

Town Planning Bureau

The Barn · 43 Oakdene Road · Redhill · Surrey · RH1 6BT
tel: 01737 390169 email: info@tpbureau.co.uk

PLANNING, DESIGN AND ACCESS STATEMENT

Site: Flat 5, 1 Rosecroft Avenue, London, NW3 7QA.
Application by: Mr David Kelly.
Prepared by: Mr Paul S Bottomley.
Date: 19th June 2013.
Our Ref: URB-217-ST1-PSB

Copyright Notice.

This document and its content are the property of Town Planning Bureau © Urbanistica Ltd 2009. All right reserved. Any redistribution or reproduction of part or all of the contents in any form is prohibited other than the following:

- You may print for your personnel use only.
- You may not, except with our permission, distribute or commercially exploit the content. Nor may you transmit or store in any other form.

1.	Introduction	2
2.	Site Location and Description.....	4
3.	Planning Policy	5
4.	Relevant Planning and Site History	6
5.	Access Considerations	6
6.	Planning Considerations	7
7.	Summary and Conclusions	11

1.0 Introduction

1.1 This planning, design and access statement is prepared by Mr Paul S Bottomley BA (Hons), MA, MRTPI of Town Planning Bureau.

- Applicant: Mr David Kelly (“the Applicant”).
- Site: Flat 5, 1 Rosecroft Avenue, London, NW3 7QA (“No.1” / “the site”).
- LPA: London Borough of Camden (“the Council”).

Proposal

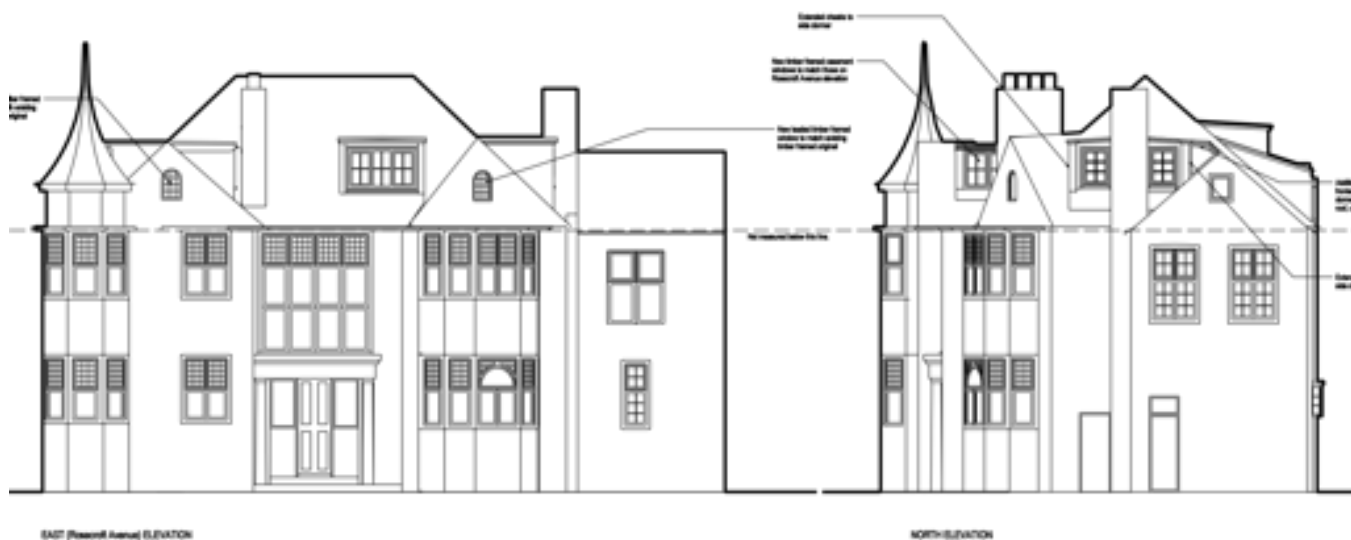
1.2 Planning permission is sought to for the alteration of the existing dormers and fenestration to the roof of the existing building - Flat 5 is located in the roof space. The alterations are:

- north elevation: enlargement of existing dormer and replacement of windows.
- eastern elevation: replacement of fenestration.
- western elevation: replacement of existing dormer.
- southern elevation: rebuilding of existing dormer and replacement of fenestration.

