

LEGEND

(C) Door Nos. are circular
(H) Window Nos. are hexagonal
(R) Room Nos. are rectangular

Fireplace Nos. are triangular
The room, door and window numbering system is as follows:

Blg.	Type	Floor	Fireplace	Item No.
Doors	24	D	8	01
Windows	25	W	G	02
Rooms	24	R	1	03
Fireplaces	24	F		01

Floor Codes
B - Basement
G - Ground
1 - First
2 - Second
3 - Third
4 - Roof

N.B. For information on the following items please refer to these drawings:
(00) Existing
(19) Demolition
(99) Proposed

PROPOSED WORKS TO EXTERNAL ENVELOPE DOORS AND WINDOWS

Refer to proposed elevations (99)501&502, and sections (99)601&602.

KEYS

(R) Replacement. New double glazed window/door to match existing as closely as possible.

(N) New. Double glazed window/door. A new window/door in a new opening or a new replacement of an existing inappropriate window/door with a more appropriate window/door.

(O) Original. Window/door left in place and refurbished as necessary.

D	Planning Issue	HR	24/05/13
C	Updated to Planning advice	JB	20/07/11
B	General update	YW	07/04/11
A	General update	YZ	04/03/11

REV. DESCRIPTION INITIALS DATE
Job Name
The Bedford Estates
24-25 Bloomsbury Square

Drawing Title
Proposed
Roof Plan

Status

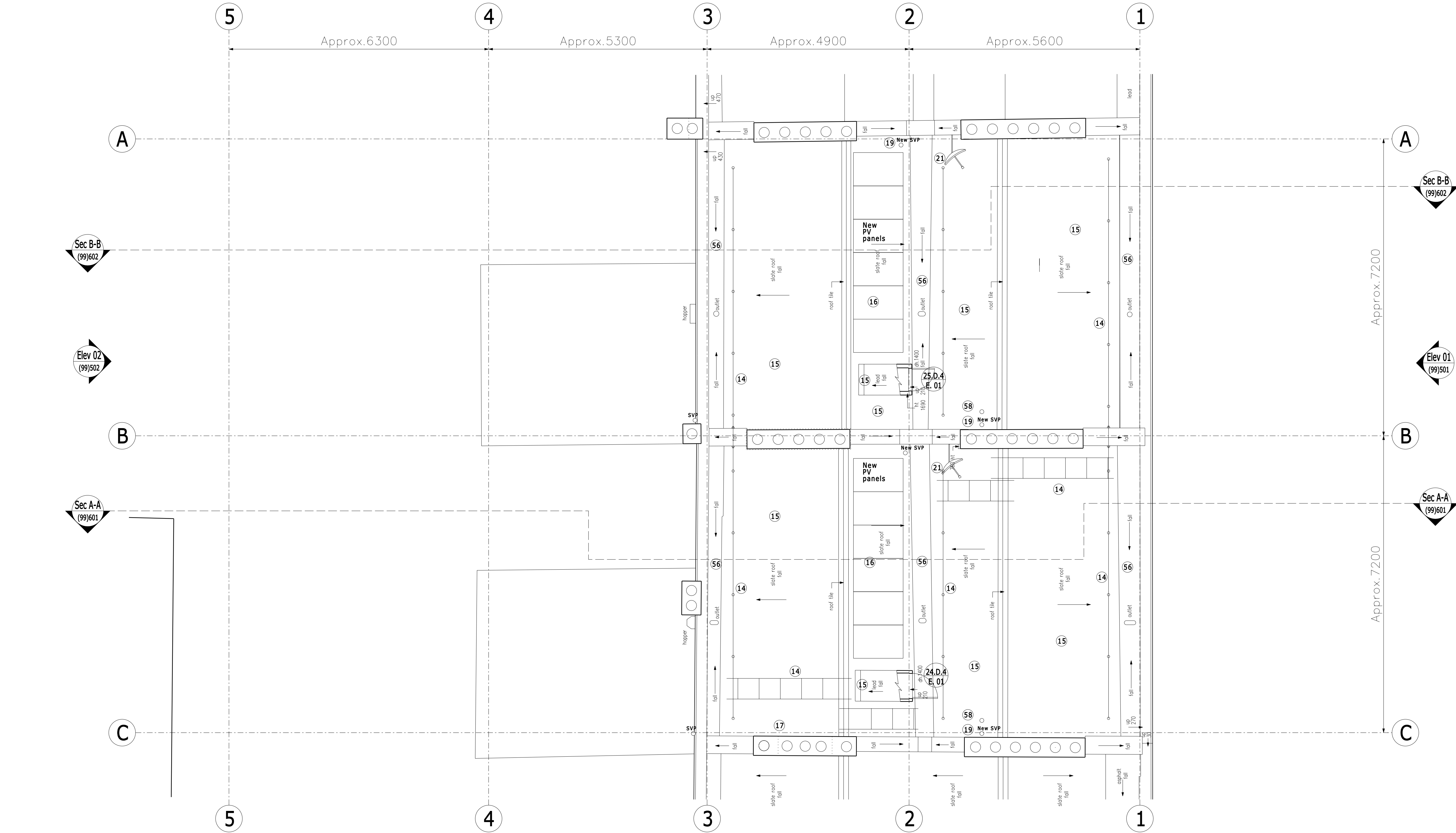
Date 29/11/2010 Sheet By DW Scale @ Size 1:50 @ A1

