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Camden, London
Proposal Site

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PART A

INTRODUCTION

SITE LOCATION

SITE HISTORY AND CONTEXT

PLANNING APPRAISAL

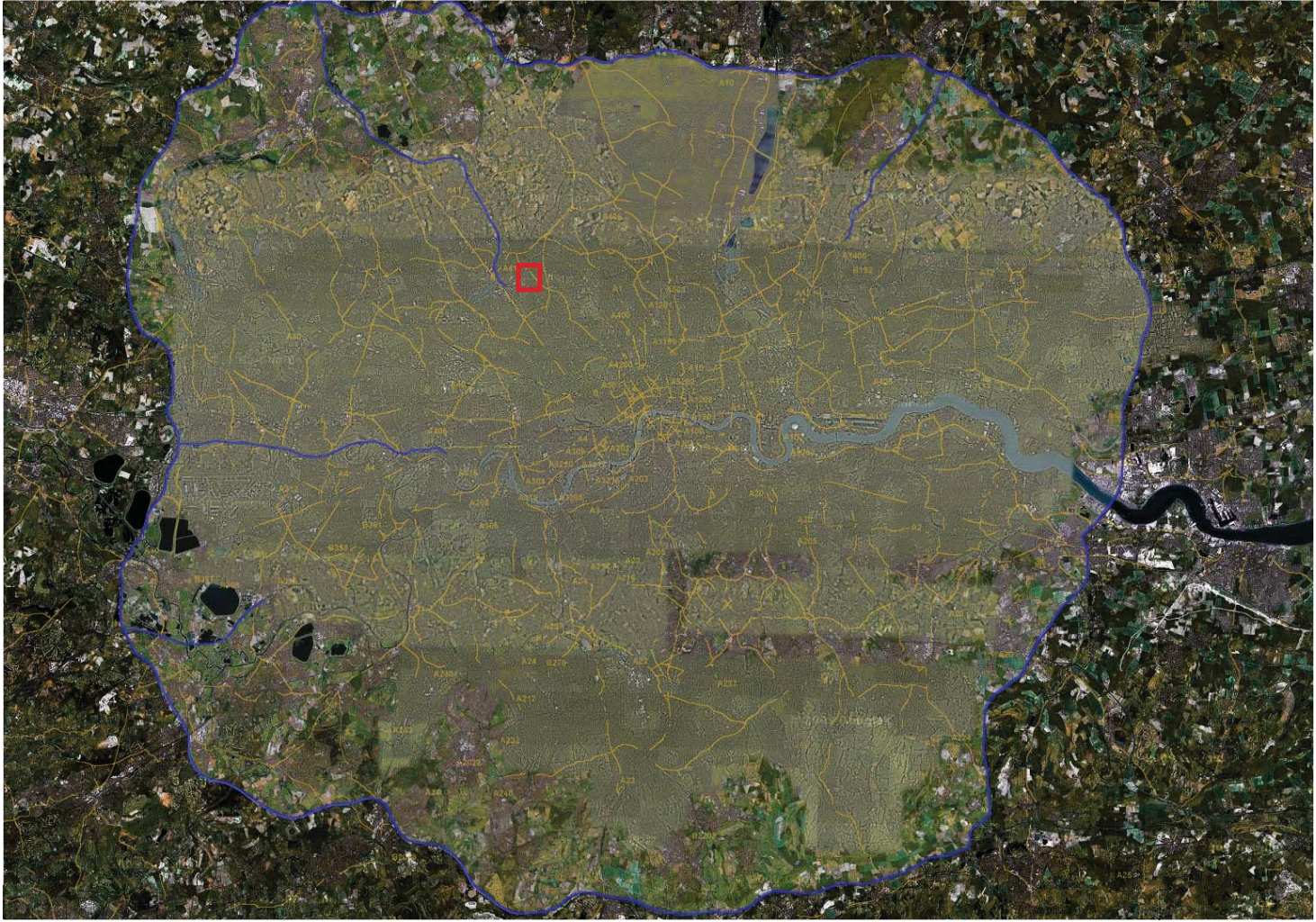
PLANNING CONTEXT

EXISTING DRAWINGS

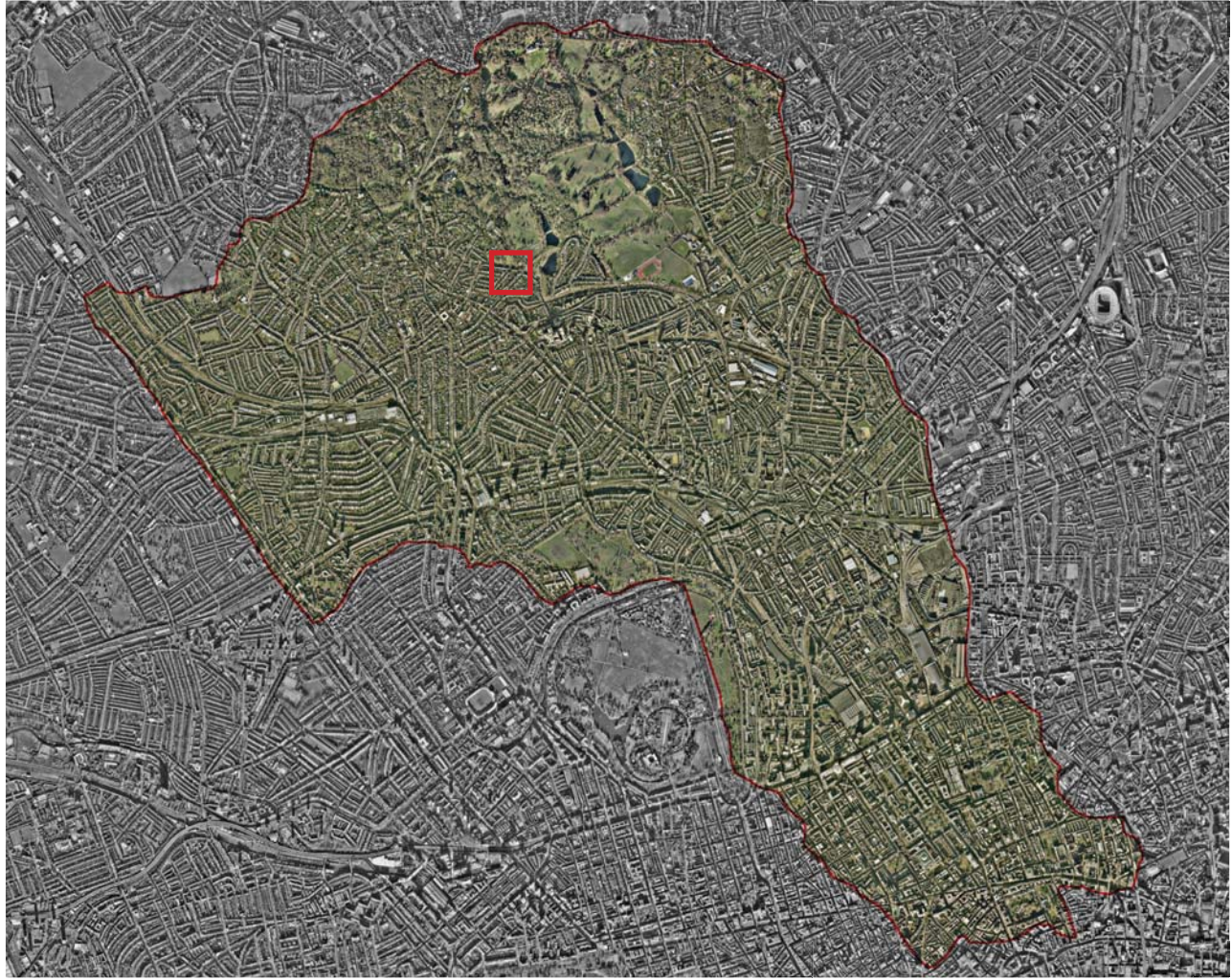
INTRODUCTION

This application seeks retrospective planning permission for the installation of two air conditioning units to the rear of 3 Firecrest Drive.

SITE LOCATION
CAMDEN. LONDON



Greater London



London Borough of Camden



Location

The site is located in Hampstead, a short distance from Hampstead Heath in a largely residential area.

3 Firecrest Drive London NW3 7ND

SITE LOCATION
PROPOSAL SITE



Site Map



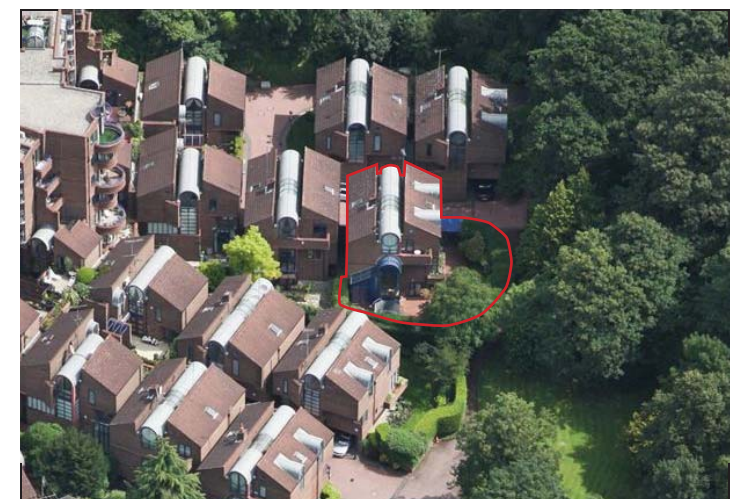
South View



North View



East View



West View

SITE HISTORY AND CONTEXT

LOCAL HISTORY

Hampstead

The Firecrest Drive estate is located to the north east of the Hampstead area and is surrounded by the Hampstead Conservation area (although not within it). The local area is known for its village like feel and character, with low rise Georgian and Victoria terraces and cottages lining narrow roads of irregular street patterns. A short distance from the estate is West Heath park, part of Hampstead Heath.

Firecrest Drive

As a private gated estate any alterations here should consider carefully the affect on neighbours and the character of the surroundings. The lack of passers by minimises those likely to be impacted by change. Currently the estate is not covered by any local planning designations (Proposals Map 2010) and it is well concealed by vegetation along its southern boundary.

The property in question is located to the end of Firecrest Drive, the final building of a series of detached houses, this is also the southern boundary of the estate. The southern boundary of the property itself is densely vegetated by both trees and bushes with no overlooking properties from this direction. To the west is the main overlooking property, of Birchwood Drive, however a large hedge (seen below) provides a good level of visual separation between the properties.



