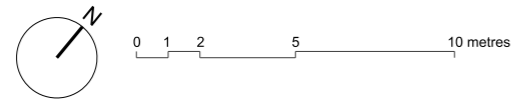
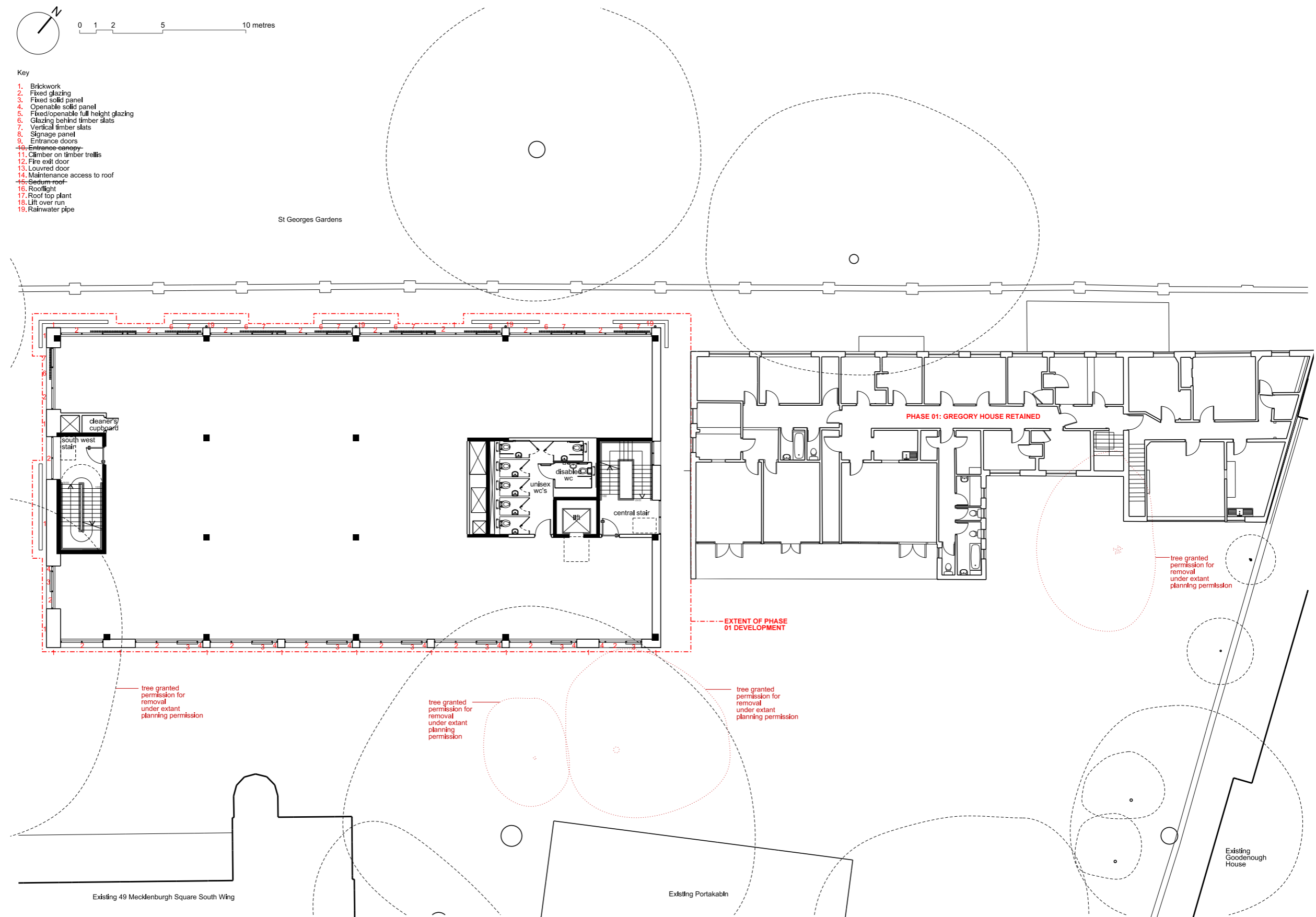


