
26 PERRINS LANE NW3 1QY
DESIGN & ACCESS STATEMENT

18.12.2013



Contents

1 Introduction

2 Site

2.1 Site location

2.2 Description

2.3 Hampstead Conservation Area Map

3 Appearance & Design Quality

3.1 Proposal

3.2 Layout

3.3 Scale

4 Appearance & Design Quality

4.1 Analysis of changes to the external fabric

4.2 Analysis of changes to the internal fabric

4.3 Heritage statement

5 Site photos

1 Introduction

1.1 Summary

Submission of Full Planning Application and Listed Building Consent for alterations and rear one storey extension at 26 Perrins Lane, London Nw3 1QY.

The aim of the works are to ;

- 1) Restore this Georgian terraced house whilst upgrading the existing building fabric and improving the living accommodation.
- 2) Repair the original structure within the listed building.
- 3) Erection of a single storey rear conservatory.
- 4) Alterations to the fenestration of the rear/South East Elevation.
- 5) Reinstall the original entrance doorway.



26 Perrins Lane

2 Site

2.1 Site Location

26 Perrins Lane is located in the London Borough of Camden within the Hampstead Conservation area forming part of a Grade II listed terrace (14 to 26 even) on the north west side of the lane.

The terrace is of early 19th century cottages, in yellow stock brick over two storeys with attics and slated mansards roofs with dormers and tall brick chimney-stacks. The rear of No.26 has a two storey rear side extension and a small yard area.

Perrins Lane is a predominantly residential road. The property is well served by most amenities including the Underground, bus routes, parks and neighbourhood shopping. All of these amenities are within convenient walking distance.

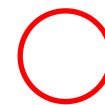
2.2 Description

The existing property is a terraced single family dwelling over three storeys with an additional attic floor comprising four bedrooms on the First and Second Floors and Ground Floor Receptions area, with a guest WC located on the ground floor and a bathroom on the First Floor.

The property is constructed from solid brickwork main walls, with single glazed Georgian style painted flush framed timber sash windows and panelled timber front door and three overlights.

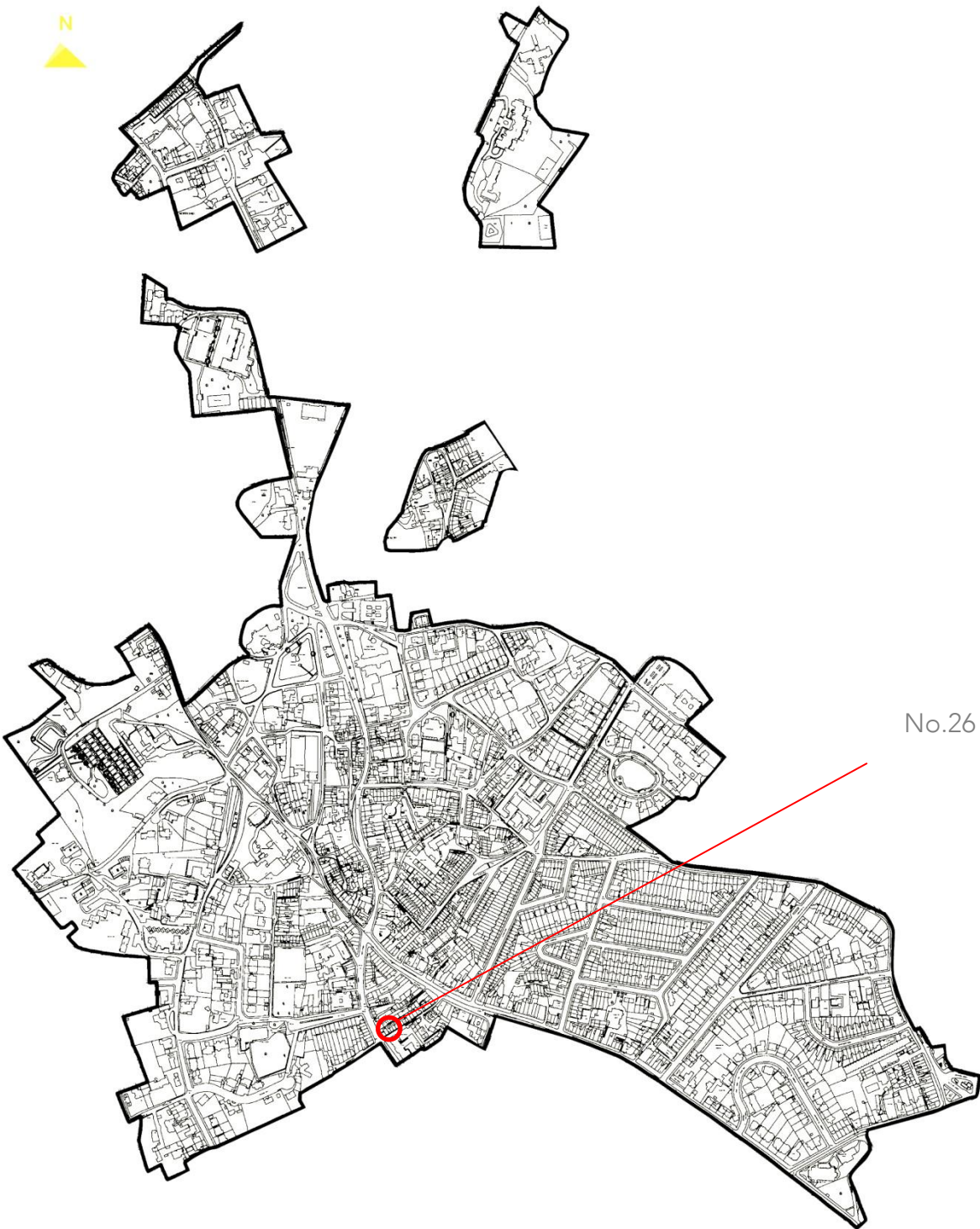
The floors are constructed from timber boards and joists and the existing partition walls are timber stud walls. Partition stud walls have been stripped of all plaster down to the studs. The house is in a general state of poor disrepair and there is visible dry rot to floor joists on the first floor and water damage and ingress to the ceilings on the second floor.