Job Number 3686 Code (99) Drawing Number 401 Rev D

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PROPOSED WORKS
REFER TO (19) SERIES DRAWINGS FOR EXTENT OF DEMOLITION WORKS, REFER TO (99)1000 FOR METHOD STATEMENT.
NOTE: All existing rooms to be decorated, any retained existing doors to be refurbished.

- | | | | | | |
|---|--|--|--|---|--|
| 01. Repair existing brickwork and pointing as necessary. | 12. New Rooflight & Access hatch. | 22. Refurbish existing stair and balustrade with new decoration, provide new carpet and of runner and fittings. | 31. New Plasterboard Partition. | 41. New soffit to match existing render and conceal new pipework. | 53. New brick wall and foundation to support vault above, bricks to match as close as possible existing. |
| 02. Repair and clean existing render and decorative stucco (substrate to be repaired as necessary). Repaint as existing. | 13. Existing lead Roof to be repaired and refurbished as necessary. | 23. Refurbish existing hardwood doors and upgrade to fire-rated doors where required, replace or refurbish existing door hardware where required. | 32. New Cornice on partition to be clearly distinct from original room Cornice. | 42. Repair missing railing and paint black to match existing. | 54. Stairwell capping piece. |
| 03. Refurbish existing cast iron railings, repaint black to match existing. | 14. New mansafe access system. | 24. Install new fire rated paneled door and door set to match existing doors. | 33. New service riser. New Skirting and Cornice to be provided to match existing as necessary. | 43. New coir barrier matting. | 55. New lime render to areas of newly exposed walls following demolition of existing Building. |
| 04. New galvanized steel railings painted black to match existing metalwork | 15. Existing roof to be completely renewed and renovated. Existing tiles to be reused where possible. New tiles to match existing. | 25. Take up existing floorboards for new services and leveling works to floor where required. Replace back with existing or new floorboards where required. Provide new selected carpet finish over. | 34. New service riser chased into existing wall. | 44. New basement slab. | 56. Completely renew lead flashings and gutters. |
| 05. Existing vaults to be repaired as necessary and a cavity drain membrane installed to waterproof internal walls & floor. | 16. New Photovoltaic panels. | 26. Retain & refurbish existing stone floor. | 35. New galvanized steel steps and handrail painted black to match existing metalwork. | 45. Replace existing entry phone system with new. | 57. Fire alarm panel and staircase opening vents control activator position. |
| 06. New Cavity Wall with reclaimed bricks to match as close as possible existing. | 17. Drip to be introduced to chimney stack capping to stop saturation of brickwork. | 27. Timber panelling to replace obscured Georgian wired glass. | 36. New 100mm diameter balance gas flue. | 46. New entry phone system. | 58. New bathroom ventilation duct to penetrate through roof tiles with Lead cloak and weather cowl. |
| 07. Selected Cast Stone coping. | 18. Existing metal access ladder to be removed and all disturbed surfaces to be made good. Access to be only by Estate Maintenance with proper safety equipment. | 28. New radiators/ towel rails. | 37. New airbrick colour to match existing brickwork | 47. Replace existing letter box with new. | 59. Sprayed concrete structural repair to vault. |
| 08. Existing opening bricked up, bricks to match as close as possible existing. | 19. New SVP penetration. | 29. New plasterboard ceiling under existing ceiling. | 38. New selected paving slabs. | 48. New letter box. | |
| 09. Repair & refurbish existing balcony, repaint. | 20. Existing painted cast iron drainage pipes to be retained were suitable. New painted Cast iron drainage pipes as necessary. | | 39. New Ecological improvement measures for the gardens of house No.24&25, Planting to include 25 'natural' species of plants. | 49. New remotely operated window. | |
| 10. New manhole. | 21. Satellite dish. | | 40. New green roof, Ecological improvement measures 'Wildflower Meadow' including 20 'native' species of plants. | 50. Apply selected obscure film. | |
| 11. Water butt. | | | | 51. Gravel. | |
| | | | | 52. Area to reuse stone slabs from basement level. | |