Air Conditioning units (West Elevation)



View north west (South Elevation)

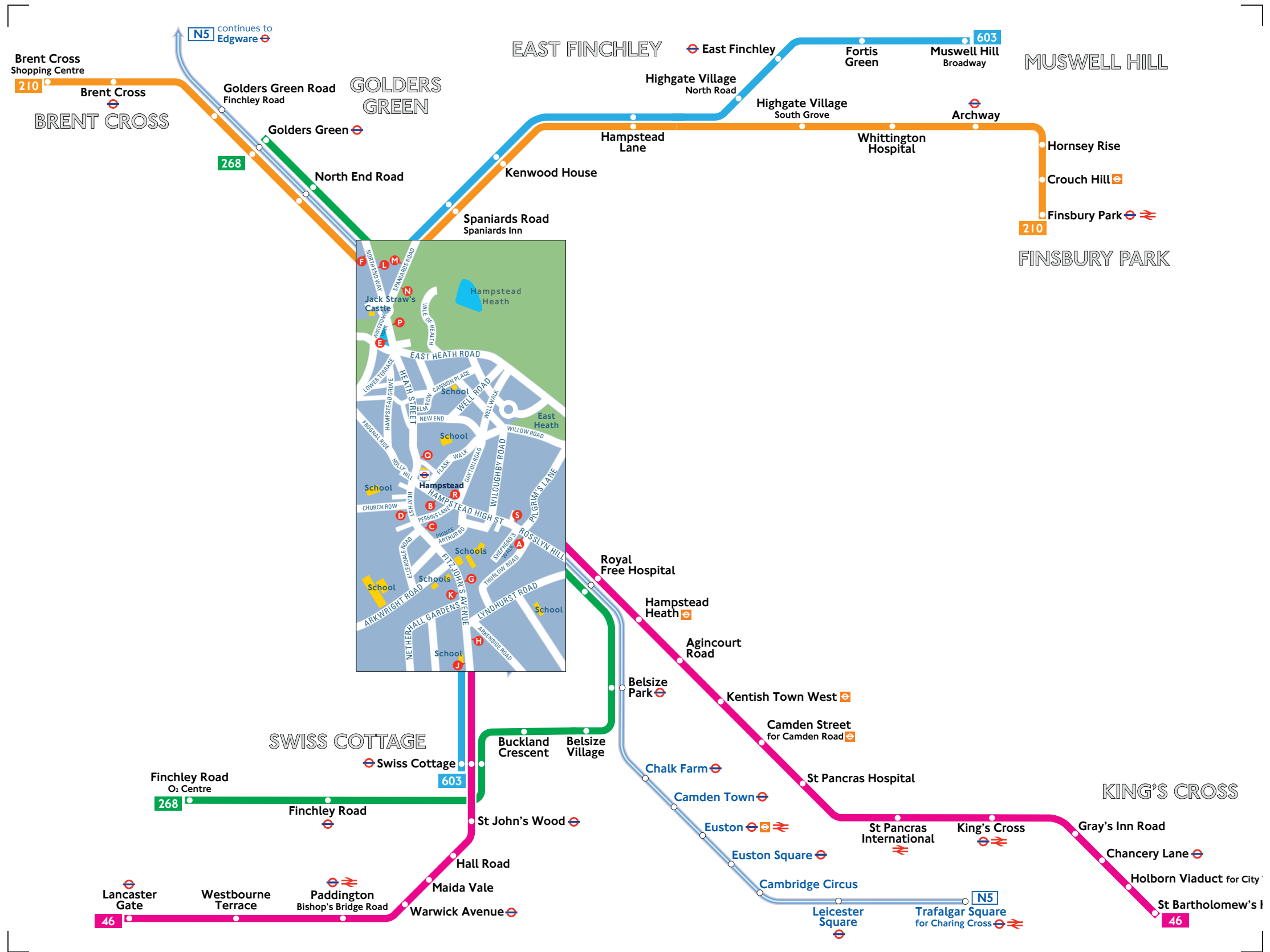


SITE HISTORY AND CONTEXT ACCESSIBILITY

The PTAL rating for the site is 2, which demonstrates the suburban nature of the area and reliance on private transport. Hampstead Underground station is located 750m to the south (9 minutes walk) and three bus routes are listed as nearby. The site is located in Travelcard Zone 2.

Local Bus Routes:

- 268 Golders Green Station
O2 Centre / Sainsburys
- 603 Princess Avenue
Swiss Cottage Station
- 210 Finsbury Park Station
Brent Cross Shopping Centre



Hackney Central Bus Route Map

PLANNING APPRAISAL PLANNING POLICY STATEMENT

This application proposal has been designed and evaluated in accordance with; National Planning Policy Framework (NPPF), the London Plan 2011 (LP), Camden Core Strategy 2010 (CS) and Camden Development Policy (DP) 2010.

Published in March 2012, the National Planning Policy Framework sets out the government's key policies with regard to town and country planning and all subsequent levels of planning policy under which the London Plan 2011 and the London Borough of Hackney LDF operate.

These policies pivot around economic, social and environmental drivers with the ultimate aim to achieve sustainable development.

The following is an overview statement, making clear the aims of this proposal and its intentions, through the three central drivers and within the bounds of the current planning hierarchy (a full list of relevant policies and comments can be found in Appendix A).

