.
- To enhance this prominent location with architecture of high distinction which responds to the scale, context and characteristics of the neighbouring buildings.
- To add to the vitality of the street scene by introducing a high quality shop / gallery and extend the retail frontage to connect the High Street with the existing shops on West Hill.
- To provide a vibrant mixed Use on the Site by: enhancing the existing Flower Stall and providing a home for his family and a small commercial premise off Snow Hill.
- To create an entrance to the maisonette off Pond Square.
- Create an ecologically sustainable 'green' architecture.
- To create a safer cleaner environment at the end of the High Street and within the Snow Hill Passage.
- To develop an economically sustainable development which will ensure that the building can be properly funded and maintained.



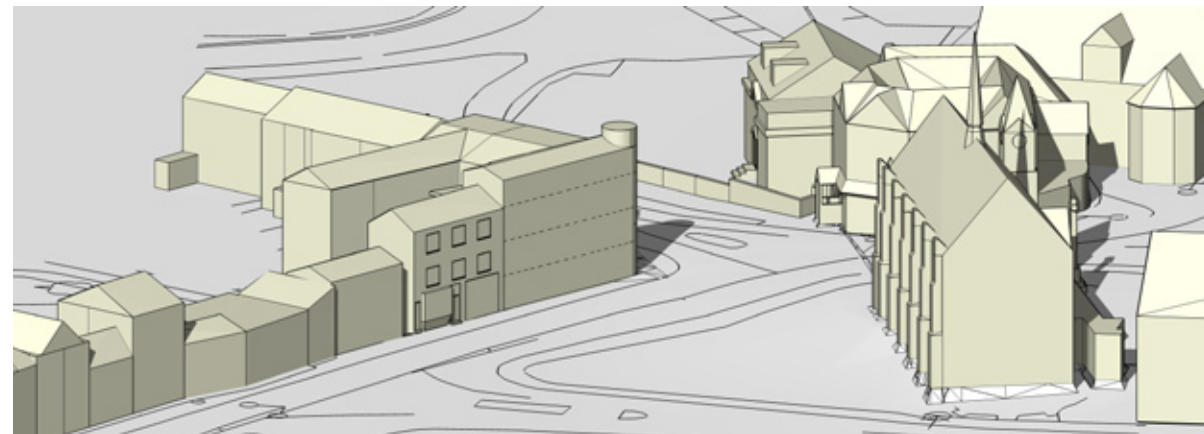
Design Evolution & Consultation

The proposal has developed and evolved over a 5 year period through four principle designs which respond to comments made by Council Officers, English Heritage, local groups and the client.

All the proposals are informed by the importance of the context – in particular the prominence of the site as a focal point as viewed from North and as the termination of the High Street as it ascends up Highgate Hill.

The first 3 proposals take up the tapered footprint of the site and at the apex are completed by a cylindrical tower – a typical solution for tapered sites in London.

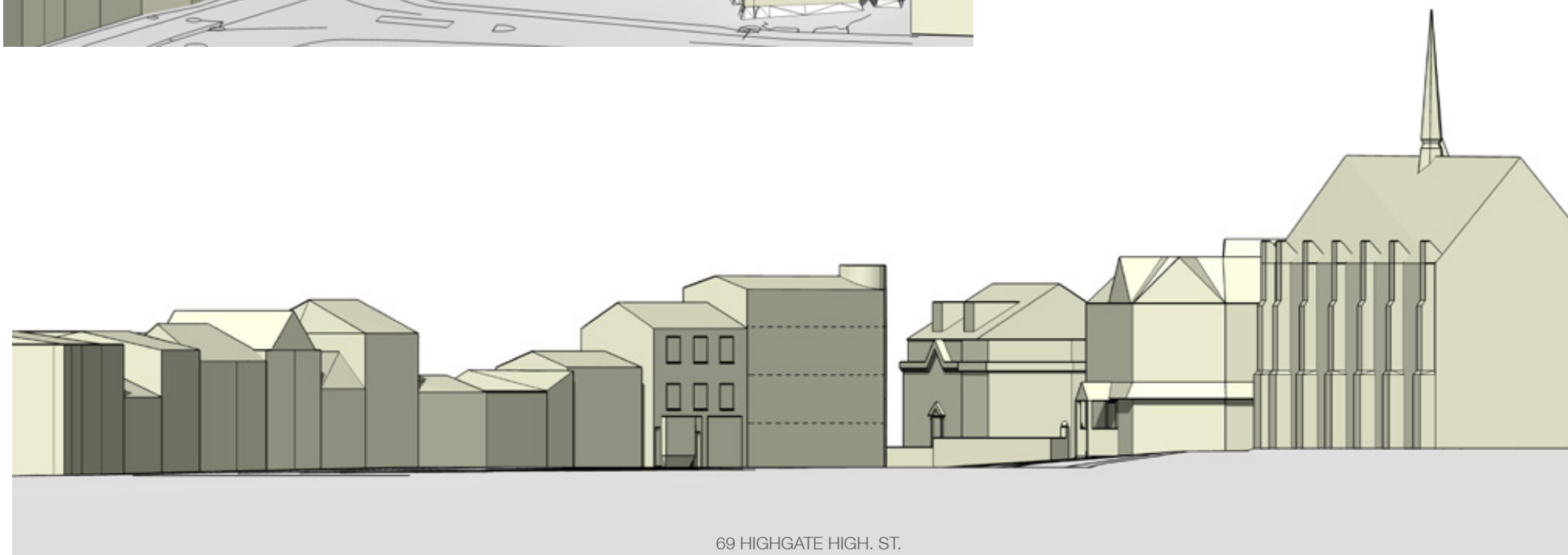
The proposed design has a further floor taken off, omits the cylindrical tower and completes the High Street with a ‘flat iron’ form.



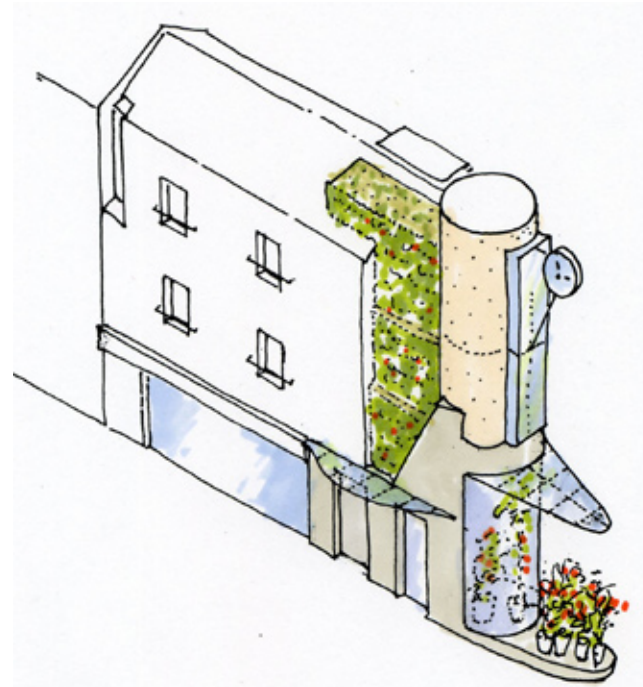
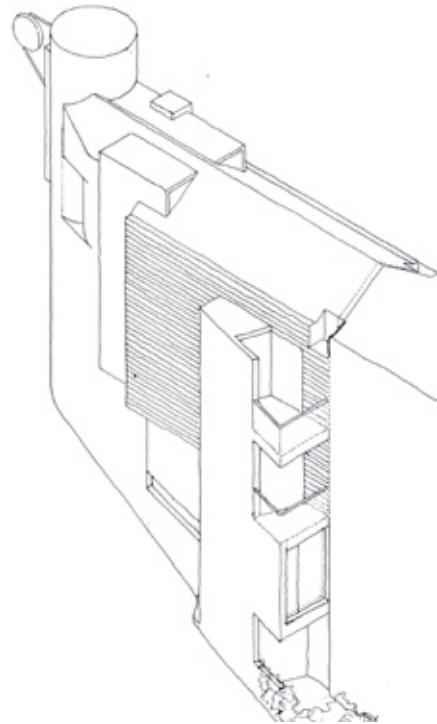
First Proposal

The initial design studies investigated the composition of the building reflective of its key location at the end of the ascending terrace of buildings. The study primarily focussed on the massing and number of storeys of the proposed building. The proposal reflected the immediate urban context - where the High Street buildings step in height as they ascend Highgate Hill. A four storey building was proposed as viewed from the High Street, stepping up one storey from the adjacent 3 storey building at 67 Highgate High Street. The proposal completes the High Street terrace with a slightly higher circular tower. The design proposed a shop / art gallery at high street level with the flower stall reinstated within the base of the tower. Above the proposed building contained a single bedroom flat, within the tower a small workshop for the watchmaker and a three bedroom family maisonette above.