The original timber staircase has been removed and replaced by a spiral wooden staircase. There is small rear courtyard. The front of the house sits on to the street. There is no off- street parking or garage.



Site within red circle
26 Perrins Lane NW3 1QY

2.3 Hampstead Conservation area Map



No.26 Perrins Lane within the Hampstead Conservation Area.

3 Appearance & Design Quality

3.1 Proposal

The proposal allows for extending the rear of the property to enlarge the kitchen area. The extension will be in the form of a glazed conservatory, the existing court yard will be partly covered. The proposal is required to make a larger kitchen/dining area, more suitable for a four bed roomed house. The proposal follows similar lines to the extensions carried out at No.22 Perrin's Lane granted planning permission and Listed Building consent in 2008; ref. 2008/1182/P and 2008/1183/L, and the extension carried out at No. 20 Perrin's Lane granted Planning Permission and Listed Building consent in 2005; ref 2005/1383/P and 1385/L respectively.

Alterations are proposed to the main rear elevation by enlarging the existing window opening to form a doorway allowing access from the reception room to the courtyard.

It is proposed to change the fenestration to the existing rear extension elevation by enlarging the windows with new hard wood painted sash windows and replace the existing 3 leaves glazed French doors and balcony with a large casement window.

The proposal also includes for replacing the existing entrance door with a new hardwood timber door to match the original front doors of its neighbouring houses (no.'s 14-24) and eliminate the non-original glazed side panel at No.26.

Internally the proposal is to replace the existing spiral staircase with a new built timber staircase and change the internal layout of the first floor rear extension.

3.2 Layout

The total area of the existing house is 102 m². The Ground Floor reception/ kitchen area is 29m². For a four bed-roomed house, the existing reception/ kitchen areas are very small.

Our proposal increases the Ground Floor reception area by 8m² (which is the size of the proposed rear extension). The total area of the ground floor will therefore be 37m².

The rear extension will accommodate the kitchen and breakfast/dining area.

3.3 Scale

The proposed rear extension is single storey and located on the Ground Floor only. It therefore respects the overall scale of the house and resembles the adjoining extension at No. 2A Well Road.

4 Existing building Appraisal

4.1 Analysis of Changes to External Fabric.

The proposal allows for extending the rear of the property to enlarge the kitchen area. The extension will be in the form of a glazed conservatory to allow natural light to penetrate the rear of the house.

