

PROPOSED REAR EXTENSION AT LOWER GROUND FLOOR LEVEL TO 66A CAVERSHAM ROAD NW5 2DS

Design and Access Statement
12 August 2013

THIS REPORT HAS BEEN PREPARED BY STITCH ON BEHALF OF THE LEASEHOLDERS OF THE
PROPERTY: BRIAN COOPER AND SALLY LEWIS.

FOR ALL QUERIES PLEASE CONTACT:

SALLY LEWIS (DIRECTOR OF STITCH)
UNIT 11 THE DOVE CENTRE
109 BARTHOLOMEW ROAD
NW5 2BJ

TEL: 0203 6178725
MOBILE: 07855328998

PLEASE DO NOT SCALE FROM THE DRAWINGS INCLUDED IN THIS DOCUMENT. SCALED
DRAWINGS WITH PHYSICAL SCALE BARS HAVE BEEN INCLUDED IN THIS APPLICATION

stitch

SUMMARY OF PROPOSED DEVELOPMENT

The existing property is a maisonette at lower and upper ground floor levels, as part of a 4 storey terraced house in the Bartholomew Estate Conservation Area, with a garden extending to 22 metres from the rear external wall of the house.

The proposal is for a rear extension at lower ground floor level, creating a new bedroom with roof terrace accessed from the upper ground floor level. The extension makes use of an area of the 'garden' that does not benefit from any direct sunlight as it is north facing. It will also address the damp problems encountered at the rear of the property.

Total additional floor area at lower ground floor level is 10 square metres.

The addition will also create a terrace at upper ground level, in the same location as the existing small landing, with stairs down to the garden level in keeping with the current condition.

The visual impact of the proposed extension is negligible when viewed from the garden, and it will not be visible from the street. The house is part of a terrace, and the lower ground floor level of the rear elevation of the terrace is not visible from Bartholomew Road to the east.

Proposed materials are entirely in keeping with the existing building, and the remaining garden space will still be very generous.

As the extension is only located at lower ground floor level, the amenity of neighbours will not be affected in terms of loss of light, overshadowing or outlook.



LOCATION PLAN



Visualisation of proposed extension as viewed from the north

EXISTING SITE PHOTOS



EXISTING VIEW FROM THE NORTH END OF THE GARDEN



Sunlight and daylight to neighbouring habitable room windows will be unaffected as they are located at least 3m away from the boundary.