This design solution was presented to the Camden Planning Officer and the Highgate Society who indicated that they would not support the proposed height of the building adjacent to 67 Highgate High Street.



69 HIGHGATE HIGH. ST.



Design Evolution & Consultation

Second Proposal

In response to these concerns the massing and height was reconsidered and the first storey single bedroom flat and watchmakers workshop were removed from the design to reduce the height. The design began to examine the materiality and composition of the elevations.

The High Street façade was composed of three elements, a masonry block next to and reflective of the adjacent building, a stone tower with projecting glazed canopy and clock above at the site apex with a planted 'green' infill wall panel between. The parapet height stepped marginally higher than the adjacent building and the tower was set marginally above the ridge height of the pitched roof. For the Snowhill elevation the façade is composed of brick and timber weatherboarding panels echoing the ad-hoc form and materiality of the adjacent buildings facing Pond Square. These panels step in plan to respond to the tapering site and enable windows to be inserted to overlook Snow Hill whilst still ensuring the visual privacy of neighbours.

The revised design was presented to the Camden Council Conservation Officer who examined the design in great detail. The Officer raised a number of concerns about the High Street elevation. These included the perceived sense of scale of the proposal arising from the three elements on the High Street elevation and that the stand alone 'pavilion' nature of the adjacent building was somewhat undermined. The Conservation Officer was also concerned that the flow of the glazed retail façade intended to connect around to West Hill was disrupted by the stone base of the tower.



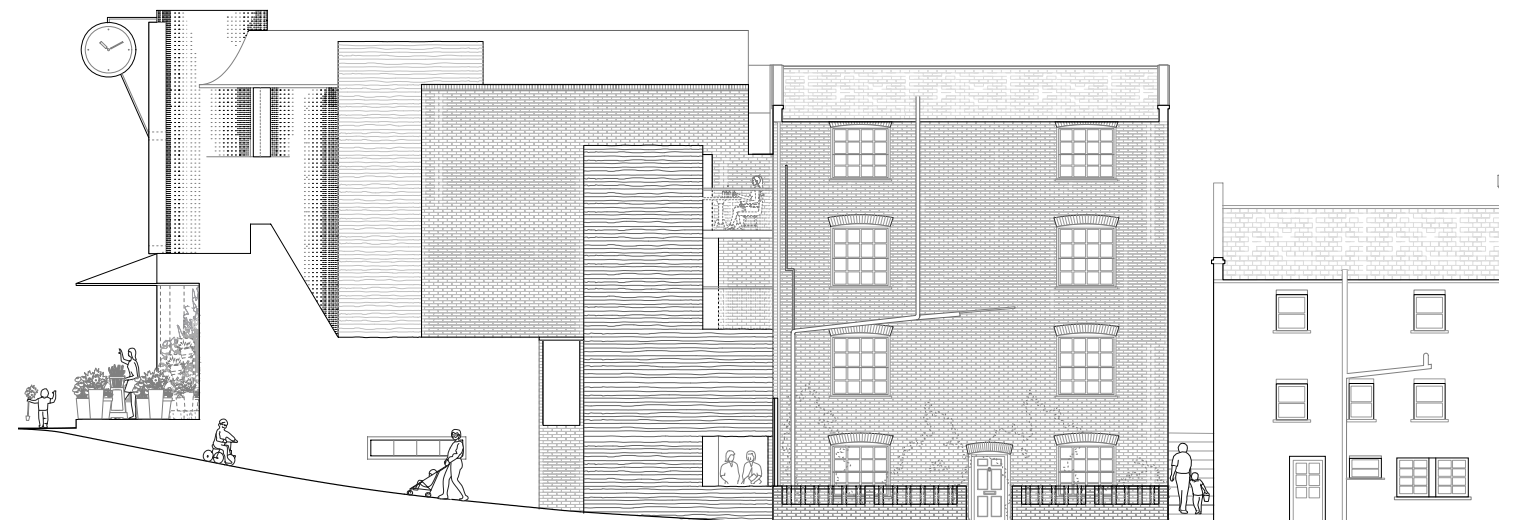
High Street is a terrace of identifiable



Irregular parapet heights and adhoc roof forms from flat , mono pitched, hipped, gabled and turreted



69 Highgate High Street





Design Evolution & Consultation

Third Proposal

The third proposed design was carefully developed to respond to the comments by the Conservation Officer and to create a rich composition and provide a joyous focal point as viewed from North Hill and Highgate High Street.

The independence of 67 Highgate High Street was preserved by the recessed full height glazed slot between it and the proposed building.

The shop front glazing at street level extended to the flower shop at the site apex to ensure an active frontage extended around to West Hill.

The circular tower was clad with 'green walls' to reflect the 'village feel' of Highgate and the echo the existing verdant views to Pond Square. The bay window within the tower was orientated to address North Hill.

Further to concerns expressed by the planning officer a sculpted brick relief panel had been added to the elevated brick panel to provide added detail and interest.

Despite initial support from council officers this proposal was eventually rejected by the council.



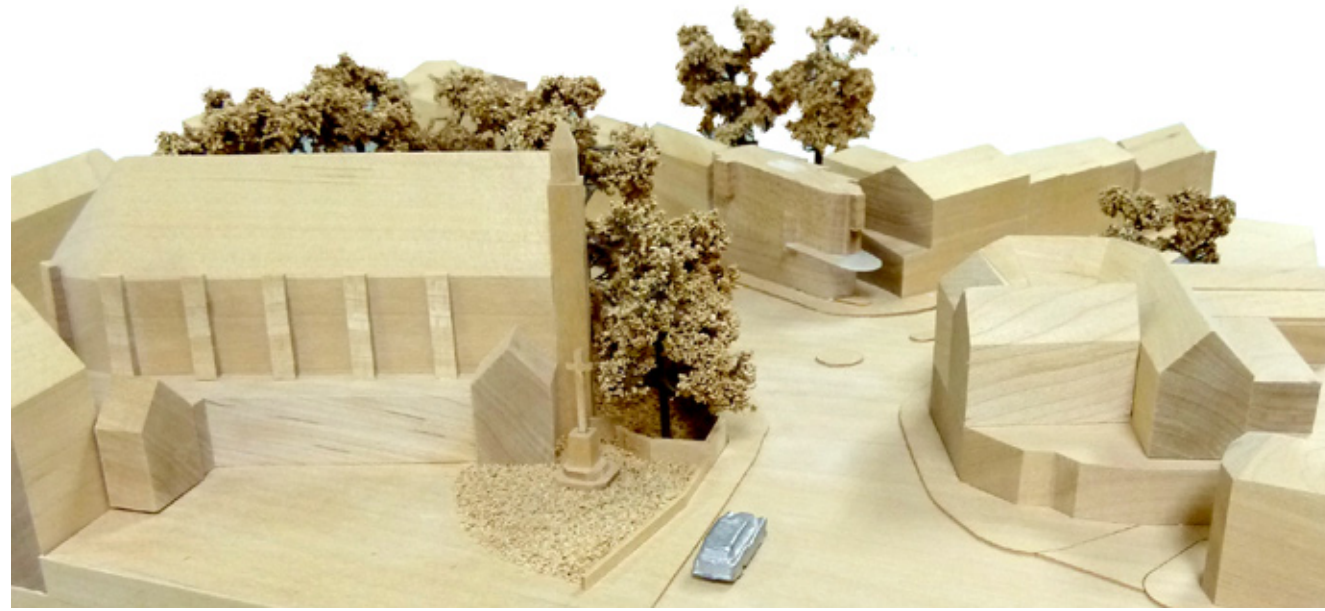
Aerial view from North Hill



Aerial view from West Hill



View from Hampstead Lane roundabout



Design Evolution & Consultation

Proposed Design - Fourth Proposal

The proposed design has been developed in response to the comments by English Heritage to the original planning application and further observations made by the Conservation and Planning Officers in the pre application meetings.

The proposal has also been presented to representatives of Pond Square, the Highgate Society and the Highgate Forum.

The English Heritage letter is attached overleaf and the salient points made are highlighted. The following pages articulate the response to their criticism and set out the design developments that address their concerns.



Context Model



Working Model

Dear Mr Markwell

Notifications under Circular 01/2001 & GDPO 1995
69 HIGHGATE HIGH STREET, LONDON, CAMDEN, GREATER LONDON, N6
Application No 2010/3735/P

Thank you for your letter of 18 August 2010 notifying English Heritage of the above application. English Heritage has considered the proposals and I can now offer the following advice.

Summary

The application is for conservation area consent for the demolition of a group of small vernacular workshop/storage buildings adjacent to the Grade II listed No. 67 Highgate High Street and planning permission for their replacement with a three storey/four storey residential building, incorporating a shop/gallery space and flower shop at ground floor level, and a glazed roof terrace and corner tower. The applicants sought pre-application advice in July 2009 and were advised that the proposed development did not preserve or enhance the predominantly 19th century character and appearance of the Highgate Conservation Area, nor the setting of the nearby listed buildings. The scheme remains largely as considered at pre-application stage. English Heritage considers that whilst there may be potential for enhancement of the site, the proposed scheme, set against the national policies set out in PPS5, will harm the significance of the conservation area.