The courtyard will be partly covered by the extension. The proposal is to create a larger kitchen. The existing wall will be opened and a steel introduced within the depth of the floor construction.

It is proposed to demolish the existing rear garden wall between 26 and 24 - consent from the neighbour has been given - and rebuild with rendered finish.

It is proposed to change the fenestration to the existing rear side extension elevation with new hard wood painted sash windows to the first floor and a new French door to the ground floor. The facade is to be repaired and re-rendered.

The existing windows are to be refurbished and repaired. The windows and door on the second floor are such bad repair that it is planned to replace them with new double glazed hard wood casement windows to match existing.

The existing sash window on the ground floor of the rear facade is planned to be replaced by a French double glazed door to match existing in look.

The roof is in disrepair and it is proposed to make repairs to the lead details and slate tiling. It is suggested to use salvaged slate tiles to match existing.

The existing rainwater and waste pipes are plastic and not original, it is proposed to replace the existing rainwater and sewage pipes in black plastic. The rain is collected in a lead gully detail which will need sympathetic repair.

It has been discovered that the building does not feature a damp-proof course and it is proposed to install a chemical damp proof course to external walls.

4.2 Analysis of Changes to Internal Fabric.

The current proposal aims to provide repair and refurbishment to this family house.

The house shows significant disrepair and water ingress, which has caused wet rot on internal timbers. Rising damp along all external walls is also apparent.

In guidance with Camden's planning and heritage officers the modern finishes have been stripped back and revealed that all original finishes had been replaced by modern finishes which are planned to be replaced as found in disrepair.

It was discovered that the hallway on the first floor is structurally not supported, additionally the original post below is positioned on inadequate footing for the load it carries. It is proposed to introduce a new steel beam supported between party walls. Existing (mostly rotten in parts) joists above the living room to be cut back to allow the steel to be inserted within the depth of the floor construction.

It is proposed to install a further steel to replace a damaged concrete lintel.

The timber panelling on the ground floor separating the living room and hallway and on one wall in the staircase on ground and first floor is deemed to be original and will be reinstated.

4.3 Design and Heritage statement.

It is proposed to remove the existing staircase and introduce a new staircase in the original location.

It is proposed to re-instate the original panelling in the house which is located around the staircase area on all floors and to bring the house back to its original state as much as possible. We suggest removing the existing panelling carefully, treat all internal timbers before reinstalling the repaired and treated panelling carefully.

It is proposed to inject wooden lintels and repair / replace rotten joists for new timber joists were required.

The current proposals have been developed following discussions with the planning and conservation officers.



Wet rot on first floor joists

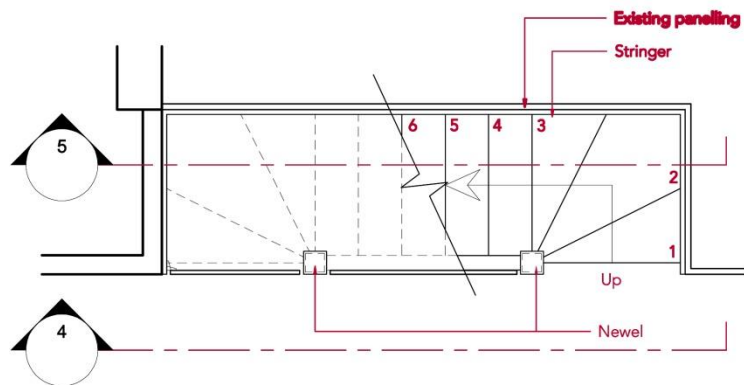


Ground floor – Hall way looking towards entrance door - extend of original panelling to the left

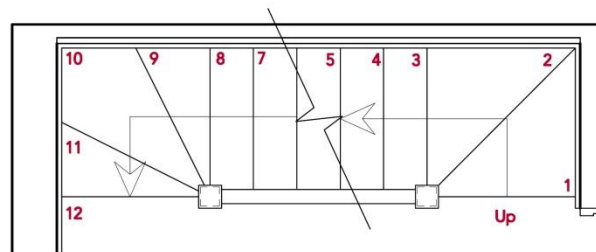
Ground Floor – panelling in rear room separation to hallway/staircase



