

3D model views looking east along Chalk Farm Road (after and before)



View 4 - as existing



View 5 - as existing



View 6 - as existing

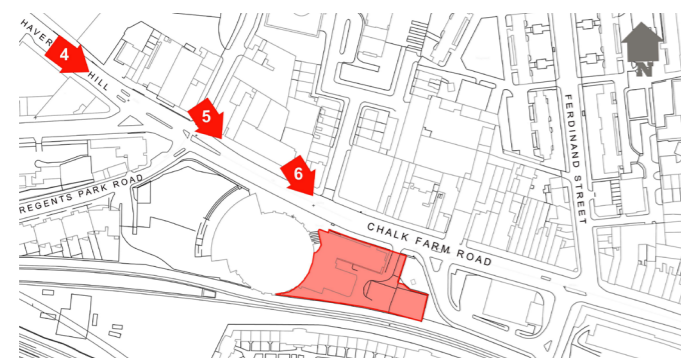
View 4 - as proposed



View 5 - as proposed



View 6 - as proposed



VIEWS KEY

### 3.00 Proposals

#### 3.05 Use & Amount

The existing site comprises 2 office buildings, built in the 70's and providing B1 accommodation (2840m<sup>2</sup> NIA) with surface and below ground car parking.

The proposal is to demolish the existing buildings, excavate the site to make it level and redevelop it for mixed use, comprising 1466 sqm (NIA) commercial accommodation and 63 x 1-3 bed mixed tenure apartments, all as shown on the schedule of accommodation (right).

The commercial space comprises a mix of uses, ensuring the new development will be visited and used by a wide variety of people, 7 days a week. The commercial space is designed to be flexible, totally accessible and to meet BREEAM Very Good standards.

The proposed residential density is 682 hrh, which falls within the GLA's appropriate density range for an urban site with excellent public transport accessibility.

Affordable housing is proposed in a mix of affordable rent (6 no) and shared ownership apartments (13 no). By area, the percentage proposed is 27 % (and by hab room, the percentage is 28.6%).

All apartments are designed to comply with the Mayor of London's SPG on Housing (November 2012), the Interim London Housing Design Guide and Camden Planning Guidance CPG 2 Housing. The development will comprise high quality housing that provides secure, well-lit accommodation with well-designed layouts and rooms, in accordance with the Key Message of Section 4 of CPG2. The majority of apartments are dual or triple aspect and the scheme layout has been developed to minimise those apartments which are single aspect.

There are 7 apartments that are single aspect (11% of the total scheme). These are all in the same, south-facing elevation which looks out onto the courtyard garden, is totally sheltered from road noise and is set back from the railway line. Studies were carried out to explore reduction of the number of apartments affected but, as is often the case with dense, urban developments, it is not possible to avoid them completely. Instead, the layout has been developed to mitigate the effects. One of these apartments is a 3 bed, located at first floor, but it is well in excess of the minimum size, has a terrace facing directly onto the courtyard garden and will be completely sheltered from railway noise by the perimeter acoustic screen. All the other single aspect apartments are 1 beds. Concerns with single aspect are (a) that apartments will have insufficient cross ventilation, but all flats in the development are designed to have MVHR (mechanical ventilation & heat recovery), which will mitigate this and (b) that apartments will get limited sunlight, but all of the above face south-west, with a reduced massing on the western side of the scheme meaning that these apartments will benefit from maximum levels of daylight and sunlight, year round as outlined in the Daylight & Sunlight Assessment.

The scheme is designed to meet all Lifetime Homes criteria and includes 10% of apartments as easily adaptable for full wheelchair use (6 no). See Access Statement below for more details. The scheme is designed to meet Code for Sustainable Homes Level 4.

The scheme is car-free as the public transport accessibility for the site is excellent. Wheelchair parking spaces will be provided on street, if required - refer to Transport Statement for details. Covered, secure cycle storage is included to exceed the Mayor's SPG on Housing with additional spaces for commercial and visitor cycles.