English Heritage Advice

Significance

Highgate is considered to be one of London's best preserved "villages", retaining a strong intimate character enhanced by former greens, ponds and open spaces. It retains a collection of buildings of exceptional quality dating back to the 17th century (some earlier). The High Street suffers from heavy traffic but largely retains a restrained 19th century character. The proposed development site comprises a single storey painted brick wall, with a single doorway. To the rear, fronting Snow Passage and leading into Pond Square, is a collection of timber board and brick workshops/lean-to structures roofed with asphalt. The northern end of the site terminates in a flower stall focused on a small roundabout. Map evidence suggests this arrangement represents the later stages of the ribbon development along the High Street, developed from between 1832 and 1849. Although much of the fabric of these structures appears to be the result of incremental repair and alteration, they are noted as making a positive contribution to the conservation area in the Highgate CA statement, and are considered to be of some significance in reflecting the smaller scale workshops and activities which would once have been common place in Highgate Village. The site is adjacent to a number of Grade II listed buildings including the adjacent No.67, Nos 49-50 West Hill, and the church and churchyard wall of the former Highgate Chapel opposite. The open aspect of the site and location below the brow of the hill allows views through to Pond Square.

Statutory framework

PPS5 sets out the Government's policies for conservation and the historic environment. The Policies set out in HE7 give guidance for decisions affecting all historic assets. Policy HE9.5 states that those policies in HE9.1 to HE9.4 and HE10.1 and HE10 apply to those heritage assets which are considered to contribute to the significance of a conservation area. PPS5 HE9.5 requires local planning authorities to take into account the relative significance of the asset and its contribution to the conservation area as a whole. Where an element does not contribute positively to significance local authorities should take into account the opportunity to enhance or better reveal the significance of the conservation area. Camden's policies for conservation areas are set out in its UDP (2006). The existing structures and flower stall are identified as making a positive contribution to the character and appearance of the conservation area in Camden's Highgate Conservation Area Appraisal and Management Strategy (adopted 2007). The appraisal sets out that the demolition of those buildings as positive contributors will be resisted unless justification can be made and that new development should respect, complement and enhance the conservation area.



ENGLISH HERITAGE
LONDON REGION

Summary of the proposals

Turley Associates report of July 2010 argues that the existing structures are of neutral significance. English Heritage's view is that the existing structures do have some historic value as part of the later 19th century historic development and as a reminder of the small scale commercial activities which proliferated in the yards and odd spaces. However, it is noted that much of the fabric is in poor condition and dates from the twentieth century. Whilst elements of the brickwork appears to date from the mid-19th century it is not of specific architectural or historic merit. The value of these structures lies principally in their perception as vernacular buildings that convey a sense of historic activity which rarely survives in such areas, rather than architectural merit.

Given the extent of incremental alteration to the existing fabric, their significance is considered relatively minor and any development must be considered in the light of the refurbishment costs, important views within the conservation area, and the setting of the listed buildings. We therefore consider that there is potential for enhancement but that any development would need to correspond to the vernacular character of the site. The applicants have sought to create a new landmark building on the site and complete the High Street terrace, retain the flower stall, create an active frontage to the High Street and introduce a building of greater architectural significance which relates to the larger buildings on the corner site.

Whilst acknowledging the detailed response of the architects to the complex site, we consider that such an approach does not sustain or better reveal the significance of the character of the conservation area and that the overall bulk of the building, and varied use of materials would not preserve or enhance the significance of the conservation area. The use of brickwork and timber boarding on the Snow Passage elevation is materially appropriate however, the height raises concerns in respect of enclosing the narrow passage and in respect of views into Pond Square. We would also consider the large glazed shopfront, glazed roof terrace, and green wall with tower are without precedent in Highgate and would be an incongruous addition to the traditional streetscape.

Recommendation

English Heritage considers that there may be potential for enhancement of the site but that the current proposals have a detrimental impact on the significance of the conservation area. We would therefore encourage the applicants to consider a less ambitious scheme which seeks to better enhance the contribution of this site to the conservation area.

Please note that this response relates to historic building and historic area matters only. If there are any archaeological implications to the proposals it is recommended that you contact the Greater London Archaeological Advisory Service for further advice (Tel: 020 7973 3735).

Yours sincerely

Richard Parish
Historic Buildings & Areas Advisor
E-mail: richard.parish@english-heritage.org.uk
cc

Response to English Heritage and Design Developments

Responding to Vernacular Perception

Vernacular Perception - of incremental growth of small scale development/activity.

EH Observation

Map evidence suggests this arrangement represents the later stages of the ribbon development along the High Street, developed from between 1832 and 1849. Although much of the fabric of these structures appears to be the result of incremental repair and alteration, they are noted as making a positive contribution to the conservation area in the Highgate CA statement and are considered to be of some significance in reflecting the smaller scale workshops and activities which would once have been common place in Highgate Village.



The High Street - Typically abutted buildings with shop fronts at street level and rectangular windows with masonry above.

EH Comment

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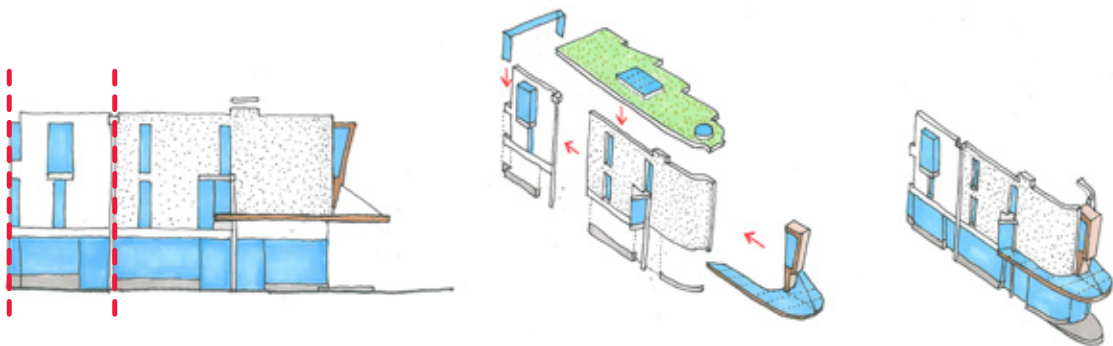
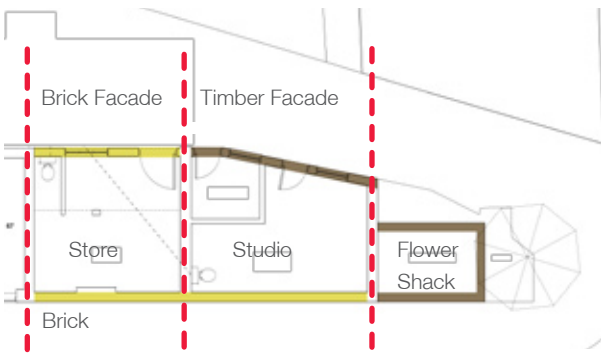
Abutted Buildings - Typically of varying widths & heights and constructed of brick and render

Design Response

The revised proposal extends the rhythm of the existing buildings along the High St by its articulation as two adjoining elements, referential to the historic development on the site.



Existing Snow Hill frontage



The proposed High Street facade reflects the typical incremental and varied facade pattern with glazed shop fronts and masonry with rectangular window sets above.

Responding to Concerns of Height and Bulk

EH Comment

The applicants have sought to create a new landmark building on the site and complete the High Street terrace, retain the flower stall, create an active frontage to the High Street and introduce a building of greater architectural significance which relates to the larger buildings on the corner site.