Proposal Summary:

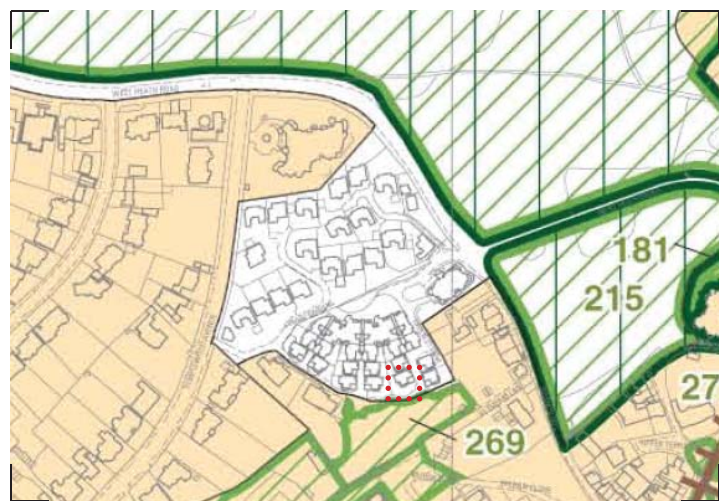
Installation of two air conditioning units for the further enjoyment of the dwelling.

Policy Statement

The installation of the air conditioning units has been considered to minimise the impact on the character and on both the host property and those around it, and to further the overall enjoyment of the dwelling in support of CS 5 and 14, as well as DP 24 and 26. The specification of the unit has taken place in the context of these policies and DP 28 to ensure it is both effective in requirement and appropriate in

the local physical context.

An acoustic report accompanies this document, detailing the acoustic and vibrations of the units to satisfy the requirements of DP 28.



Proposals Map (2010): No current designations covering the proposal site.

**PLANNING CONTEXT
RELEVANT PLANNING APPLICATIONS**



Site Map

Whilst considering the various planning policies noted above, the following application proposals have been taken into consideration setting the precedence for similar developments carried out within immediate vicinity and are noted on the above map:

2011/3375/P
Installation of 2x air conditioning units in lightwell at rear ground floor level

2A Downshire Hill London NW3 1NR
GRANTED 17th October 2011

2012/2395/P
Installation of 2 air conditioning condenser units within enclosure adjacent to south west elevation of dwelling house.

4 Birchwood Drive London NW3 7NB
GRANTED 26th June 2012

3 Firecrest Drive London NW3 7ND

2011/2113/P
Retention of an air conditioning unit are first floor roof level on west elevation with associated screening

Christ Church Primary School London NW3 1JH
GRANTED 24th August 2011

2010/3445/P
Installation of two air conditioning/heat pump units with acoustic louvres at roof level of existing residential dwelling.

4 Lakis Close London NW3 1JX
GRANTED 27th August 2010

2010/6041/P
Installation of 3 air conditioning units and acoustic enclosure to the roof of existing residential flats.

Flat 19, St Regis Heights, Firecrest Drive, London NW3 7NE
GRANTED 6th January 2011

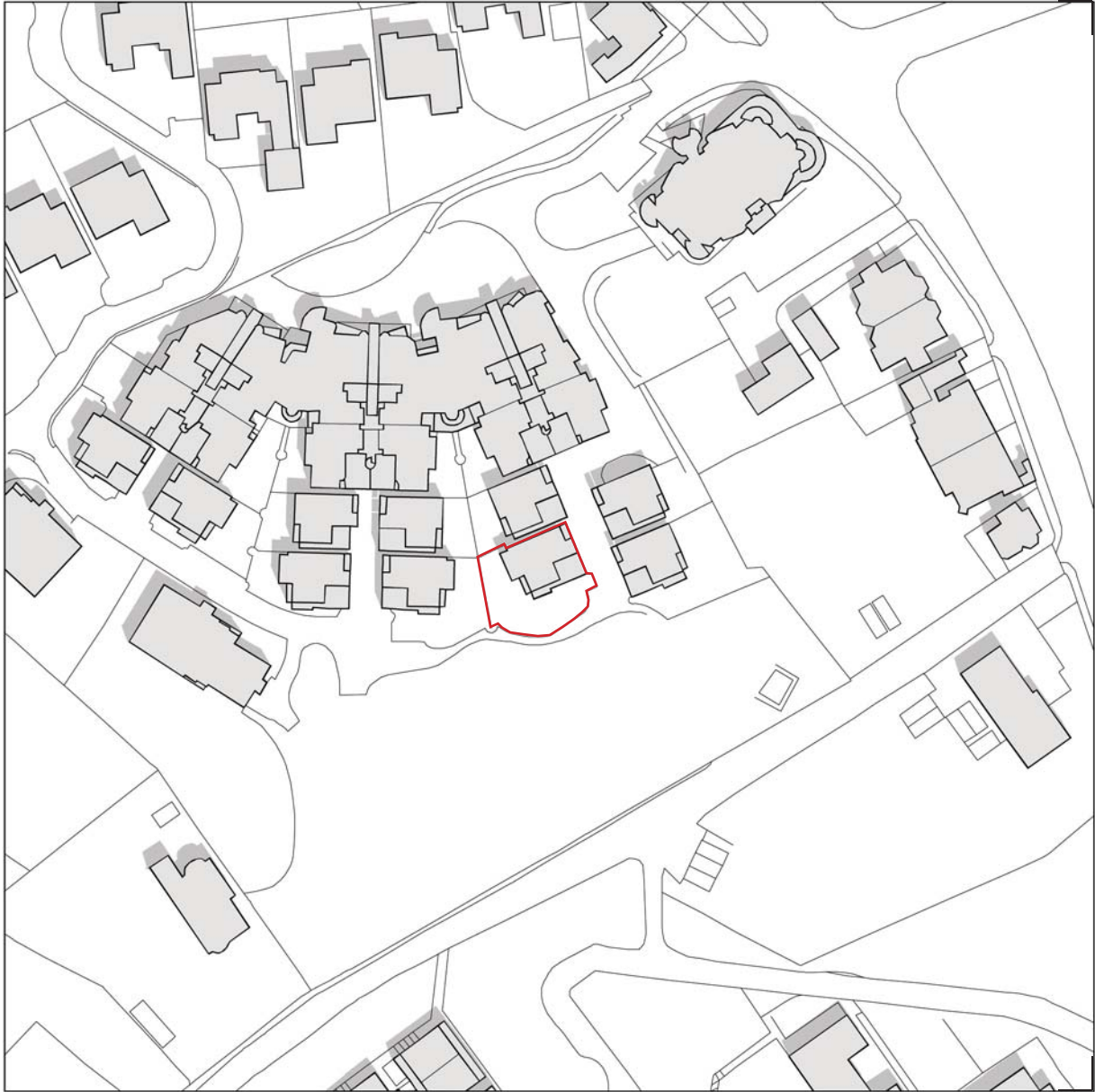
2013/0323/P
Installation of 4x air conditioning units within second floor lightwell for basement and ground floor shop.