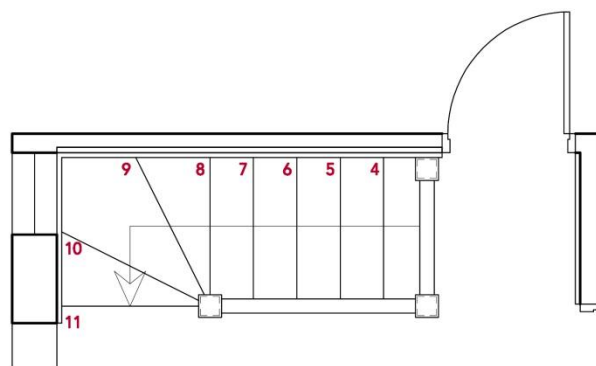
First floor – Extend of original panelling on first floor



1 Details plan for Ground Floor Staircase
scale 1:25



2 Details plan for First Floor Staircase
scale 1:25

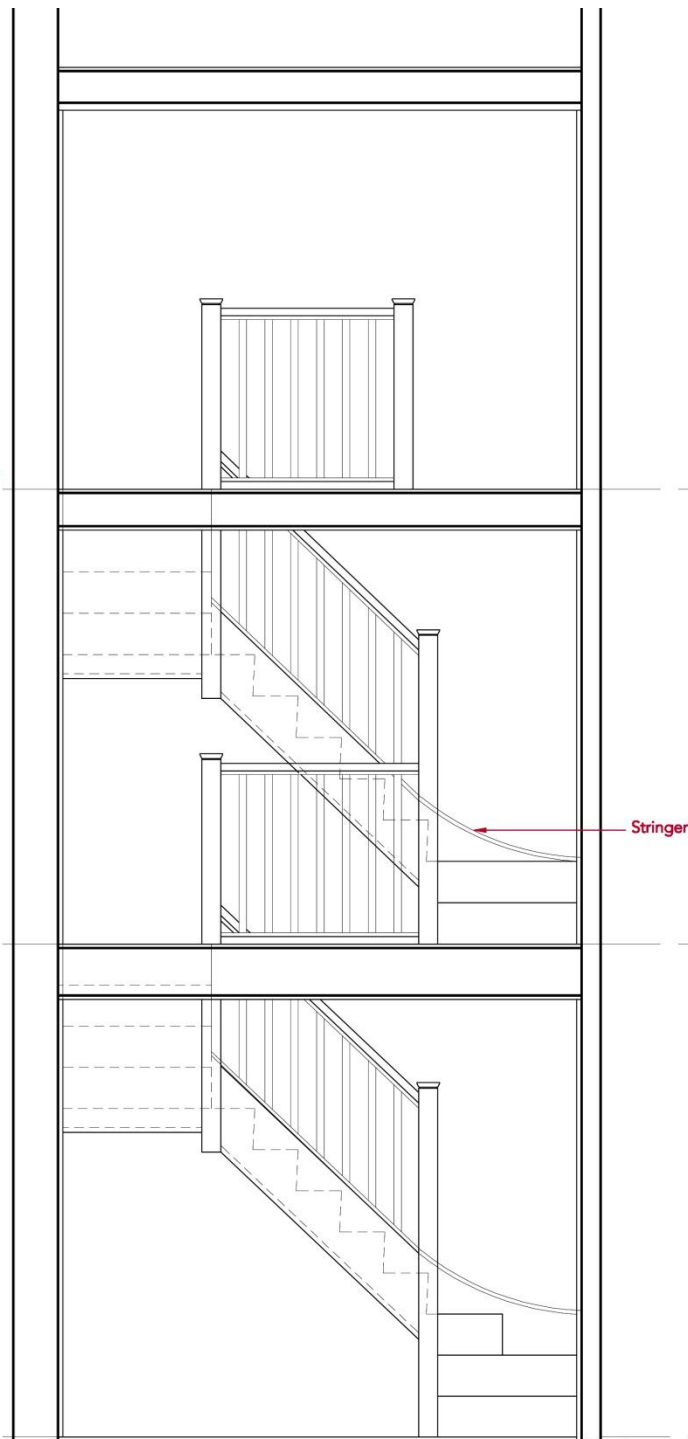


3 Details plan for Second Floor Staircase
scale 1:25

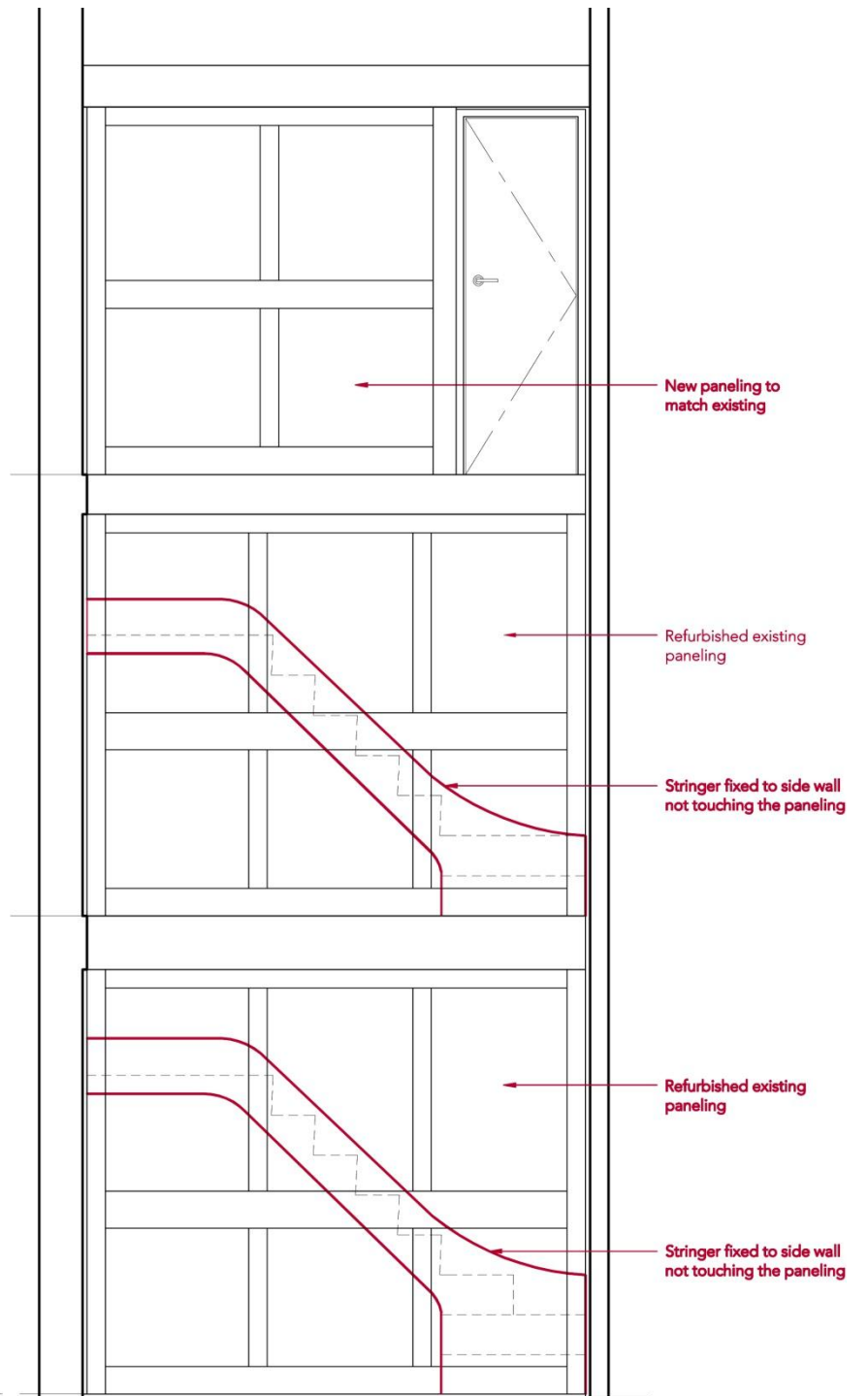