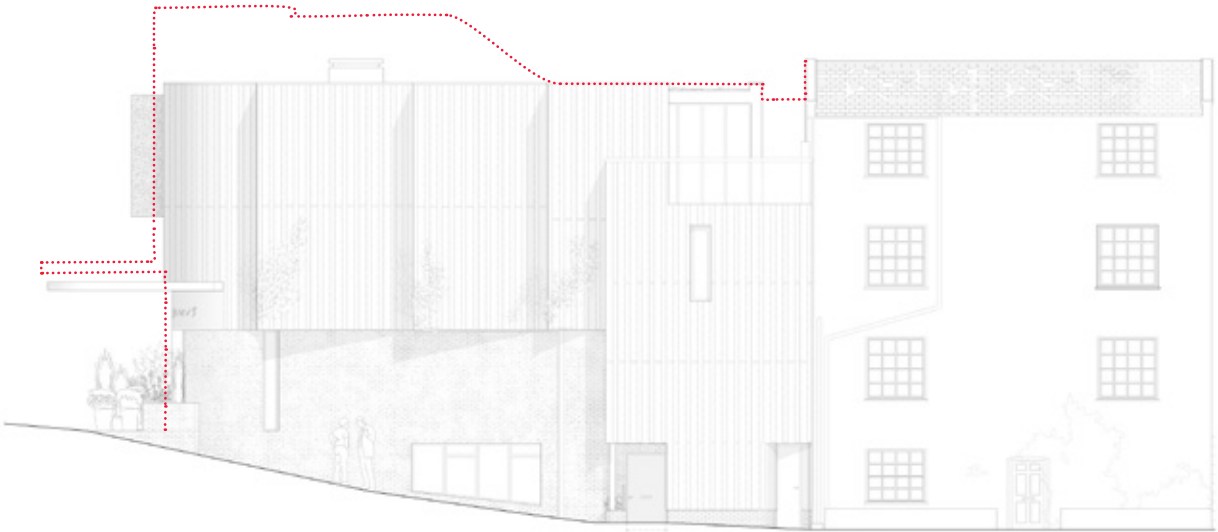
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Design Response - Height Reduced

The overall height of the building has been reduced by omitting the glazed roof conservatory and removing the raised circular parapet at the apex. The height of the building is lowered and its effect of enclosure on Snow Passage and views into Pond Square is consequently reduced.



High Street Elevation - Upper level removed



Snow Hill Elevation - Upper level removed

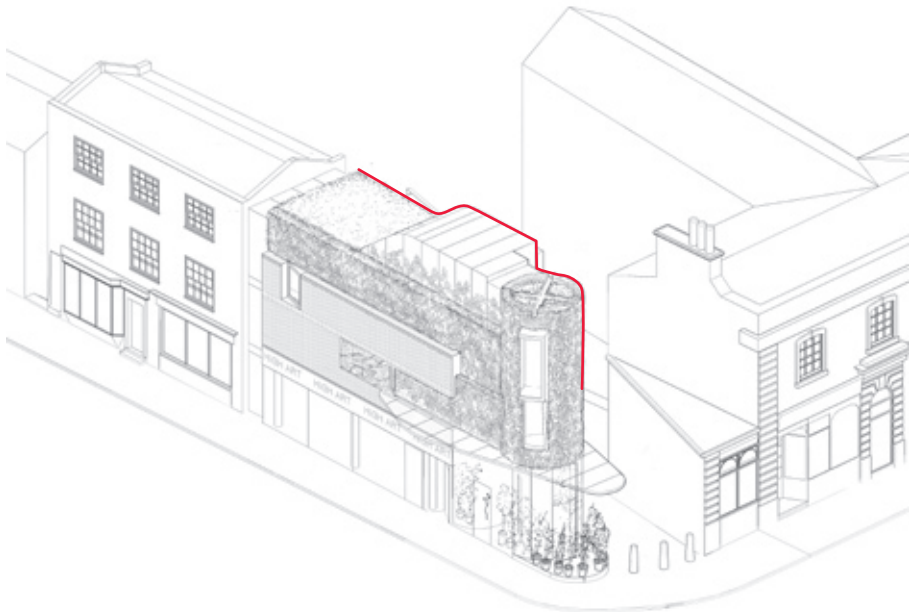
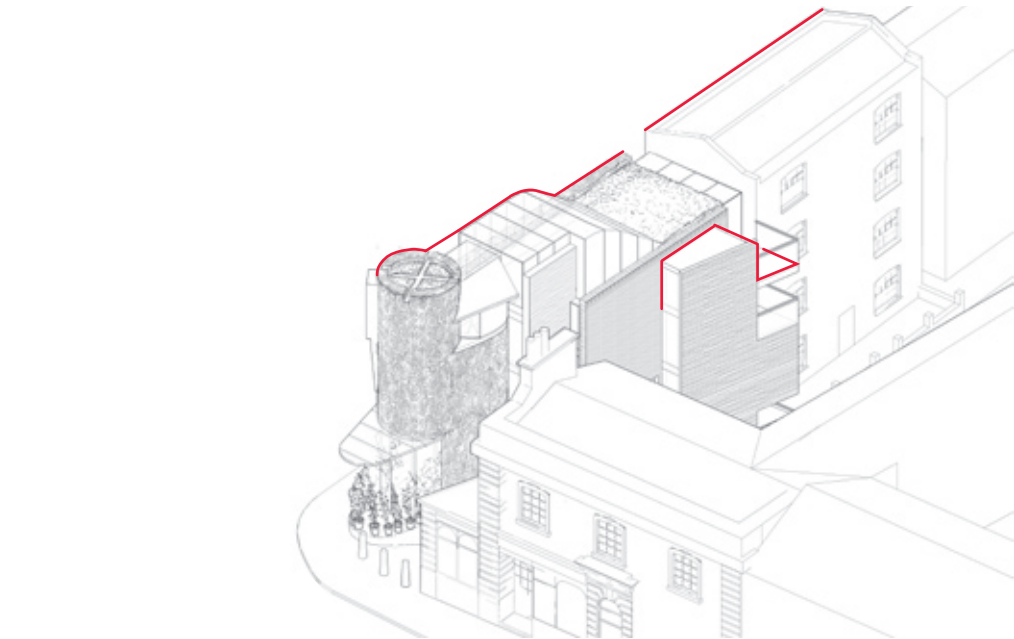
Response to English Heritage and Design Developments

Responding to Concerns of Height and Bulk

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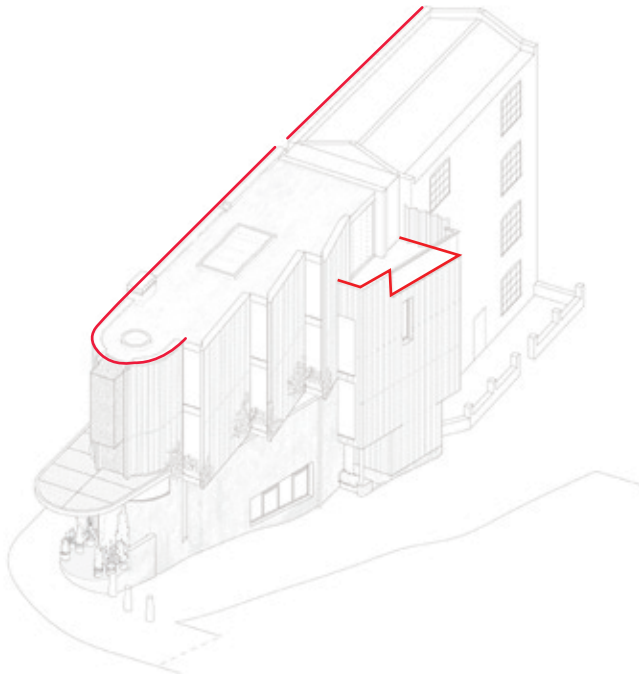
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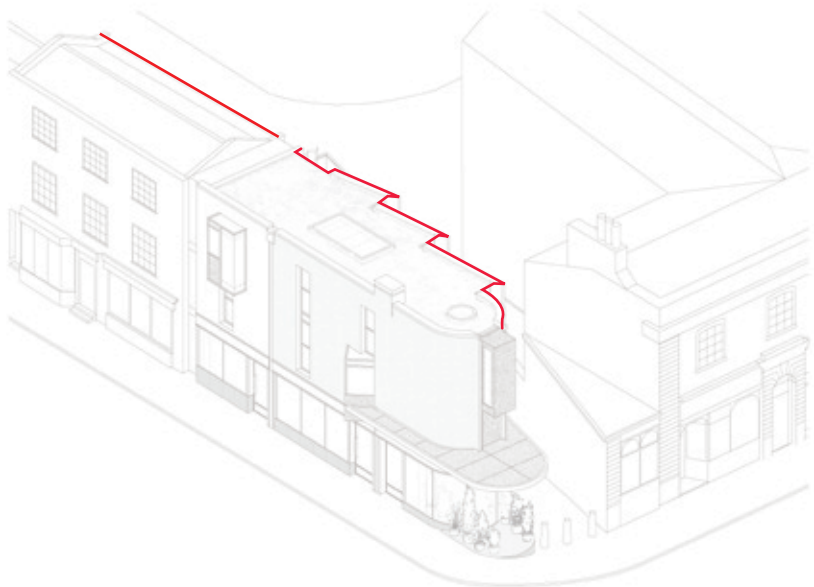


Design Response - Bulk

The Bulk is reduced by omitting the upper floor of the tower and the glazed conservatory. The tower is now replaced by a bull nose arrangement through which a bay window emerges. From Pond Square and Snow Hill the bulk is further reduced by removing the lobby on the second floor terrace