#### SCHEDULE OF PROPOSED ACCOMMODATION

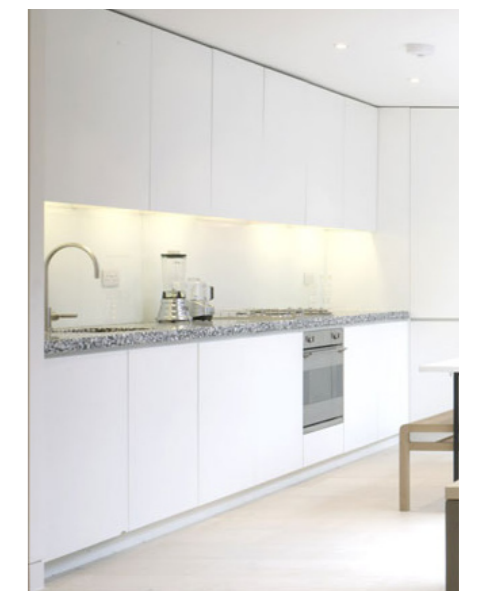
PROPOSED COMMERCIAL				PROPOSED RESIDENTIAL			
B1	OFFICE	Level 0	243				
		Level 1	286				
		Level 2	286				
		SUB TOTAL	815				
A1	SUPERMARKET	Level 0	365				
A3	RESTAURANT	Level 0	286				
<b>TOTAL</b>			<b>1466</b>	sqm			

UNIT TYPE	TOTAL PROPOSED				AFFORDABLE RENT			SHARED OWNERSHIP			PRIVATE		
	No. Units	Hab Rms	W/C	% MIX	No. Units	Hab Rms	% Mix	No. Units	Hab Rms	% Mix	No. Units	Hab Rms	% Mix
1B [2P]	10	20		10%	0	0	0%	6	12	33%	4	8	6%
2B [3P]	3	8		4%	1	3	17%	1	3	8%	1	2	1%
2B [4P]	37	111	6	58%	5	15	83%	3	9	25%	29	87	64%
3B [5P]	13	52		27%	0	0	0%	3	12	33%	10	40	29%
AREA	4805 sqm				435			874			3496		
<b>TOTAL</b>	<b>63</b>	<b>191</b>	<b>6</b>		<b>6</b>	<b>18</b>		<b>13</b>	<b>36</b>		<b>44</b>	<b>137</b>	
TENURE SPLIT (by AREA)					9%			18%			73%		
TOTAL AFFORDABLE (aff rent + shared ownership)					<b>19</b>	<b>54</b>	<b>1309</b> sqm	<b>TOTAL AFF 27% BY AREA</b>					
SITE AREA	0.28 ha												
DENSITY hrh	682												



Examples of residential balconies and interiors showing light and well-planned rooms (left: Leonard Street apartments by Alford Hall Monahan Morris, below: Oxley Wood by Rogers Stirk Harbour, Below right: Latitude House by Alford Hall Monahan Morris)



### 3.00 Proposals (continued)

#### 3.06 Appearance

The starting point for developing proposals for the appearance of the new buildings again is the Roundhouse, with its robust character and strong, circular form. The new buildings have been designed to read as rectilinear in contrast, to highlight and to enhance the listed building's unique form.

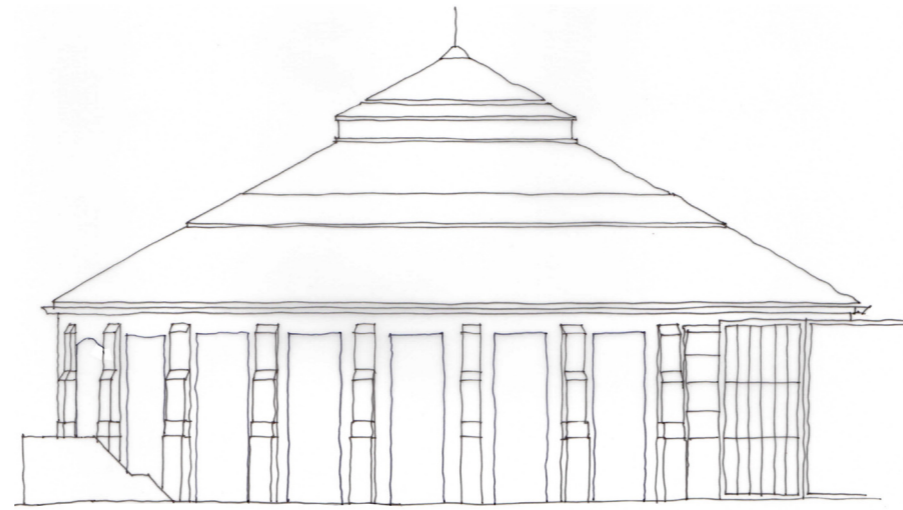
The Transition Building immediately adjoining the Roundhouse has a simple tripartite form, with the western-most section set back to tuck behind one of the buttresses and meet the landing to the top of the steps. The other two sections are placed forward and employ a 'giant order' to reflect the buttresses on the adjacent listed building. These are constructed from aluminium framing, infilled with aluminium curtain walling to give a lightness and transparency in contrast to the solidity of the Roundhouse and the brick screen of the new West Building.