Below is a comparison of the existing versus proposed.



Fig.1 - Comparison of existing (above) v proposed (below).





WEST ELEVATION.



WIND ELEVATION

- 1.3 The mass of the building would remain the same, there would be not changes to the ridge height, eaves or roof planes of the dormers - the works are limited to the roof dormers.

1.4 The Applicant's principle aim is to improve the aesthetics of the building, one will note that the majority of the windows are inconsistent and the dormer to the western elevation is very poor and appears as an after thought. The dormer windows would be timber framed casements whereas the gable windows would be timber with leaded detail.

- 1.5 North Elevation Roof: the existing dormer would be extended.
- 1.6 East Elevation Roof: both gable windows would be replaced and the gable dormer (that is hidden to the rear of the existing chimney would be extended.

- 1.7 West Elevation Roof: the existing dormer that provides access to the terrace would be rebuilt with lead finish and aluminium sliding door.
- 1.8 South Elevation Roof: the roof of the dormer would be refurbished and the dormer windows replaced.
- 1.9 Front/ Side and Rear Lower Elevations - there would be no alteration to the lower elevations.

Character

- 1.10 The works are modest and therefore the character of the building would be maintained, albeit that it would be improved.

Materials

- 1.11 The existing dormers and windows are a mismatch of varying materials; the Applicant is proposing to bring consistency to the roof that is currently lacking.

Restrictions

- 1.12 The site is in a conservation area, but the building is not listed.

Sustainability

- 1.13 The works would improve the sustainability of the building via the use of modern insulating materials, improved u-value glazing and an improvement to the general layout and usability of the flat.

Landscaping

- 1.14 There would be no loss of meaningful landscaping.



2.0 Site Location & Description

Site location

- 2.1 The application site (“the site”) is located to the north-west of central London. The site sits on the corner plot of Rosecroft Avenue and Hollycroft Avenue; it comprises a detached building that is currently sub-divided into five flats. Most buildings are relatively consistent in age and general design; however, there are varieties in the size, massing and actual detailing of each property. Many have been substantially altered and extended in the past. The site is in the Redington/Frognaal Conservation Area.

Site description

- 2.2 No.1 is a two-storey building is constructed from red/orange brick with modest bands of white render to the corner bay windows. The roof is red clay tile with the dormers having a mix of hung tile, lead finish. The building has a corner spire that stands above a hexagonal bay. To the south, east and north elevations the corner bays are again are hexagonal, with the central entrance being a square-bay. The windows at lower levels are relatively consistent, however, the windows in the roof dormers and inconsistent. The building benefits from rather large chimneys that partly obscure the dormers. To the west roof are three dormers, two of which have been amalgamated and access a terrace.



3.0 Planning Policy

3.1 In preparing this application regard has been had to national planning policy and also local planning policy, however, we consider the following legislation is most relevant.

Camden Core Strategy

3.2 The Council's Core Strategy ("CS") forms part of the adopted development plan. The principal policies for the determination of this application are:

- Policy CS5 - Managing the impact of growth and development.
- Policy CS14 - Promoting high quality places and conserving our heritage.

Camden Development Policies

3.3 The principal policies for the determination of this application are:

- Policy DP24 - Securing high quality design.
- Policy DP25 0 Conserving Camden's heritage.
- Policy DP26 - Managing the impact of development on occupiers and neighbours.

Camden Planning Guidance 2011

3.4 In addition, when considering the former application the Council had regard to:

- CPG1 - Design.
- CPG6 - Amenity.