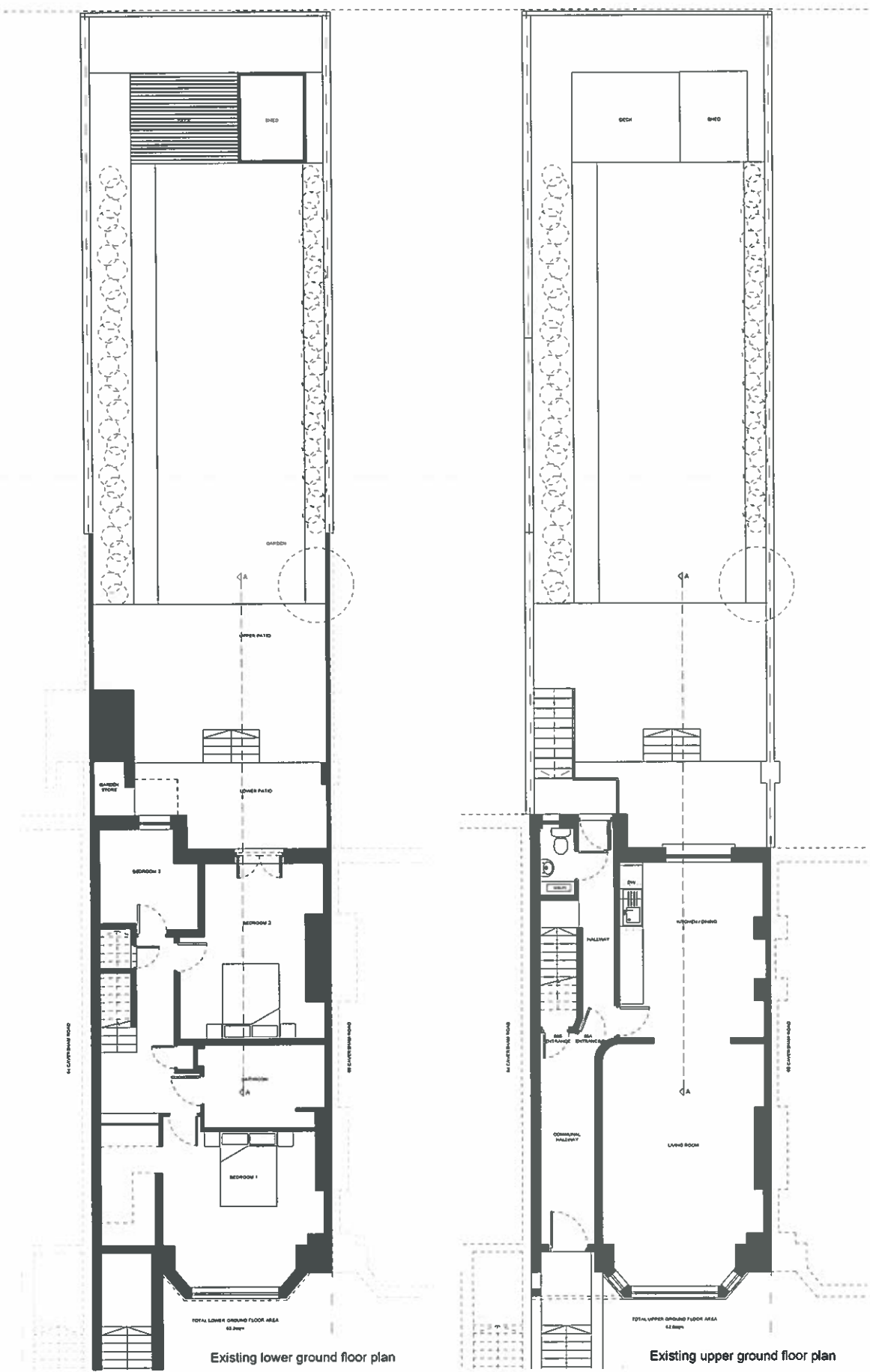


View from Bartholomew Road - the lower ground floor level of the rear of the property is not visible from the street.