42 Hampstead High Street London NW3 1QE
GRANTED 21st March 2013

- Proposal Site ■
- Relevant Planning Applications
- Clapham South Conservation Area



**EXISTING DRAWINGS
SITE PLAN**



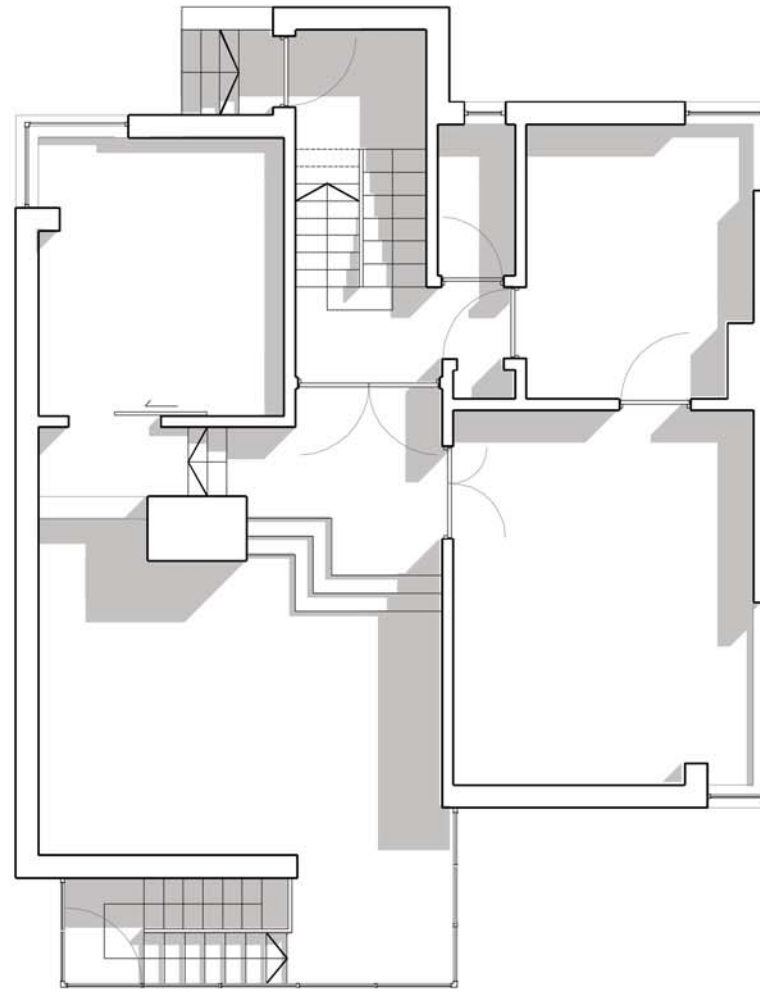
SITE LOCATION PLAN. DRAWING no. 0500. 1:1250@A3