Proposed Form - Reduced Bulk



Proposed Form - Reduced Bulk

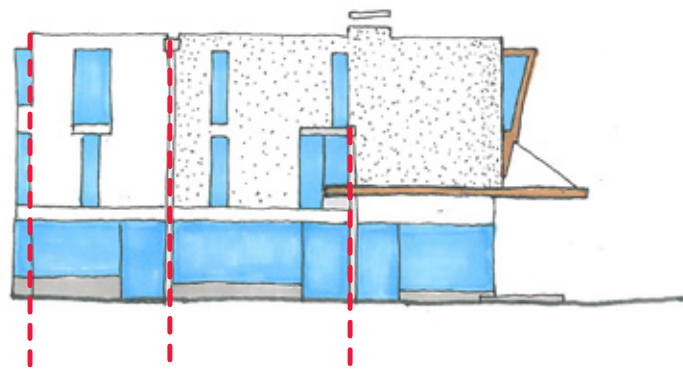
Response to English Heritage and Design Developments

Elevational Composition - Scale and Alignment derived from adjacent buildings

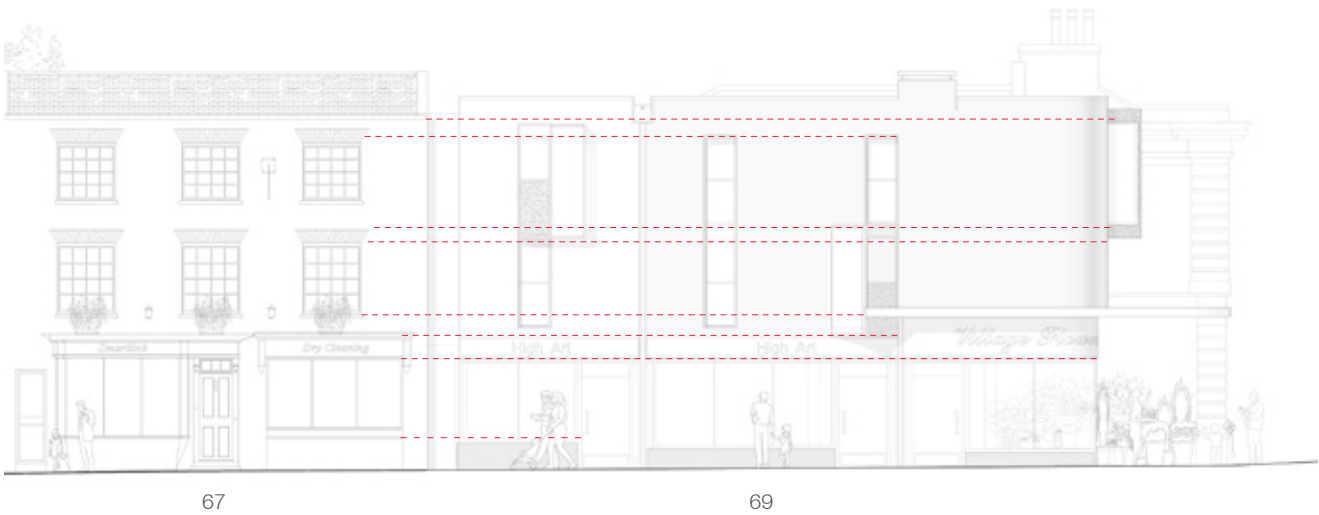
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Facade Concept - new composition reflects the typical incremental and varied facade pattern of the high street with glazed shop fronts and masonry with rectangular window sets above.



Shop frontage, florist's canopy, projecting bays and floor levels relate to adjacent building



Design Response

The facade of the building on the High Street is informed by the immediately adjacent building, 67 Highgate High Street, to which it is joined. Horizontal generating lines are extended from the key architectural elements, the shop window plinths and entablatures, the window sills & lintels and the parapets.

On the Elevation to West Hill the soffit of the new canopy is set at the same height as the sills of 67's first floor windows to form a gateway entrance into Snow Hill Passage and on down into Pond Square.

Response to English Heritage and Design Developments

Elevational Materials

Design Response

EH Comment

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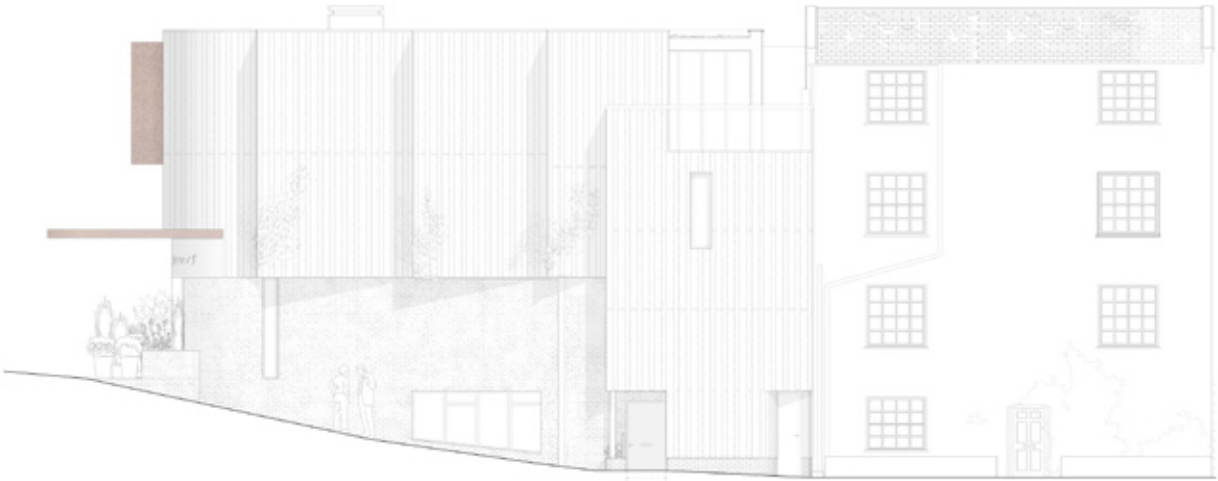
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Design Response

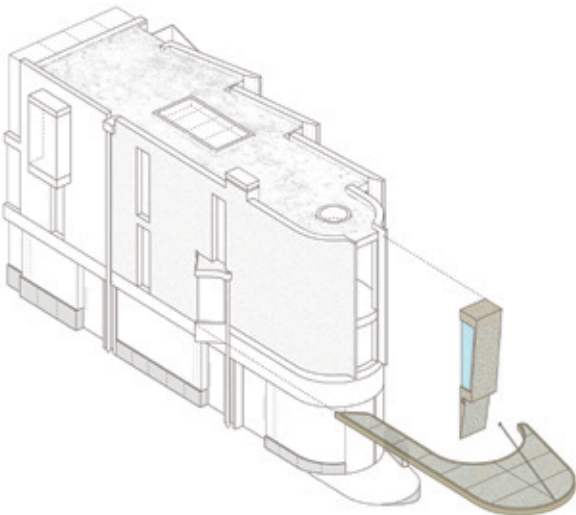
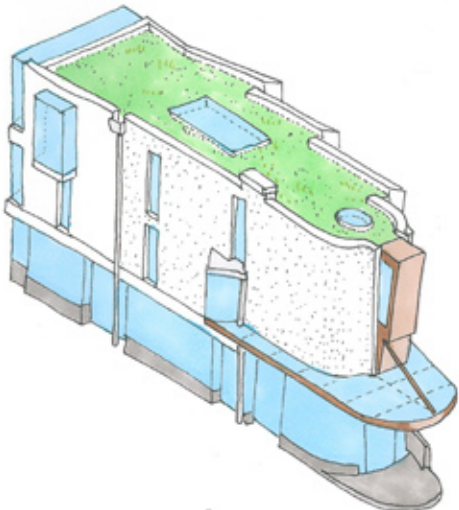
The High Street elevation is now composed of the two elements to reflect the incremental like nature of historic development along the High Street.

At street level the shops are articulated with black granite bases which step down at each element to terminate with the florist's display plinth. The glazed retail wall is articulated as three shop fronts which recess around the rainwater pipes descending from the roof and florist's canopy. Above shop level the façade panels are articulated with smooth and textured render to reflect the render elevations along the High Street. The panel adjacent to 67 will employ smooth render, while the panels above the florist are of embossed textured render. The green wall has been omitted entirely and the bay window and canopy marking the end of the High Street will be of bronze copper fretted with an organic leaf pattern. In this way it will introduce a material of gravity and quality appropriate to its prominent location, which echoes the richly verdant tree-scape of Pond Square and relates to and promotes the highly focal florist at the apex of the urban terrace.

Like the previous design the Snow Hill Passage elevation employs materials which reflect the the existing buildings on this site - predominantly brickwork and timber boarding.



