

Design and Access statement

8 Old Brewery Mews

Revision A

4 September 2013



Picture 1 View of proposed works area

Design statement:

Context

Old Brewery Mews is a 70's mews development of some character just off Hampstead High Street. It is in the Hampstead Conservation area but is not listed. The buildings are typically white rendered facades separated by masonry party walls and all have pitched roofs with grey concrete tiles. Windows are aluminium.

The rear of the property in question has a small garden, and there is a close collection of adjoining properties with differing levels and complex adjacencies. A site visit is recommended to get a full understanding of these.

Proposal

The owners intend to remove the existing garden store and construct a storey high extension to the rear, as indicated in the proposal plans and sections. This will be to the width of the existing side addition garage. Internal re-arrangements are proposed for the ground floor, but these will have no effect on the elevations.

Justification

The timber slatted fence shown in picture 1 was erected by the owners of the adjacent property (with permission of the owners of no 8) to give privacy to their small terrace behind.

The only material effect on adjacent properties will be to this fence, and it is proposed to lift the masonry wall to just below the height of the existing fence. The finish to the neighbour's side would be fair-faced brick, which would be painted if requested and would have the fence fixed back to the wall if requested. We do not believe this will adversely affect the neighbour's property.

It is not anticipated that there are any party wall issues as this wall appears to be part of the Old Brewery Mews demise and probably pre-existed the rear additional that are in places built against it, although it will be party in those areas where rear additions are now connected to it.

As the roof of the extension is overlooked by many neighbours, it is proposed that this is an extensive green roof, in order to give a more appealing elevation. The railings on the adjacent deck of no 8 (shown on the right hand side of picture 1) will not be altered, so there will be no access to this new roof and therefore no change to the current overlooking situation.

The side elevation to the rear addition will be in white painted brickwork, continuing the existing theme.

Access Statement:

The proposed works are all on the ground floor of the dwelling and will have no effect on the current access within the building.

END