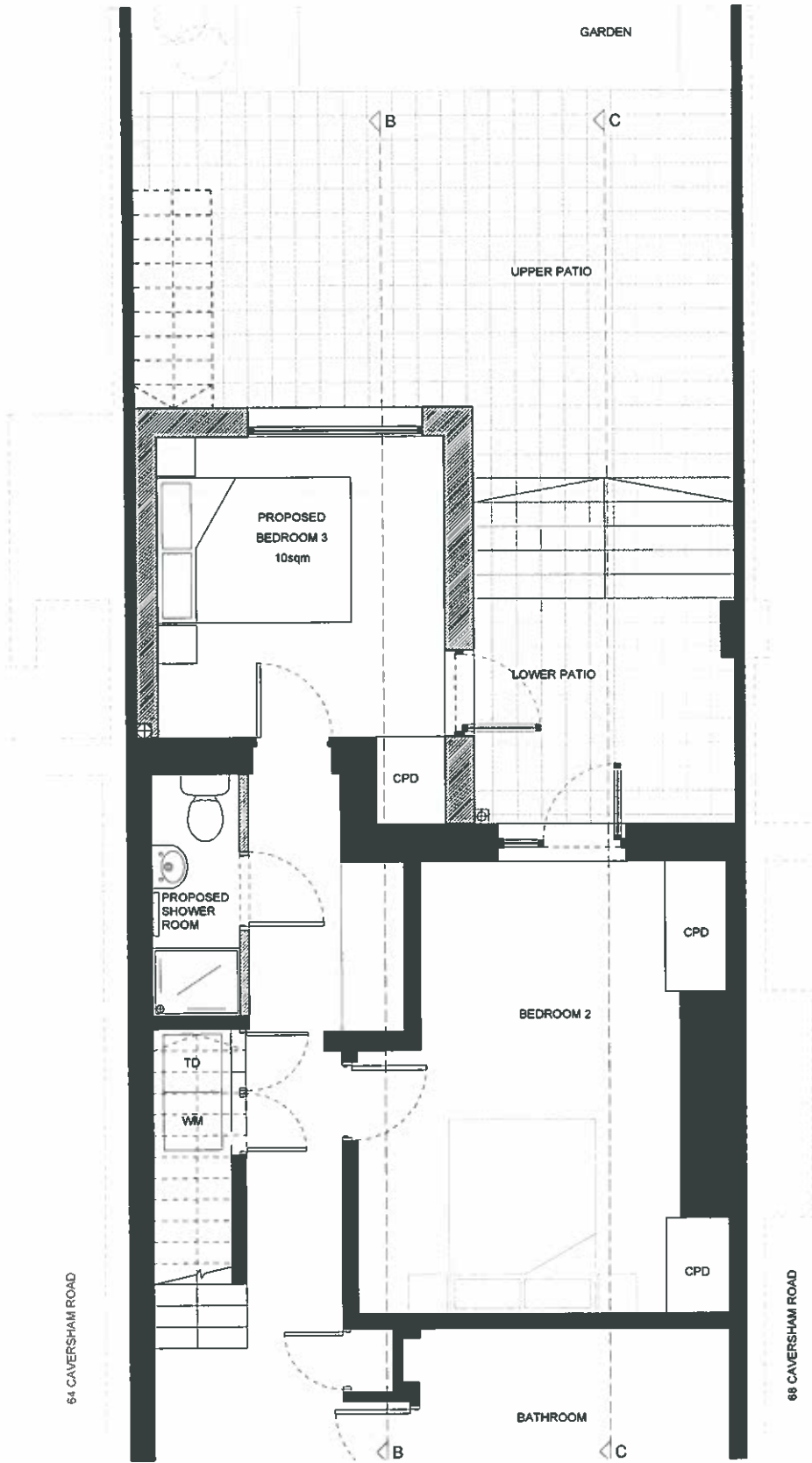


The lower ground floor area is not visible from neighbouring properties, and is generally damp due to its north-facing aspect