Bronze metalwork articulates and enriches the High Street elevation and apex to West Hill



Fretted Metal

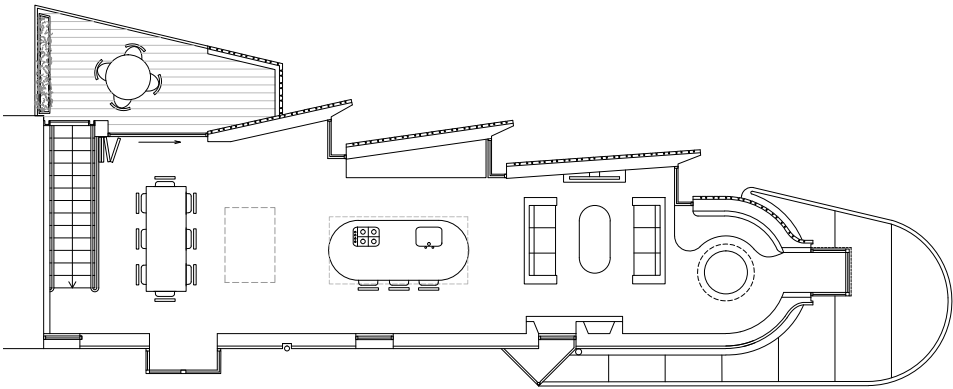


Textured Render

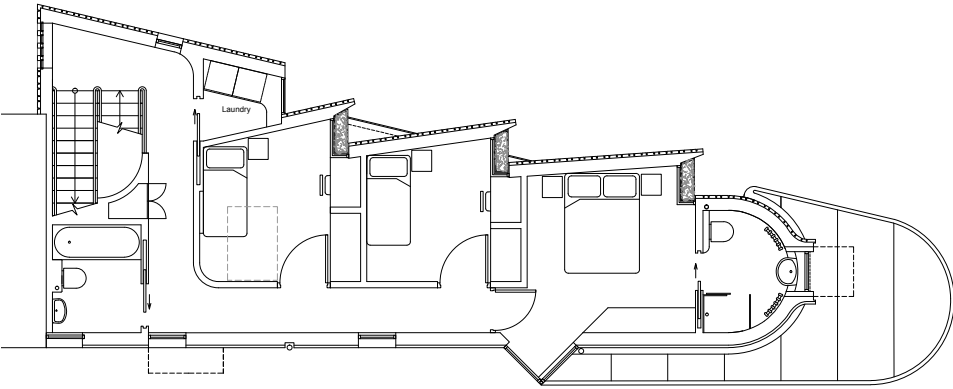


Timber Boarding

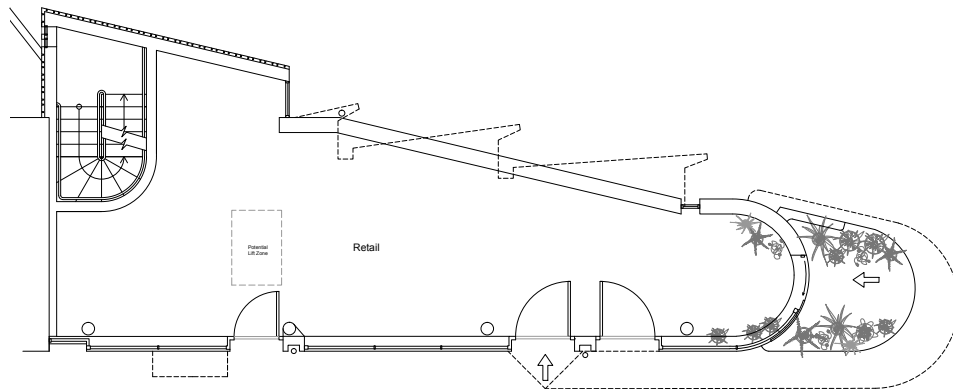
Second Floor Plan 1:150



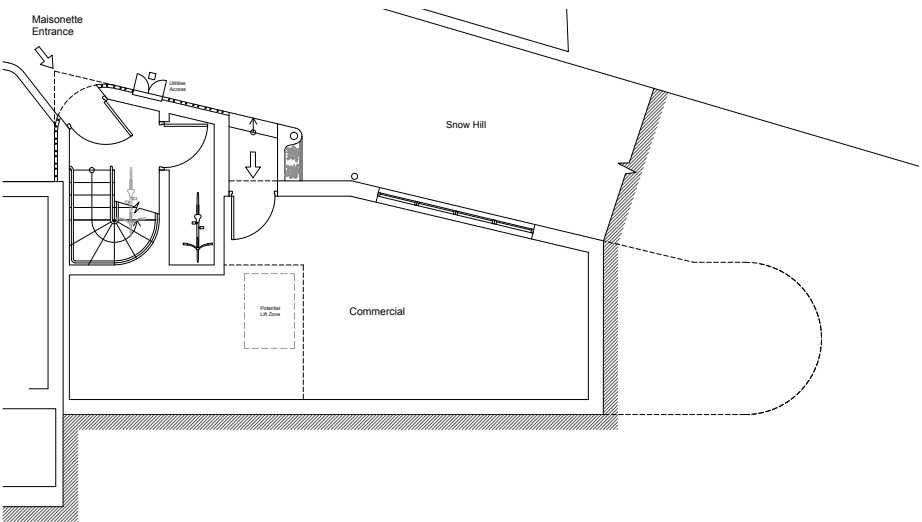
First Floor Plan 1:150



Highgate High Street Level Plan 1:150



Pond Square Level Plan 1:150



Use & Layout

At Highgate High Street level the development contains a Retail / Gallery space. The flower shop enjoys a curved glazed facade that slides open to connect with a floral display plinth, establishing a connection between the Highstreet and West Hill shop fronts whilst providing a colourful urban focal point.

The first and second floors contain a three bedroom maisonette flat for Iain and Fran and their two children, with bedrooms at first floor level and an open plan living area on the second floor. The living level has a small external terrace that enjoys the southerly aspect and views over Pond Square. The entrance to this maisonette flat is accessed via Pond Square which provides a more convenient and private arrival point.

At Pond Square level a small commercial space is entered off Snow Hill.

Size

The building is 15.1 metres long with the florist's display plinth extending a further 2 metres. It is 6.8 metres wide adjacent to 67 Highgate High Street and tapers down to a diameter of 3 metres at the base of the curved apse. As viewed from the High Street the proposed building parapet aligns with parapet of No 67 Highgate High Street. As viewed from Snowhill the building at Pond Square is 10 metres above pavement level and the elevation steps up with the incline of Snow Hill.

Retail / Gallery Space	54 Sq metres
Maisonette Flat (total)	125 Sq metres
Entrance	13 Sq metres
First Floor Level	60 Sq metres
Second Floor Level	52 Sq metres
Commercial Space	35 Sq metres
Total Floor Area	214 Sq metres

Scale of Development - Context Elevations

The scale of the proposed development is aligned to be similar to the adjacent buildings and a storey lower than the Gatehouse Public House opposite.

The flower stall canopy is set at the same height as the sills of 67's first floor windows to form a gateway entrance leading into Snow Hill Passage and on down to Pond Square.

The Snow Hill elevation steps in height to respond the incline from Pond Square up to West Hill.