BLOCK PLAN. DRAWING no. 500. 1:200@A3



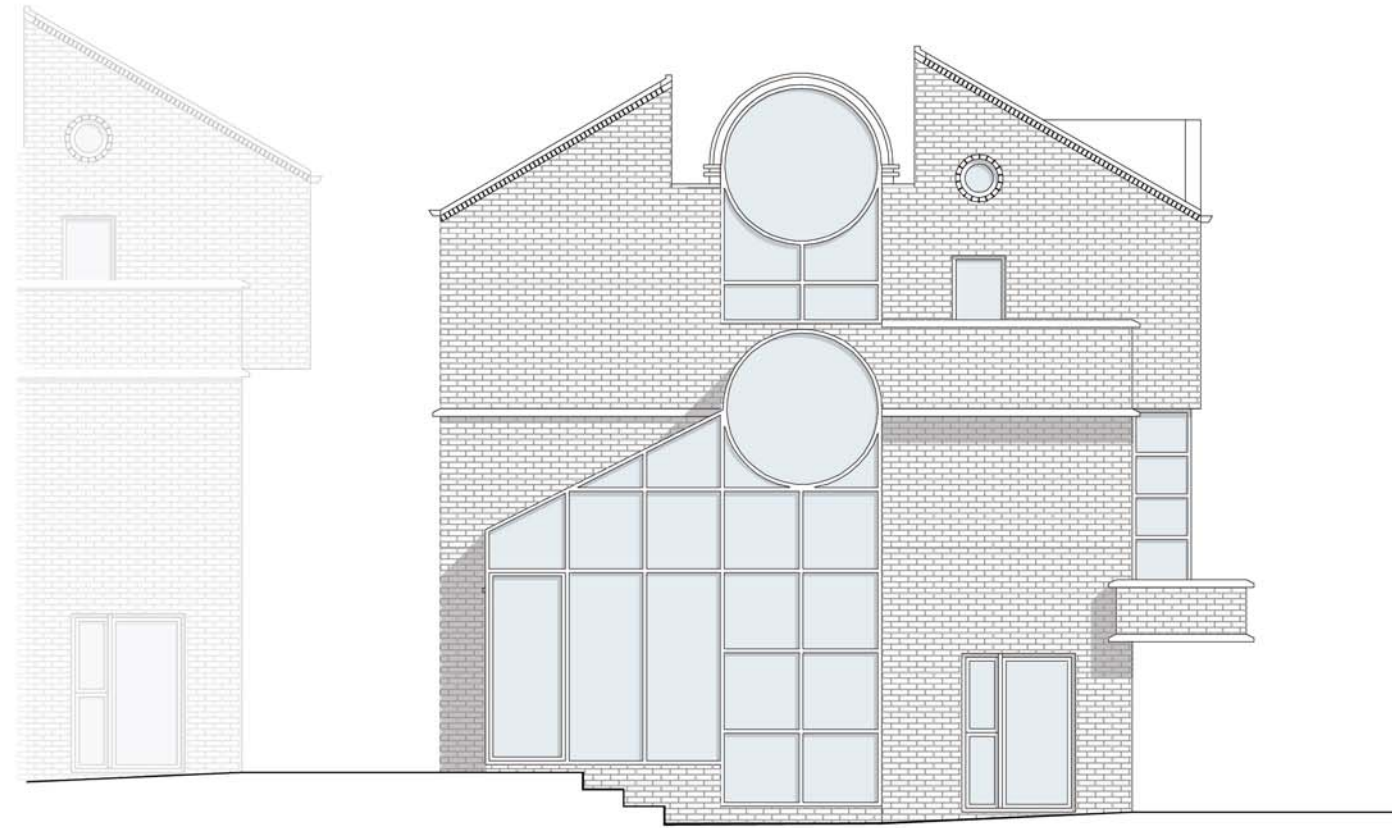
EXISTING DRAWINGS
FLOOR PLANS



GROUND FLOOR PLAN. DRAWING no. 1000 1:100@A3



EXISTING DRAWINGS
ELEVATIONS



WEST ELEVATION. DRAWING no. 1100. 1:100@A3



EXISTING DRAWINGS
ELEVATION



SOUTH ELEVATION. DRAWING no. 1101. 1:100@A3

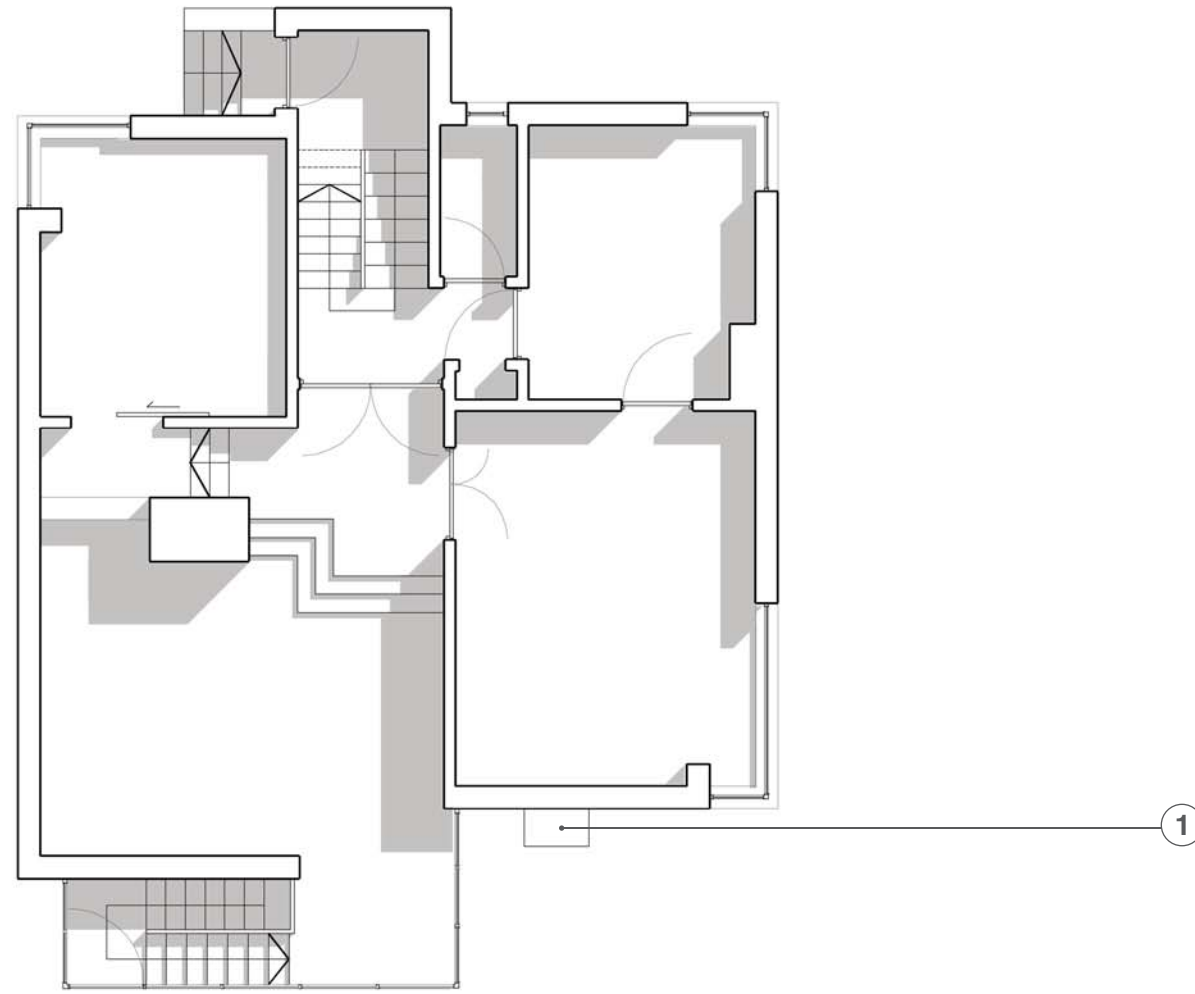
PROPOSED DRAWINGS
SITE PLANS



- Residential Entrance 
- Private Vehicular Route 

BLOCK AND ACCESS PLAN. DRAWING no. 1998. 1:500@A3

PROPOSED DRAWINGS: SINGLE FLAT OPTION
FLOOR PLANS

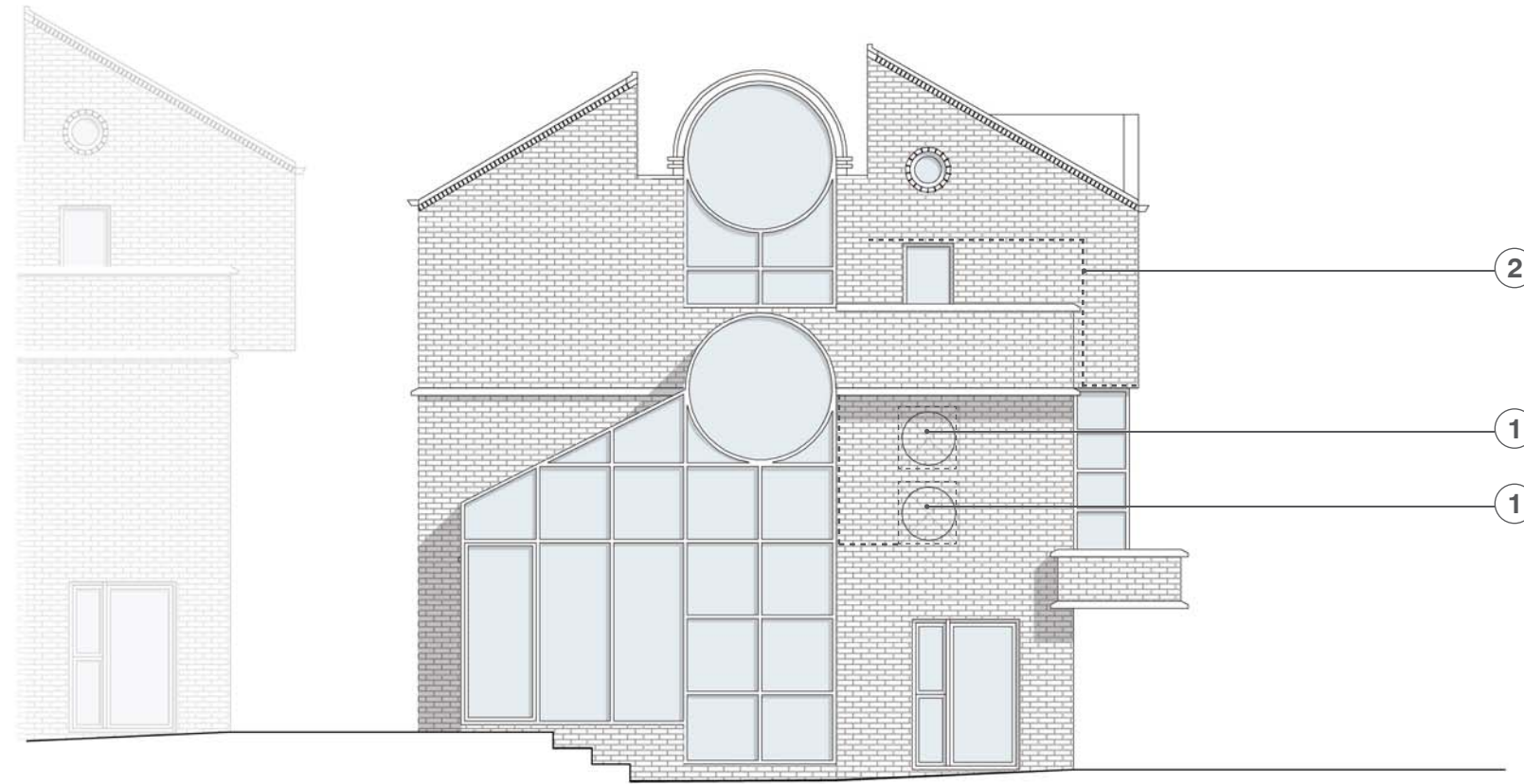


GROUND FLOOR PLAN. DRAWING no. 2000 1:100@A3

1. Air Conditioning Units



**PROPOSED DRAWINGS: SINGLE FLAT OPTION
ELEVATIONS**



- 1. Air Conditioning Units
- 2. Ducting



FRONT FACADE. DRAWING no. 2100. 1:100@A3

3 Firecrest Drive London NW3 7ND

**PROPOSED DRAWINGS: SINGLE FLAT OPTION
ELEVATIONS**



- 1. Air Conditioning Units
- 2. Ducting



SIDE FACADE. DRAWING no. 2101. 1:100@A3

3 Firecrest Drive London NW3 7ND

PART C

APPENDIX A

APPENDIX A PLANNING POLICY APPRAISAL | CORE STRATEGY

CAMDEN CORE STRATEGY 2010

CS5 – Managing the impact of growth and development

The Council will manage the impact of growth and development in Camden. We will ensure that development meets the full range of objectives of the Core Strategy and other Local Development Framework documents, with particular consideration given to:

- a) providing uses that meet the needs of Camden's population and contribute to the borough's London-wide role;
- b) providing the infrastructure and facilities needed to support Camden's population and those who work in and visit the borough;
- c) providing sustainable buildings and spaces of the highest quality; and
- d) protecting and enhancing our environment and heritage and the amenity and quality of life of local communities. The Council will protect the amenity of Camden's residents and those working in and visiting the borough by:
- e) making sure that the impact of developments on their occupiers and neighbours is fully considered;
- f) seeking to ensure development contributes towards strong and successful communities by balancing the needs of development with the needs and characteristics of local areas and communities; and
