

30th July 2013
JL(300713)RoseJean



Paul Forbes
de Metz Forbes Knight Architects Limited
The Old Library
119 Cholmley Gardens
London
NW6 1AA

Jonathan Lonergan
E: jlonergan@savills.com
DL: +44 (0) 20 7877 4571
F: +44 (0) 20 7454 1333

25 Finsbury Circus
London EC2M 7EE
T: +44 (0) 20 7499 8644
savills.com

Dear Mr Frobes

Land to the Rear of 74 Fortune Green Road, London: Daylight and Sunlight

This practice has been instructed to assess the potential amenity impacts of the proposed redevelopment of the existing two storey commercial storage at the rear of 74 Fortune Green Road. The comments below relate to the latest dMFK Architects scheme proposals for the site comprising development of a three storey mews house to deliver a single family dwelling. In particular we have been asked to comment on the effect of the proposal upon the properties of 74 and 76 Fortune Green Road to the west of the site and across Rose Jean Mews to the east.

The daylight, sunlight and overshadowing effects of a proposal are to be assessed by reference to the criteria set out in Building Research Establishment Guidance Note 209: Site Layout Planning for Daylight and Sunlight - A Guide to Good Practice (the BRE Guidelines).

Daylight and Sunlight

The BRE guidelines consider the effect upon daylight and sunlight amenity by reference to a number of tests principally based upon the effect that a proposal will have up on the sky visibility to neighbouring windows. The targets suggest a 25 degree rule of thumb can be utilised as an assessment of the potential impact of a scheme upon neighbouring properties. The guidelines suggest that if the proposal does subtends a 25 degree angle drawn from the window face of neighbouring properties then there are unlikely to be substantial effects caused by the proposal.

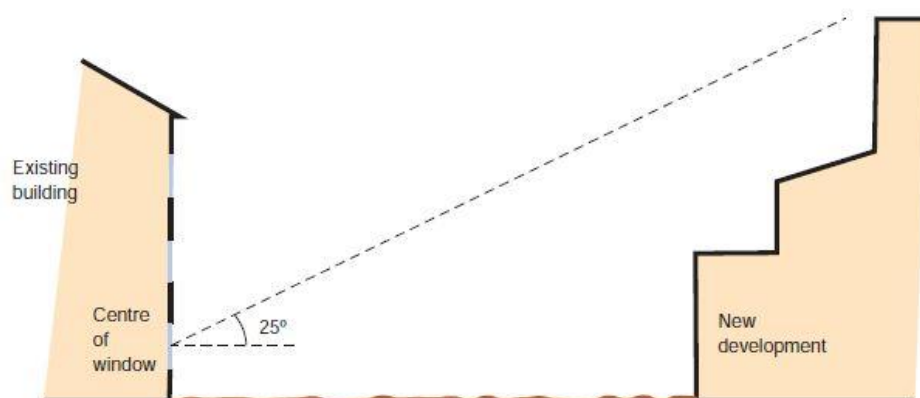


Figure 1: 25 degree rule of thumb as illustrated in the BRE guidelines

In addition to the 25 degree 'rule' the BRE guide allows the existing bulk and mass of a property currently occupying a site to be utilised as a 'baseline' to compare a scheme proposal against. Where the daylighting effect (i.e. the impact upon sky visibility to the neighbours) does not result in a more than 20% reduction in sky visibility the impact is not considered to be noticeable and is therefore fully compliant with the BRE targets.

In respect of the site which is subject to the current application we have conducted a site review and considered the full drawings prepared by the architects. A sectional study of the proposal is shown below which also illustrates the outline of the existing property on site in red:

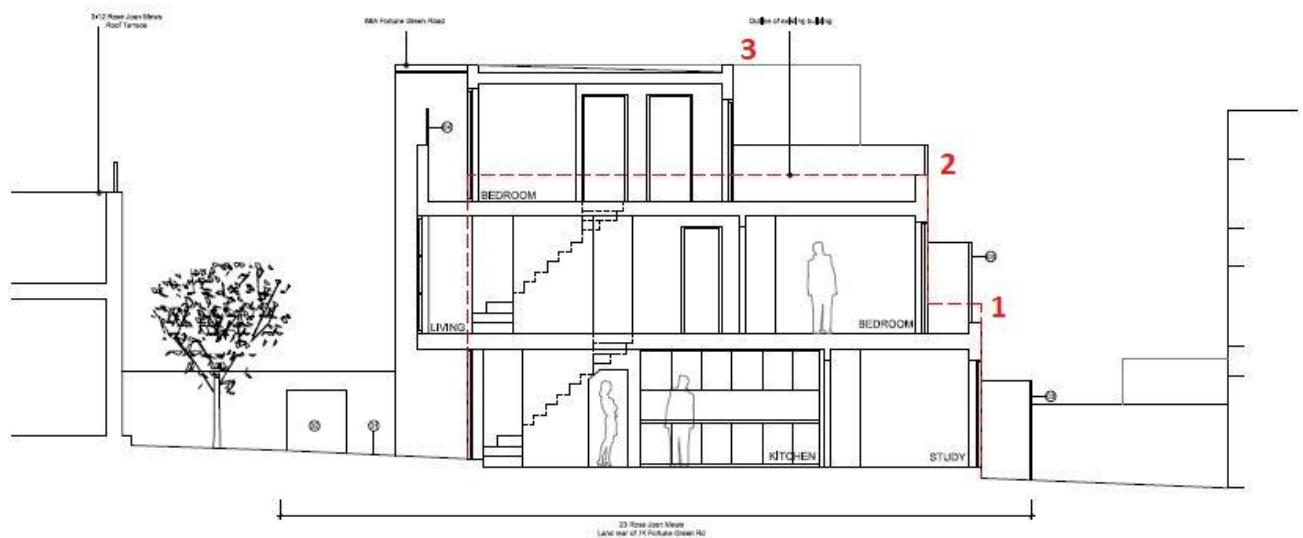


Figure 2: Section Through Proposal – Rose Jean Mews shown to left and Fortune Green Road Properties to Right

To the east (left side of the above drawing), directly across Rose Jean Mews, the flank wall of 3-12 Rose Jean Mews does not have windows facing the site and will therefore be unaffected by the proposal. To the west (right side of the above drawing) the scheme is designed such that the relationship to the rear of the Fortune Green Road properties will remain unchanged. It can be seen on the above drawing that the profile of the existing building on site is closely followed with the ground floor parapet (marked at 1) being slightly lower than the existing and first floor parapet (2) being at the same level as the existing. These levels define the sky visibility, and subsequent daylighting amenity, to the Fortune Green Road properties and therefore there will be no material change. The upper floor parapet (marked at 3) is sufficiently set back such that it will have no material daylighting effect.

Conclusions

This practice has considered the amenity effects of the dMFK Architects proposals for the Land to the Rear of 74 Fortune Green Road. In particular we have considered the impact of the rear properties along Fortune Green Road.

Sectional studies show that the scheme reacts well to the site context. In particular the scheme footprint does not alter the principal parapet lines which define the degree of sky visibility to the neighbours. This suggests that there are no material impacts in respect of daylight, sunlight and therefore no additional analysis of these impacts is required.

The scheme is therefore found to be fully compliant with the relevant planning criteria as set out in the BRE guidelines.

Yours sincerely

A handwritten signature in black ink, appearing to read "J.A. Lonergan", with a long, sweeping horizontal stroke extending to the right.

Jonathan Lonergan
Director