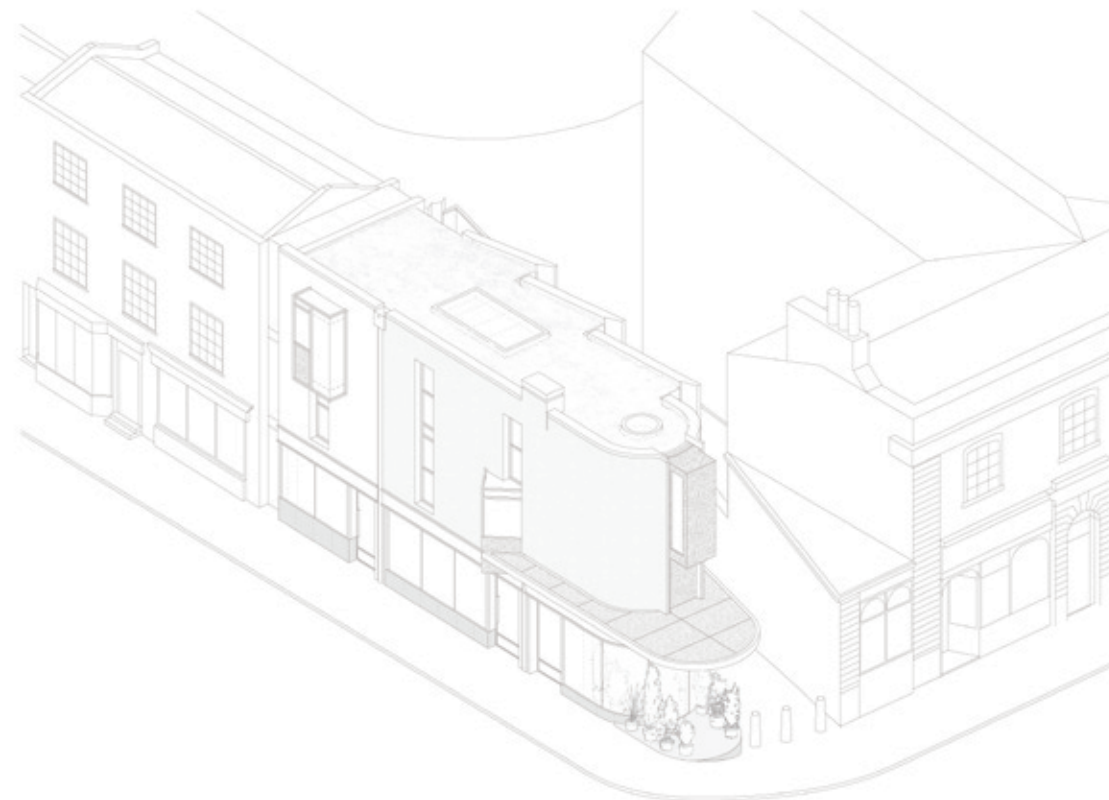
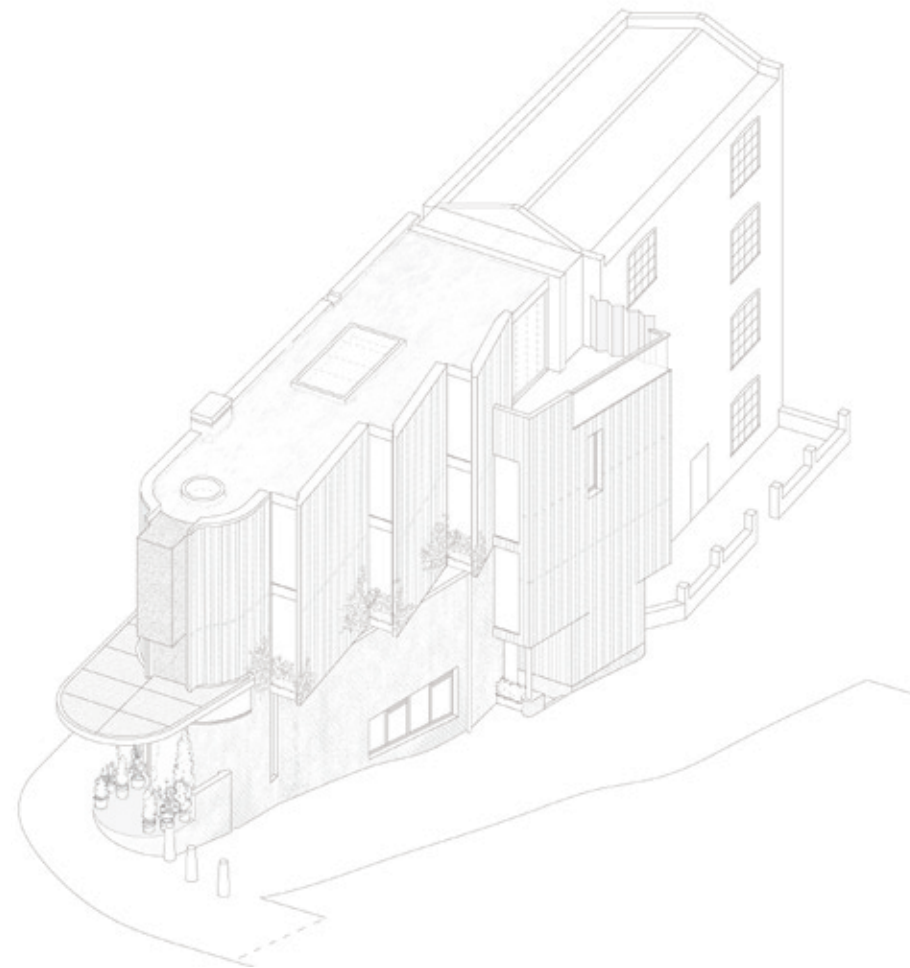
West Hill



Pond Square



High Street



Appearance - Form & Materiality

The building is derived from the tapered site and is a typical 'flatiron' form commonly found in London. Its height is similar to the adjacent building and a glazed slot between them ensures that the existing building retains its standalone character.

At the apex a cantilevered glazed canopy protects the flower shop display at street level and signals the ramped approach down Snow Hill to Pond Square.

On the Snow Hill elevation splayed timber panels provide light into the internal spaces and views towards West Hill without causing overlooking to the neighbouring houses.

The flat roof has lanterns to illuminate the living area below and a sedum roof to encourage bio-diversity and reduce heat island effect.



High Street Elevation



Snow Hill and Pond Square Elevation



West Hill Elevation

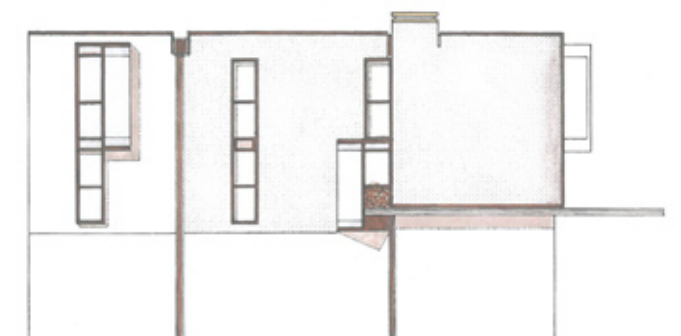
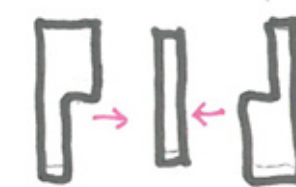
Appearance - The Elevations

The primary elevations are composed to reflect the relative formality along the High Street and contrasting informality of Pond Square. The High Street elevation corresponds to the adjacent model of shop fronts at street level with domestic accommodation above. The Snow Hill elevations respond to the more irregular ad-hoc facades on Pond Square.

In order to reflect the incremental varied scale of buildings along the High Street and the existing separate dwellings on the site the High Street elevation is conceived to read as two elements. These are divided by the rainwater down pipe. Adjacent to no. 67 the element has a bronzed mullion shop front with smooth rendered two storey panel above with a central rectangular oriel window. The next element has two bronze mullion shop fronts where at the apex the florists stall is redeployed. The façade to the dwelling above has a rough render texture finish and a triangular oriel window which receives the florists canopy.

The Snow Hill elevation is more fragmented to reflect the existing multi-occupancy and adhoc existing timbered facades. A London Stock brick base is proposed for the small commercial unit and vertical oak boarding clads the maisonette above and its entrance off Pond Square. Bat boxes are created in the soffits of the projecting timber panels.

The timber cladding of the Snow hill elevation and rendered High Street elevations extend to and wrap around the apex to terminate in a vertical collar through which the bronze bay window projects above the florists canopy. The composition responds to its prominent focal location and signals the path down into Pond Square.