- f) requiring mitigation measures where necessary.

CS14 – Promoting high quality places and conserving our heritage

The Council will ensure that Camden's places and buildings are attractive, safe and easy to use by:

- a) requiring development of the highest standard of design that respects local context and character;
- b) preserving and enhancing Camden's rich and diverse heritage assets and their settings, including conservation areas, listed buildings, archaeological remains, scheduled ancient monuments and historic parks and gardens;
- c) promoting high quality landscaping and works to streets and public spaces;
- d) seeking the highest standards of access in all buildings and places and requiring schemes to be designed to be inclusive and accessible;
- e) protecting important views of St Paul's Cathedral and the Palace of Westminster from sites inside and outside the borough and protecting important local views.

The air conditioning units are required to further the enjoyment of the property, particularly during the

summer months. Their positioning on the south west wall is considered to be the least intrusive location for those surrounding properties and neighbours, as several elements of the building itself, the orientation and large garden hedge all work to minimise any potential for visual or acoustic disturbance.

APPENDIX A PLANNING POLICY APPRAISAL | DEVELOPMENT POLICIES

CAMDEN DEVELOPMENT POLICIES 2010

DP24 – Securing high quality design

The Council will require all developments, including alterations and extensions to existing buildings, to be of the highest standard of design and will expect developments to consider:

- a) character, setting, context and the form and scale of neighbouring buildings;
- b) the character and proportions of the existing building, where alterations and extensions are proposed;
- c) the quality of materials to be used;
- d) the provision of visually interesting frontages at street level;
- e) the appropriate location for building services equipment;
- f) existing natural features, such as topography and trees;