The new West Building facing onto Chalk Farm Road is designed to respect and enhance the appearance of the listed building - it will be viewed in front of, beside and behind the listed building, enhancing and improving its setting. It will have regularly placed openings in the principal elevations, reminiscent of 19th century railway warehouse architecture, but smaller in scale than the Roundhouse, and generally with a horizontal orientation as a counterpoint to the listed building. The cranked section of the brick screen has inset balconies behind. The elements of the screen have generous proportions which continue down through the columns to meet the ground. These elements continue around the north and east elevations where some of the openings are infilled with windows and panels. These panels will have deep reveals (100mm, or 1/2 brick) and the resulting articulation will reveal a play of light and shade.

The East Building will be articulated as a separate building with a change of facing brick and a variation in types of opening. On the south side of the buildings, the composition of the elevations becomes less regular and includes projecting balconies, enlivening the appearance.



Precedents above:  
 Left: Greyfriars Community Project (Gareth Hoskins Architects) showing use of framing in front of curtain walling giving a light and transparent appearance  
 Right: Kingsland Wharves (TM Architects) showing use of regular grid of openings with inset balconies behind



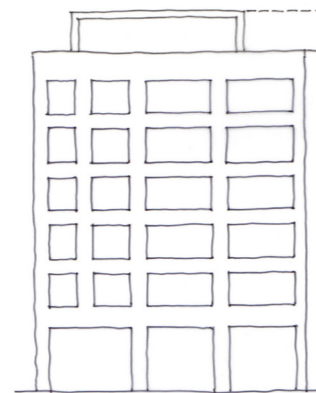
The Roundhouse, north elevation

#### Elevational studies: existing buildings

The Roundhouse (Grade II\* Listed): solid, regular, circular form incorporating giant order of buttresses  
 Extension to west side is light and transparent when viewed from front



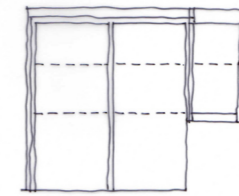
New extension to the Roundhouse



West Building, north elevation



West Building, facing the Roundhouse



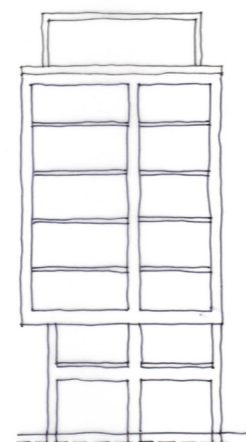
Transition Building

#### Elevational studies: proposed buildings

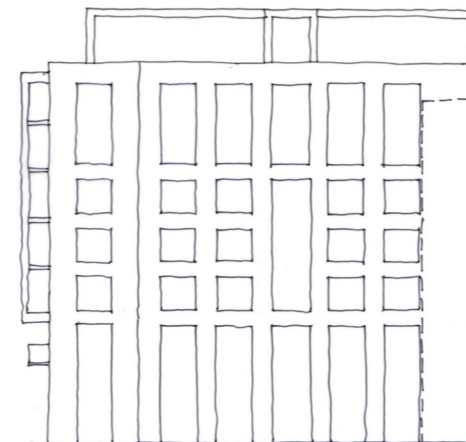
Left: Transition Building: acting as light, transparent connecting structure between solidity of listed building and new West Building. Vertical emphasis to complement the Roundhouse

Centre: West Building facing the Roundhouse: regular brick screen with openings, columns extend to meet ground and building steps in height. Horizontal emphasis as counterpoint to listed building

Far left: West Building, north elevation facing Chalk Farm Road: continuing the above but openings become windows and recessed panels at eastern end



East Building, east elevation



East Building, north elevation

Left: East Building, north elevation: regular grid of recessed panels in brickwork with windows. Vertical emphasis returns with reference to giant order

Far left: East Building, east elevation: projecting, asymmetric frame to projecting balconies; brickwork subordinate

Right: West Building, south elevation: brickwork grid has broken down to more informal arrangement and with projecting balconies



West Building: south elevation

### 3.06 Appearance (continued)

**Materials:** The Roundhouse is constructed of 2 principle materials - white Suffolk brick (gaults) and a slate roof. The front of the extension is fully glazed and the side is clad in black metal louvres. It is proposed that the new buildings will similarly utilise a limited palette of materials: facing brick and ppc aluminium for cladding, sills/copings and windows/doors.