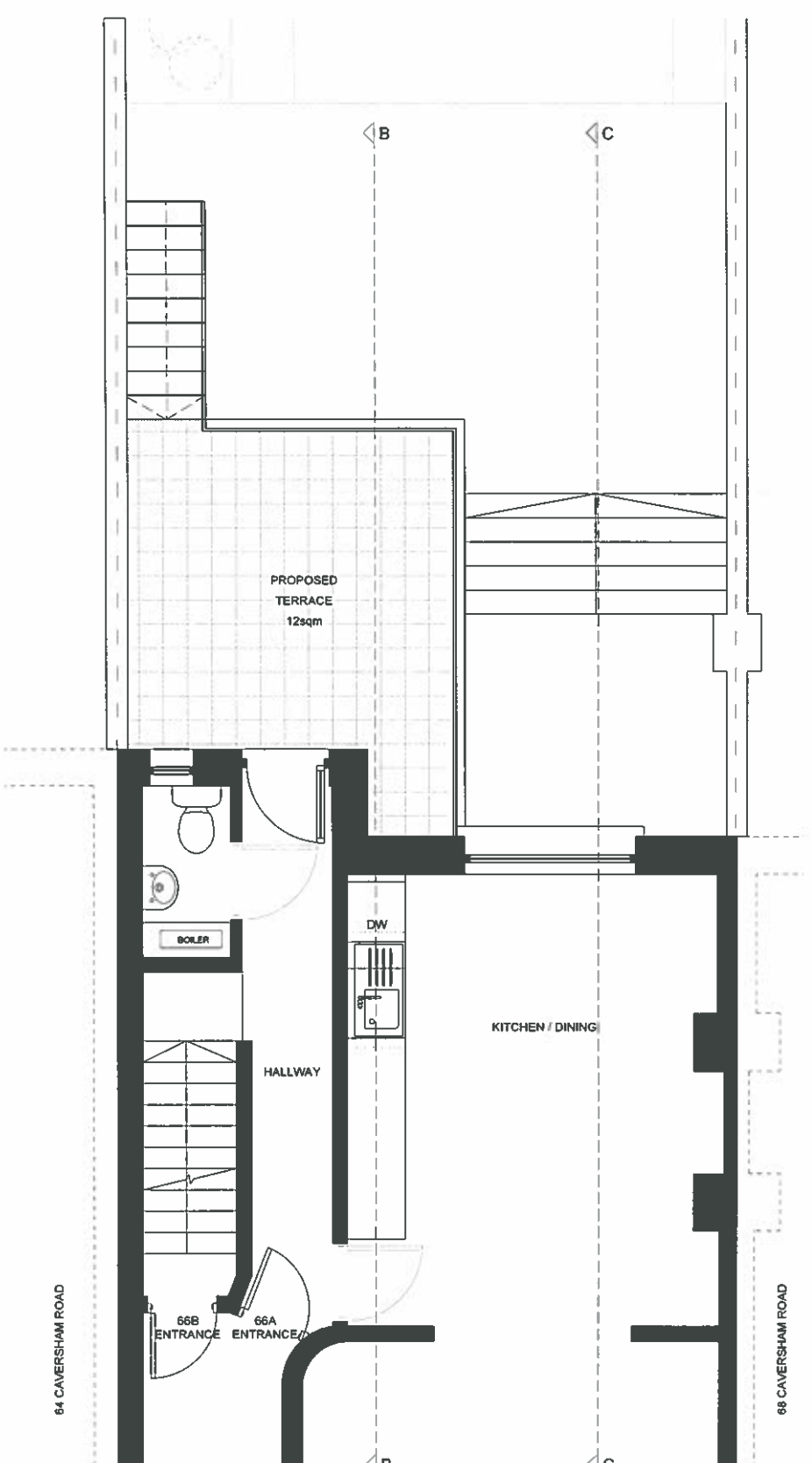
EXISTING PLANS



PROPOSED PLANS

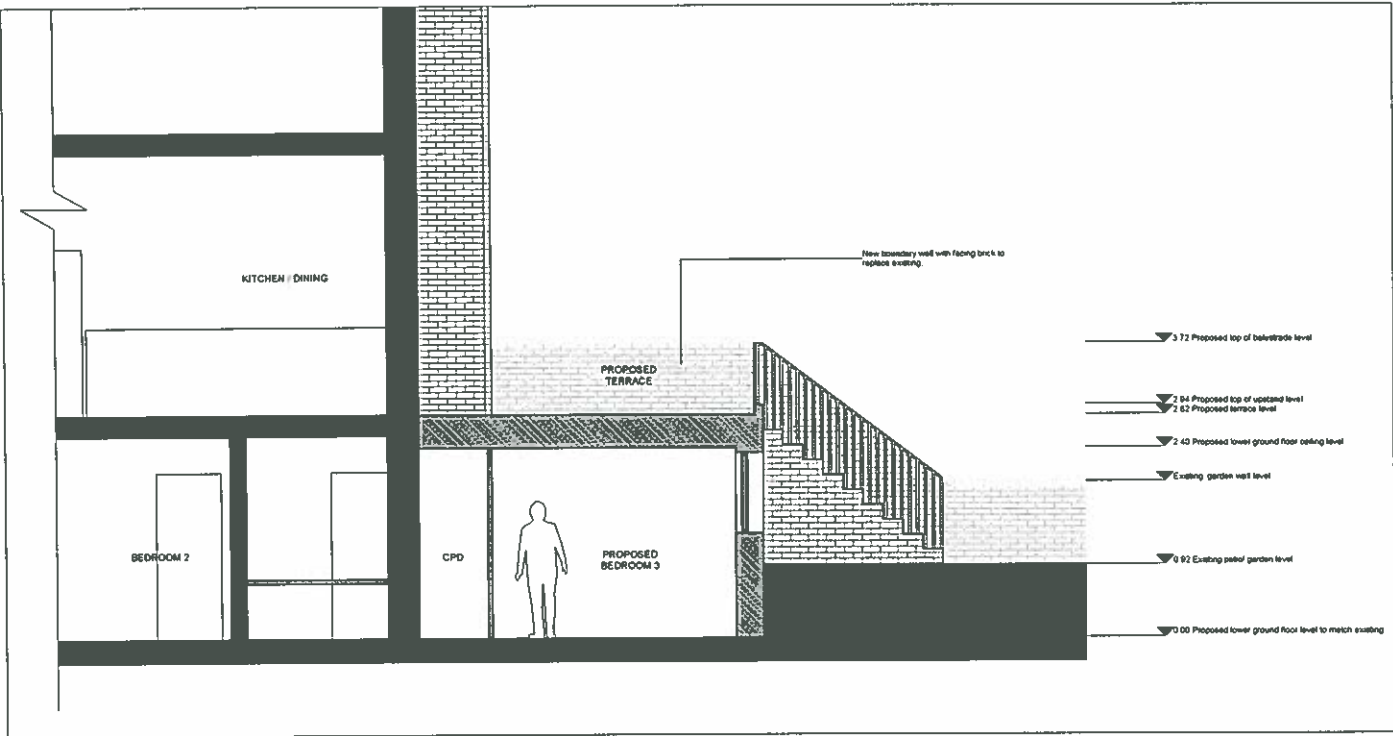