- g) the provision of appropriate hard and soft landscaping including boundary treatments;
- h) the provision of appropriate amenity space; and
- i) accessibility.

DP26 – Managing the impact of development on occupiers and neighbours

The Council will protect the quality of life of occupiers and neighbours by only granting permission for development that does not cause harm to amenity. The factors we will consider include:

- a) visual privacy and overlooking;
- b) overshadowing and outlook;
- c) sunlight, daylight and artificial light levels;
- d) noise and vibration levels;
- e) odour, fumes and dust;
- f) microclimate;
- g) the inclusion of appropriate attenuation measures. We will also require developments to provide:
- h) an acceptable standard of accommodation in terms of internal arrangements, dwelling and room sizes and amenity space;
- i) facilities for the storage, recycling and disposal of waste;
- j) facilities for bicycle storage; and
- k) outdoor space for private or communal amenity space, wherever practical.

DP28 – Noise and vibration

The Council will seek to ensure that noise and vibration is controlled and managed and will not grant planning permission for:

- a) development likely to generate noise pollution; or
- b) development sensitive to noise in locations with noise pollution, unless appropriate attenuation measures are provided. Development that exceeds Camden's Noise and Vibration Thresholds will not be permitted. The Council will only grant permission for plant or machinery if it can be operated without cause harm to amenity and does not exceed our noise thresholds. The Council will seek to minimise the impact on local amenity from the demolition and construction phases of development. Where these phases are likely to cause harm, conditions and planning obligations may be used to minimise the impact.

The air conditioning units have been positioned to minimise their visual and acoustic impact to the surrounding properties. Located to the rear, shielded to one side by the rear glazed element and above by a balcony, a large garden hedge lining the perimeter of the property also further conceals the units (the full specifications documents can be seen in the appendix).