Conservation Area Appraisal

3.5 Redington/ Frognal Conservation Area Appraisal.

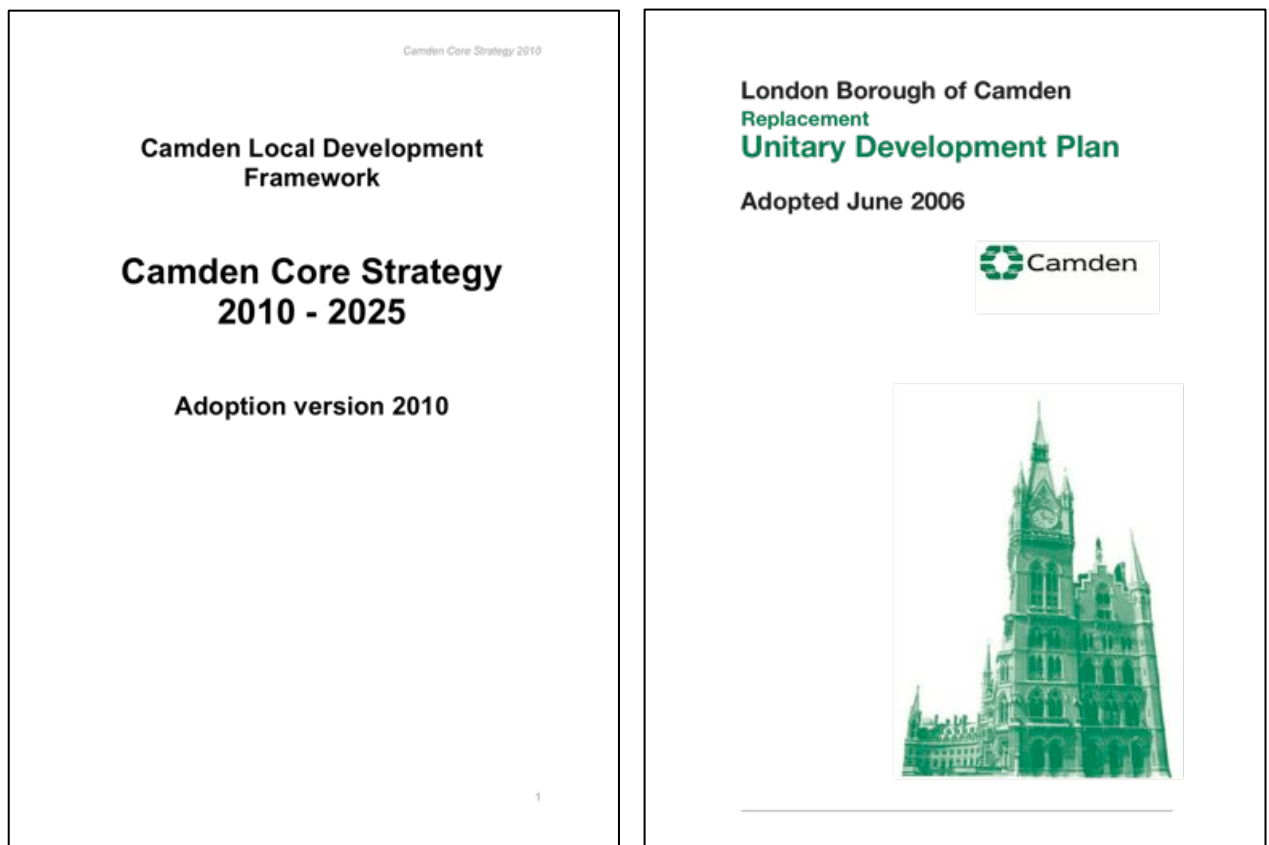


Fig.5 - The relevant Development Plan documents.

4.0 Relevant Planning and Site History

4.1 Planning history in respect of the application site is set out below.

1 Rosecroft Avenue

4.2 8703266: Formation of a means of access and vehicular hardstanding as shown on drawing no. 18183 and 1 unnumbered. Approved 1st September 1988.

4.3 8500613: Alterations to the existing attic flat by providing three new dormers and a balcony as shown on drawing No.101/1. Approved 15th May 1985.

4.4 28682: Change of use including conversion works to provide one self-contained flat in the basement. Approved 26th September 1979.

5.0 Access Considerations

Approaching horizontal building access

5.1 Pedestrian access to the site is directly from Rosecroft Avenue.

Vertical Circulation/ Disabled Use of the Building

5.2 The flat is within the roofspace, access to the upper floors is via stairs - there is no alteration achievable.

Transport

5.3 Bus - buses are easily accessible from the site with various bus routes being accessible within a short walk of the application site and connect directly with the underground and main line train stations.