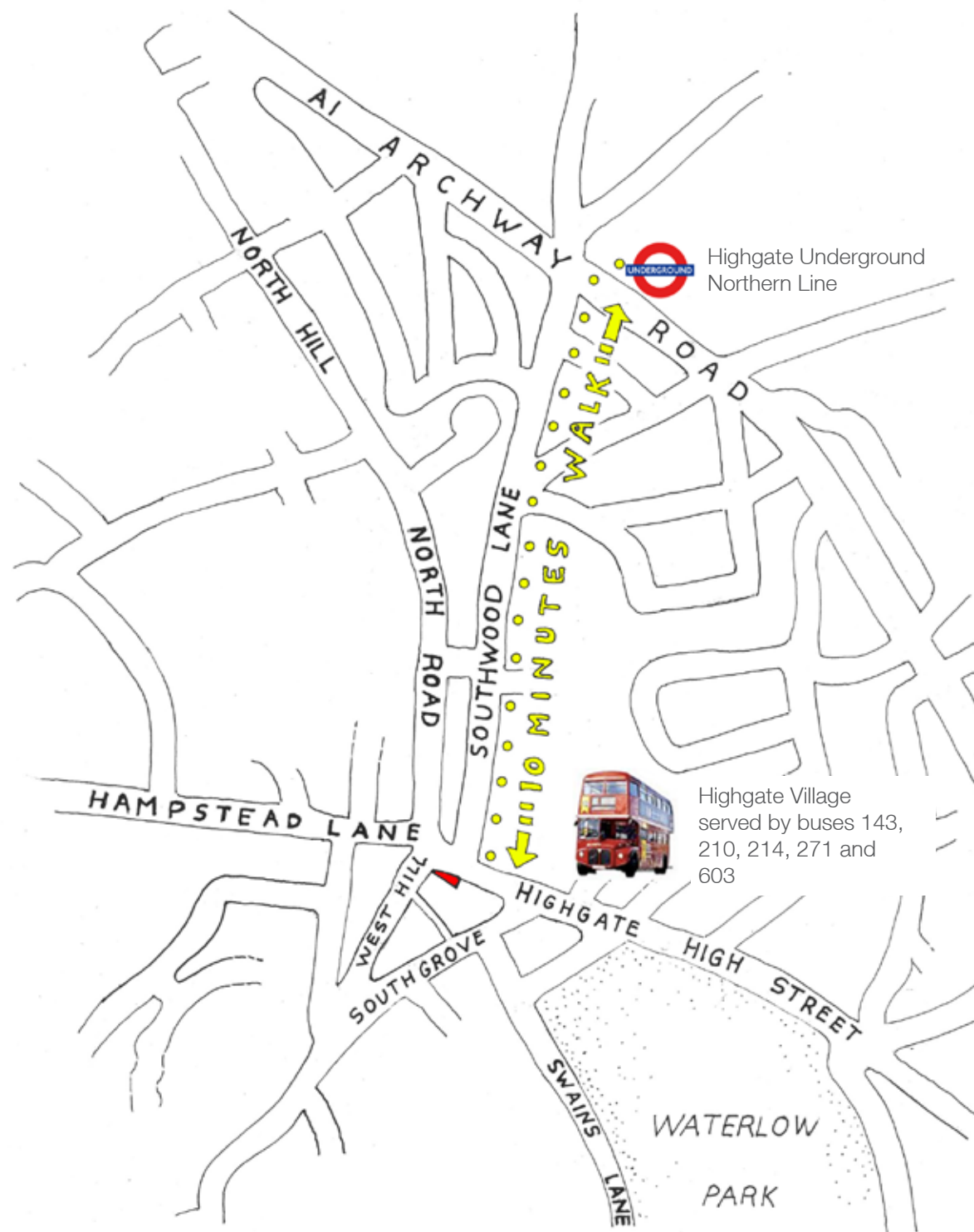
Concept Sketches



View from Pond Square



View from North Hill



Access

The proposed building stands at a prominent location in Highgate at the junction of Highgate High Street, West Hill and North Hill. The location is well served by public transport. Many bus services are available in Highgate Village including Bus 143 linking Archway with Hendon, Bus 210 linking Brent Cross with Finsbury Park, Buses 214 & 271 linking Highgate with Liverpool St, and Bus 603 linking Muswell Hill with Swiss Cottage. Highgate Underground Station, on the Northern Line, lies to the north on the Archway road less than 10 minutes walk away. Metered roadside car parking is available adjacent to Pond Square. Highgate is a fondly frequented, well serviced local centre and it is believed that the retail elements will enjoy good patronage and help further invigorate the village.

The public elements of the proposed building, the retail space / gallery and the florist are fully accessible. The plan has been arranged to ensure a lift can be installed at a later date. The design complies with Lifetime Homes Standards.

Mike Russum
 Birds Portcmouth Russum Architects
 Wenlock Road
 N1

EK - Camden Borough
EO - Holborn Police Station

Holborn Police Stn Hq Offices
 10 Lambs Conduit Street
 London
 WC1N 3NR

Telephone: 02087336323
 Facsimile: 02087336
 Email: Terry.Cocks@met.police.uk
 www.met.police.uk

Your ref:
 Our ref:

2 June 2009

Dear Mike

Good to meet you yesterday and have the chance to look at the project for Highgate.

Having had a better chance now to review the plans and drawings I think there are a number of plus points, in terms of crime prevention and prevention of Anti Social Behaviour, that the project will encourage. These include;

- A reduction in opportunity for graffiti - the textured "green" walls will not allow for the practice to continue.
- Removal of the garage type structures that have facilitated the attack adjoining buildings.
- Removal of rubbish dumping areas.
- Increased surveillance - introducing a new residential element brings new "eyes on the street" that did not previously exist.
- Increased activity - residents entering and leaving the new residential from the alleyway.
- Increased lighting - new light spill from residential into an area that at present looks quite badly served in terms of street lights.
- Use of new "burglary resistant" doors and windows within the residential element.
- Clear and defined ownership of space along Highgate Hill and the responsibility that goes with that.
- Extensive use of glass, which reflects in behaviour and movement, in and around recessed doorway on Highgate Hill.

I wish you luck in your efforts to bring this project to fruition.

Yours sincerely,

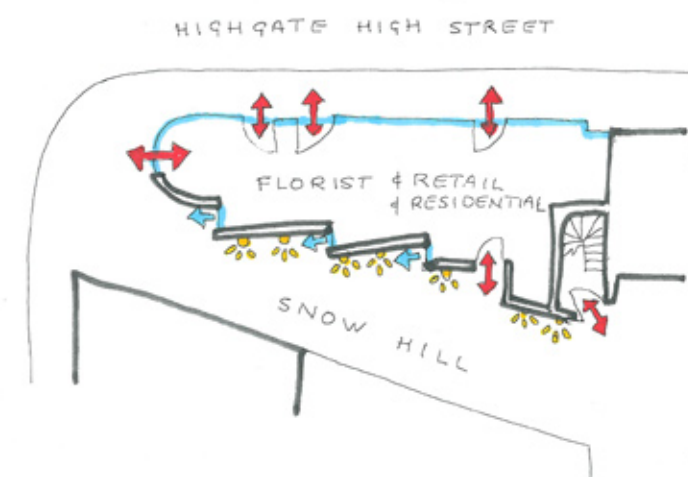
Terry Cocks
Crime Prevention Design Adviser
Camden Police
Tel: 0208 733 6323

Making the Area a Safer and more Pleasant Place

As already noted the area is subject to graffiti, litter and the other excesses of youth. As part of the design development process a meeting took place on the 1 June 2009 with the Crime Prevention Design Advisor Mr Terry Cocks and discussions took place about any impact of the Third Proposal and whether it might be modified to create a safer environment for Pond Square and Highgate

The Crime Prevention Advisor commented favourably on how the project creates improved natural surveillance and illumination over Snow Hill and a more active and illuminated street frontage on the High Street. This will lead to youths feeling far more exposed and therefore discouraged from starting antisocial activity. Furthermore the existing shed roof is removed and will no longer be a receptacle for discarded refuse and a platform for graffiti-ing the flank wall of 67 Highgate High Street.

The current proposal is very similar to the third proposal and it is not considered that there is a lessening of the improvement to safety arising from the new design.



Highgate High Street Frontage Introduces:

- Active Facade
- Defined Ownership
- Light Spill

Snow Hill Frontage Introduces:

- New Light Spill
- Active Facade
- Increased Overlooking

Appendix

Response to Written Comments within Pre-Application Letter
from Camden Council

High Street Elevation

Local Planning Authority comments

there is only one remaining issue from a heritage/design perspective; the design of the high level window to the Highgate High Street façade. First, to confirm, the re-introduction of the oriel window is welcomed in principle. In terms of the window units there may have been scope to separate the units but in general the design response is welcomed. However it is advised that some small revisions could result in this element responding better to the traditional fenestration pattern:

- 1) Reduce head of oriel window: to align with 'slot' window on adjoining bay of the development site and; head of 2nd floor window on adjacent building,
- 2) Reposition mullion to align with cill of 2nd floor window on adjoining building,
- 3) Provide solid (timber or bronze?) panel of lower pane to help respond relate to traditionally hierarchy of adjacent building

Design Response

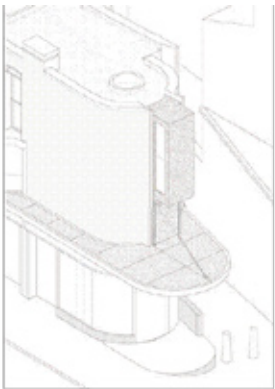


Apex Window

Local Planning Authority comments

- The corner bay window has been redesigned as a vertical element.

It is considered that the vertical option is preferred; but there are still concerns about the angled section below the projecting window which, it is considered by officers, adds an uncharacteristic element to the overall composition. In this regard a couple of potential alternative options have been formulated which you may wish to consider/explore:



Alternative 1
Vertical section below
existing projecting corner
window



Alternative 2
Double height vertically projecting
corner window

Design Response



Overlooking

Camden Comment

It is considered unlikely that the proposed works would lead to any significant loss of privacy, outlook, sunlight/daylight or noise/disturbance to warrant the refusal of an application on this basis. This is primarily owing to the context of the immediate site and surroundings. However, particular attention should be made to the sun/daylight and privacy implications for properties which front onto Highgate West Hill / Snow Hill / Pond Square adjacent to the site. It would appear from the plans submitted for comment that this has largely been incorporated, with the exception at present regarding the second floor terrace (as landscaping is not a permanent feature which the Council can control whether it remains or is removed from the building; instead the boundary treatment needs to be a permanent addition to prevent overlooking at this point).

Design Response

The balcony now includes a zigzagged glass balustrade with alternating clear and sand-blasted panels to allow views over Pond Square whilst screening views into the windows of the adjacent house