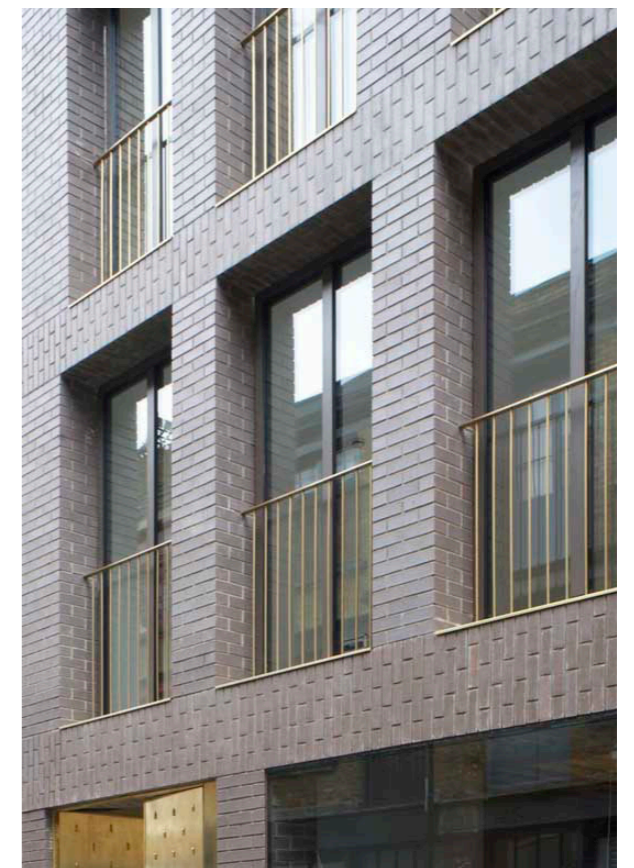
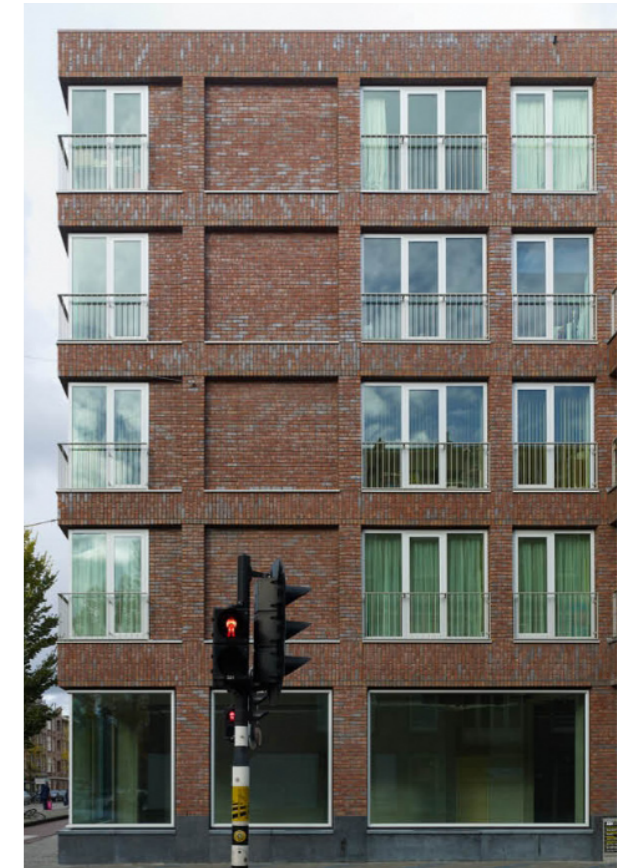
For the new buildings it is proposed to use 2 different facing bricks: traditional yellow multi London stocks for the West Building facing the street (Smeed Dean, or similar) and cream/white bricks for the East Building, the south-side elevations and those facing onto the courtyard at the rear. The former are traditional London bricks and will make reference to the many buildings that would have stood on or near to the site when it was used as a railway goods yard. They will be complementary to the gaults used on the listed building. The latter, by contrast, will read as a contemporary brick providing a bright, light but durable material in this urban setting.

A third facing brick will be used only to face the existing Roundhouse steps: these will be reclaimed gaults to match the main listed building.

As well as being punctured by regular openings and panels, the West Building's screen wall and elevations will be further articulated by the use of vertical brickwork above openings in the screen, windows and recessed panels - an allusion to traditional brick arches, but larger to emphasise the scale of the openings.

In the more contemporary brickwork, the recessed panels will be given visual interest and texture through the use of alternating projecting courses (see detailed elevation drawings).

Indicative facing bricks are shown on the right. Approval of materials will be dealt with by condition.



Precedent images, clockwise from top left:  
 Deeply-defined recessed brick panels and windows at City Lit, London (Allies & Morrison Architects);  
 Similar detail, but within more rigid grid at Galenkop Residence, Amsterdam (Wingender Hovenier Architecten);  
 Brick detailing with vertical coursing between openings at Charlotte Road, Hackney (Stephen Taylor Architects);  
 Brick detailing with flat brick arches at the Britten Archive, Aldeburgh (Stanton Williams Architects)