5.4 Train - the site lies roughly equi-distance between Cricklewood, and Hampstead.

Car/ Cycle parking

5.5 There would be no changes in the demand for car parking as a result of what is in fact a modest alterations. Cycle parking facilities is provided on site.

6.0 Planning Considerations

Principle of Roof Level Alterations

- 6.1 Policy DP25 states the Council will only permit development within conservation areas that preserves the character and appearance of the area.
- 6.2 Policy DP24 expects development to be of the highest standard, with regard had to the site and its context, the character and proportions of the building and use high quality materials.
- 6.3 Therefore, subject to having regard to these two principle policies, the extension and alteration of the building can be acceptable in principle.

CPG1 - Design

- 6.4 The Council categorises roof alterations into two groups a) those accommodated within the existing roof form, such as dormers; and b) those that alter the overall roof form. The works the subjective of this application fall in the primary category as the main roof would be unaltered and the proposal makes modest alterations to the existing dormers and fenestration.

- 6.5 Para.5.7 sets out three scenarios where roof level alterations can be acceptable, the relevant criteria are:

- Alterations are architecturally sympathetic and retain overall integrity of the roof form;
- There are a variety of additions to the roof which create an established pattern and where further development of similar form would not cause harm.

The latter being very relevant in the case before you.

Dormers

- 6.6 Alterations to dormers should be sensitive and the changes should maintain the overall structure of the roof form, with proposals having regard to seven criteria. As the dormers are 'existing' and this application simply seeks to modify the said dormers not all criteria are applicable, however, we address each dormer in turn.

- 6.7 North Elevation: the existing dormer would be slightly extended towards the ridge of the existing roof it adjoins. It is sited to the rear of an existing chimney; however, there is a modest gap between the roof of the dormer and the adjacent roof ridge. The Applicant is proposing to bridge and link between the dormer and the roof ridge, with the front of the infill being glazed. Although modest, the works would allow a bathroom to be formed in the resultant space and thus allowing the existing family bathroom to be changed to a kitchen.



- 6.8 As the materials would be glazing, the dormer infill would not be apparent as the gable below firstly draws ones eye and the dormer is then also sited to the rear of an existing chimney, we submit that the extension would not materially change the appearance of the building.



- 6.9 East Elevation: the dormer is sited to the rear of an existing chimney, as such, the extension is not visible from public nor private vantage points. In addition, new timber windows would be fitted that would actually improve the appearance of the dormer.