PROPOSED LOWER GROUND FLOOR PLAN

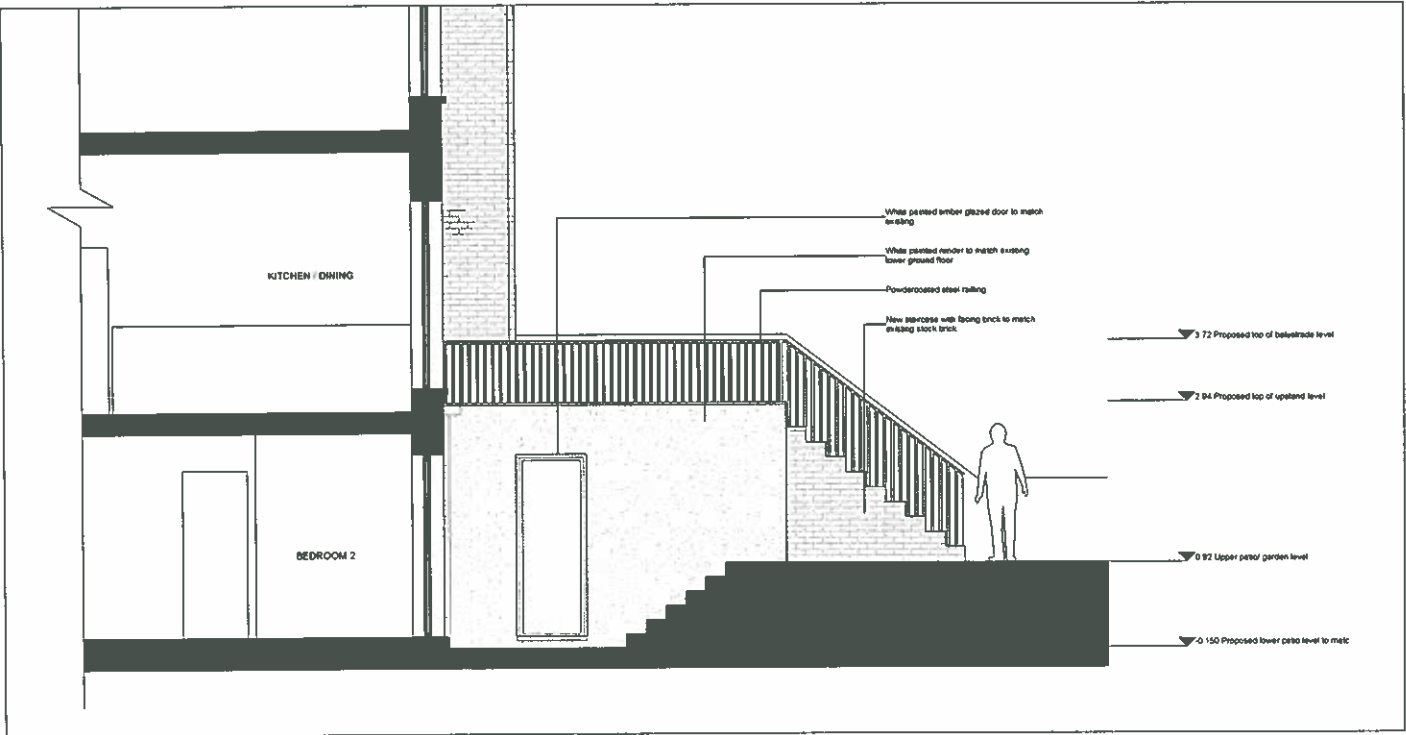


PROPOSED UPPER GROUND FLOOR PLAN

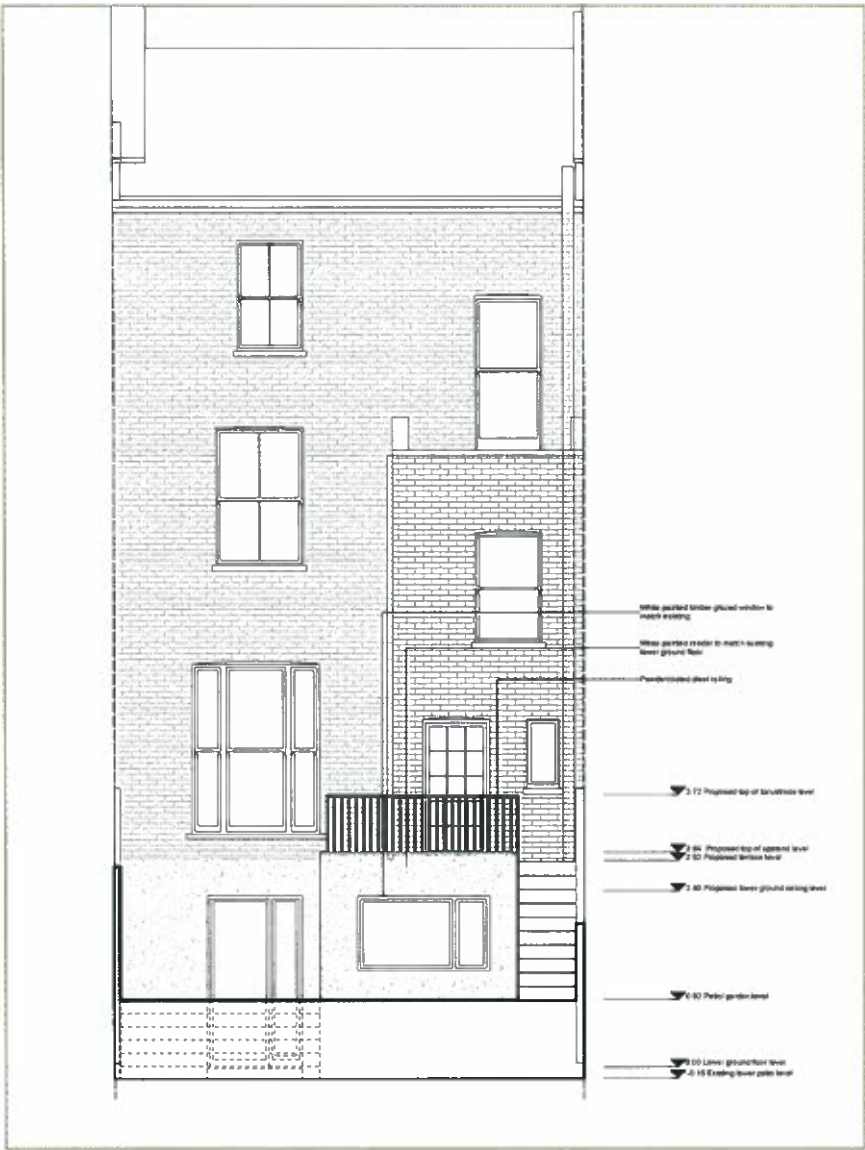
PROPOSED SECTIONS AND REAR ELEVATION



PROPOSED SECTION BB



PROPOSED SECTION CC



PROPOSED REAR ELEVATION