▽ Second Floor

▽ First Floor

▽ Ground Floor



4 Elevation for Staircase
scale 1:25

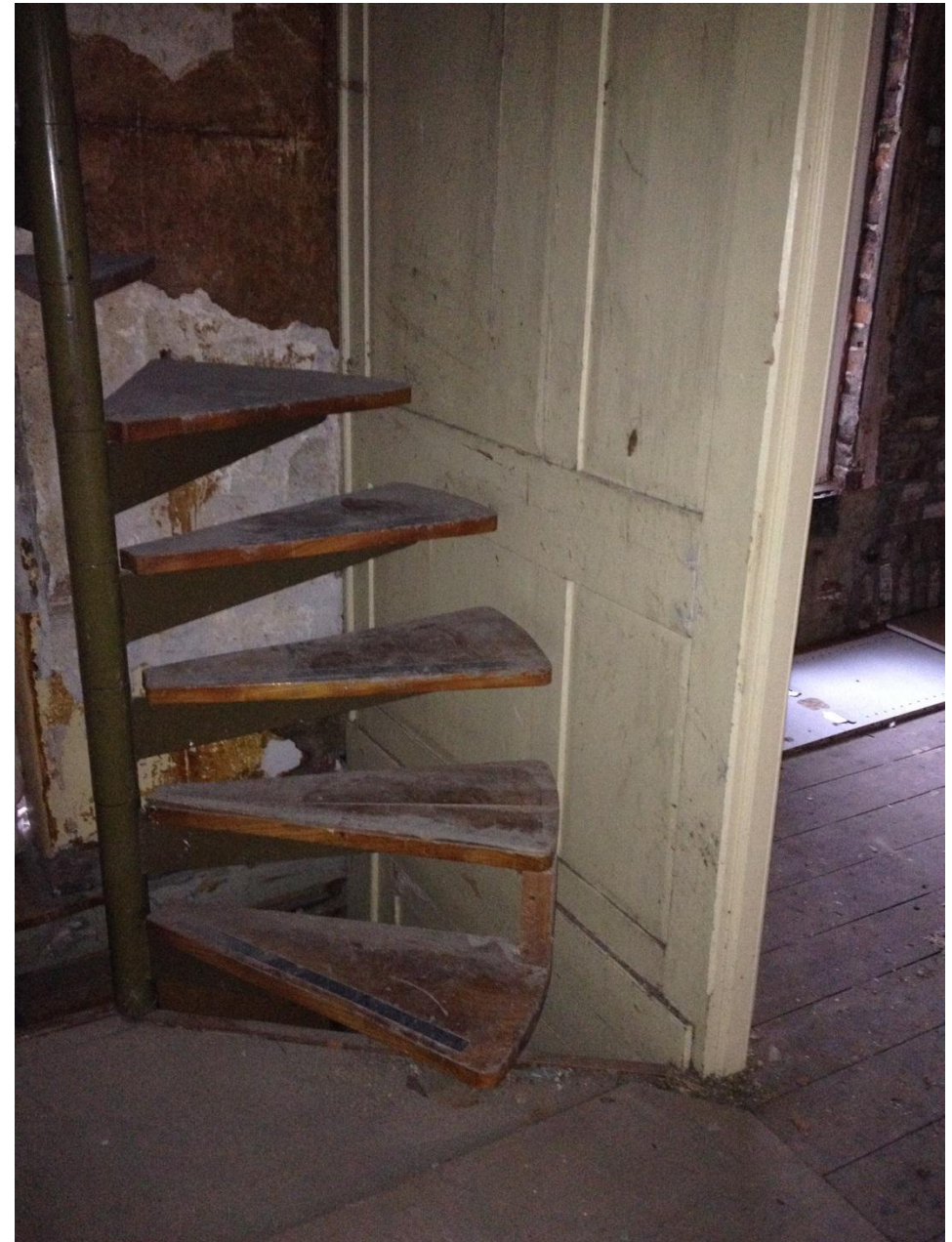


5 Section for Staircase
scale 1:25

Detail plans of new staircase on all three floors



Existing staircase ground floor



Existing staircase first floor

5.0 Site Photos



Front Elevation



Door Detail of adjacent no. 24 & No. 22



5.0 Site Photos



View toward the rear extensions of No. 24, 22, 20, and 18 Perrins Lane



Rear elevation from flat roof



Rear courtyard



Rear elevation from courtyard

5.0 Site Photos



First Floor – front room looking to rear



Second Floor



Ground Floor - hallway



Ground Floor – Rear reception