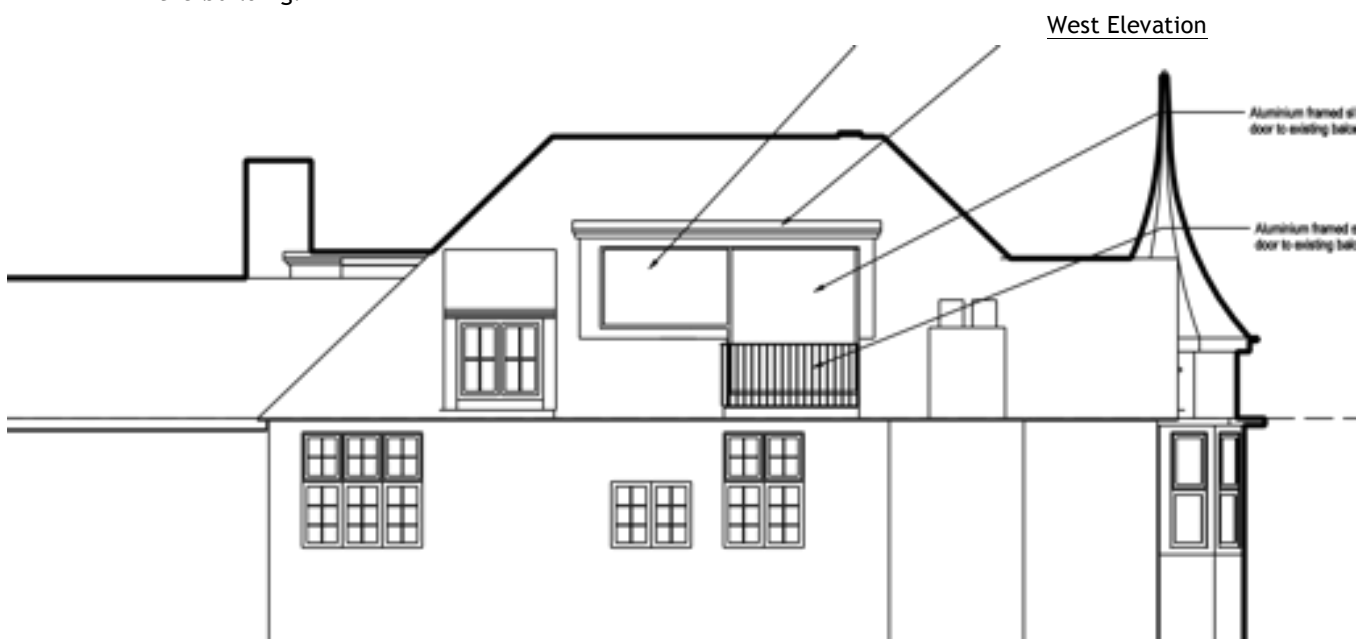
East Elevation
East Elevation



- 6.10 South Elevation: the fenestration of this dormer would be replaced by timber casement windows, which would again materially improve the appearance of the building.



- 6.11 West Elevation: this elevation benefits from three dormers, two of which have amalgamated to form a single dormer with access to a modest roof terrace. The Applicant is seeking to rebuild the dormer, however, it would be no greater in mass, height, width or depth, more simply as it is leaking it would be rebuilt from more appropriate materials. The cheeks would be lead finished and the fenestration would be replaced by sliding glazed doors. This dormer is not directly visible from the streetscene and is in any event on a secondary elevation in close association with the adjacent property fronting Hollycroft Avenue. Accordingly, we submit that the works would not be readily apparent and there would in fact be no material change in mass and the works would actually improve the appearance of the dormer and consequently the character and appearance of the building.



- 6.12 Fenestration: in addition to the works to the dormers, the Applicant is also proposing to replace the modest windows that are subsisting in the gable elevations; they would be replaced with timber framed lead detailed windows. These windows are characteristic features of adjacent properties and the use of the traditional windows would ensure the windows are consistent in No.1, again this would enhance the character and appearance of the building.

Materials

- 6.13 All materials would be a of highest standard and with the windows being bespoke made timber, the use of lead for dormer cheeks and improvements to the sustainability fo the flat via the use of modern Building Regulation compliant insulation would improve the form and function of the flat.

Amenities

- 6.14 The dormers already existing as does the existing terrace, accordingly there would be no change to overlooking nor loss of privacy as a result of the works.

7.0 Summary and Conclusions

- 7.1 The building is located in a street that comprises generally consistent aged properties, however, many have evolved considerably over the years with all the immediately adjacent buildings being quiet different.
- 7.2 This application seeks consent for the owner of Flat 5 to simply modify the existing dormers that would improve the aesthetic appearance of the building, which would consequently enhance the character and appearance of the Conservation Area.
- 7.3 The modest alterations would allow the internal layout of the flat to be substantially improved and all the form and function to flow. Currently the flat is poorly laid out and the modest dormer works would be part of the complete internal reorganisation of the space.
- 7.4 As part of the renovation works, modern insulating materials would be used to enhance the sustainability of the flat.
- 7.5 This application is an acceptable form of development for the following reasons:
- The proposal is appropriate in design terms.
 - The development enhance the character and appearance of the conservation area.
 - The proposal would not result in any undue harm or loss of amenities to neighbours.
 - The proposal accords with the requirements of the DP, Core Strategy and relevant CPGs.
- 7.6 The policy presumption is in favour of the grant of planning permission and there are no material considerations that outweigh that presumption as the development proposed would enhance the appearance of the dwelling and the contribution it makes to the streetscene, whilst also seeking to provide a better level of accommodation for future residents.