4.0 LAYOUT

Proposed First Floor Plan

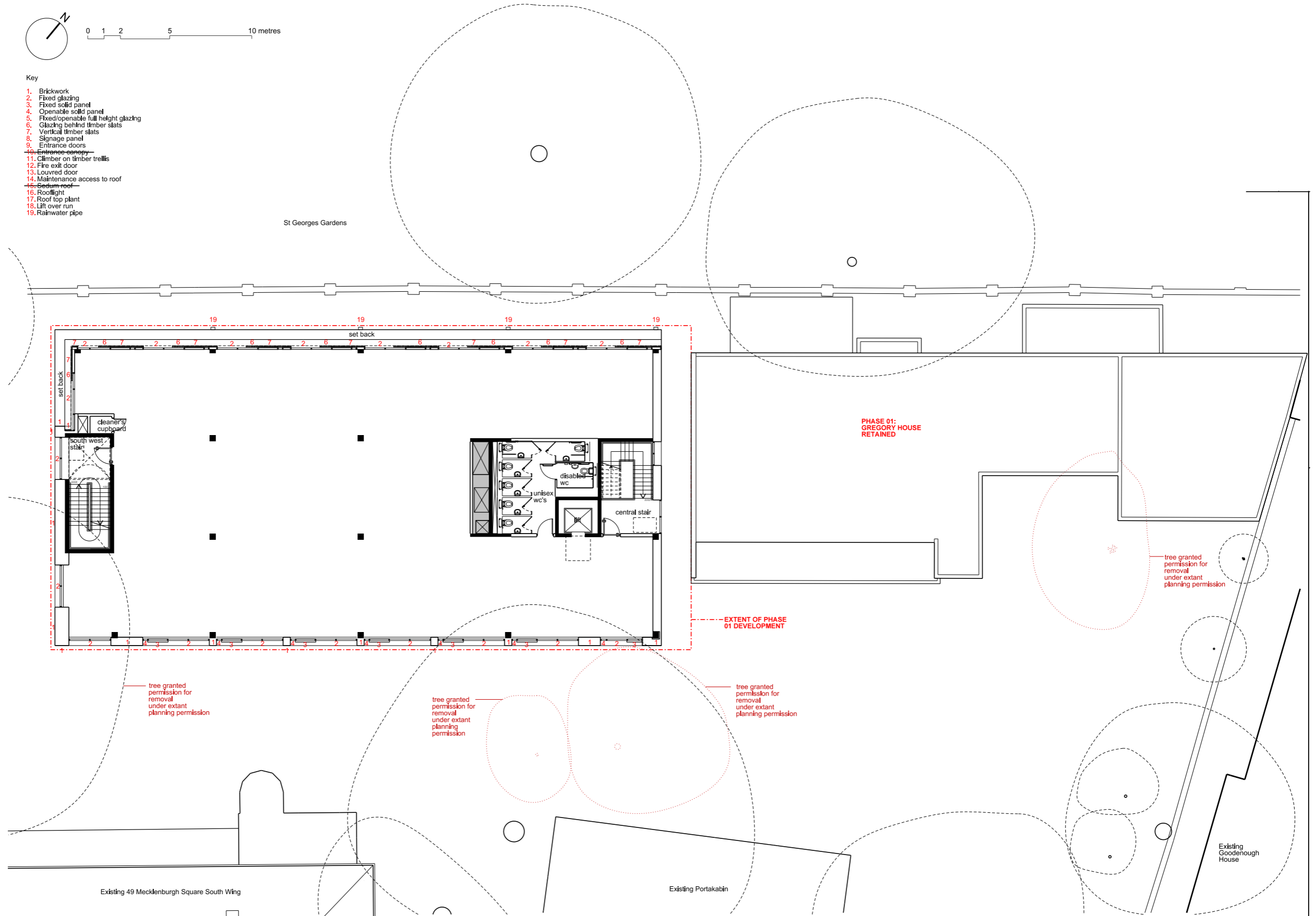


- Key
1. Brickwork
 2. Fixed glazing
 3. Fixed solid panel
 4. Openable solid panel
 5. Fixed/openable full height glazing
 6. Glazing behind timber slats
 7. Vertical timber slats
 8. Signage panel
 9. Entrance doors
 10. Entrance canopy
 11. Climber on timber trellis
 12. Fire exit door
 13. Louvred door
 14. Maintenance access to roof
 15. Sedum roof
 16. Rooflight
 17. Roof top plant
 18. Lift over run
 19. Rainwater pipe



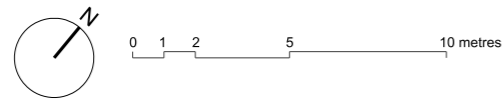
4.0 LAYOUT

Proposed Second Floor Plan

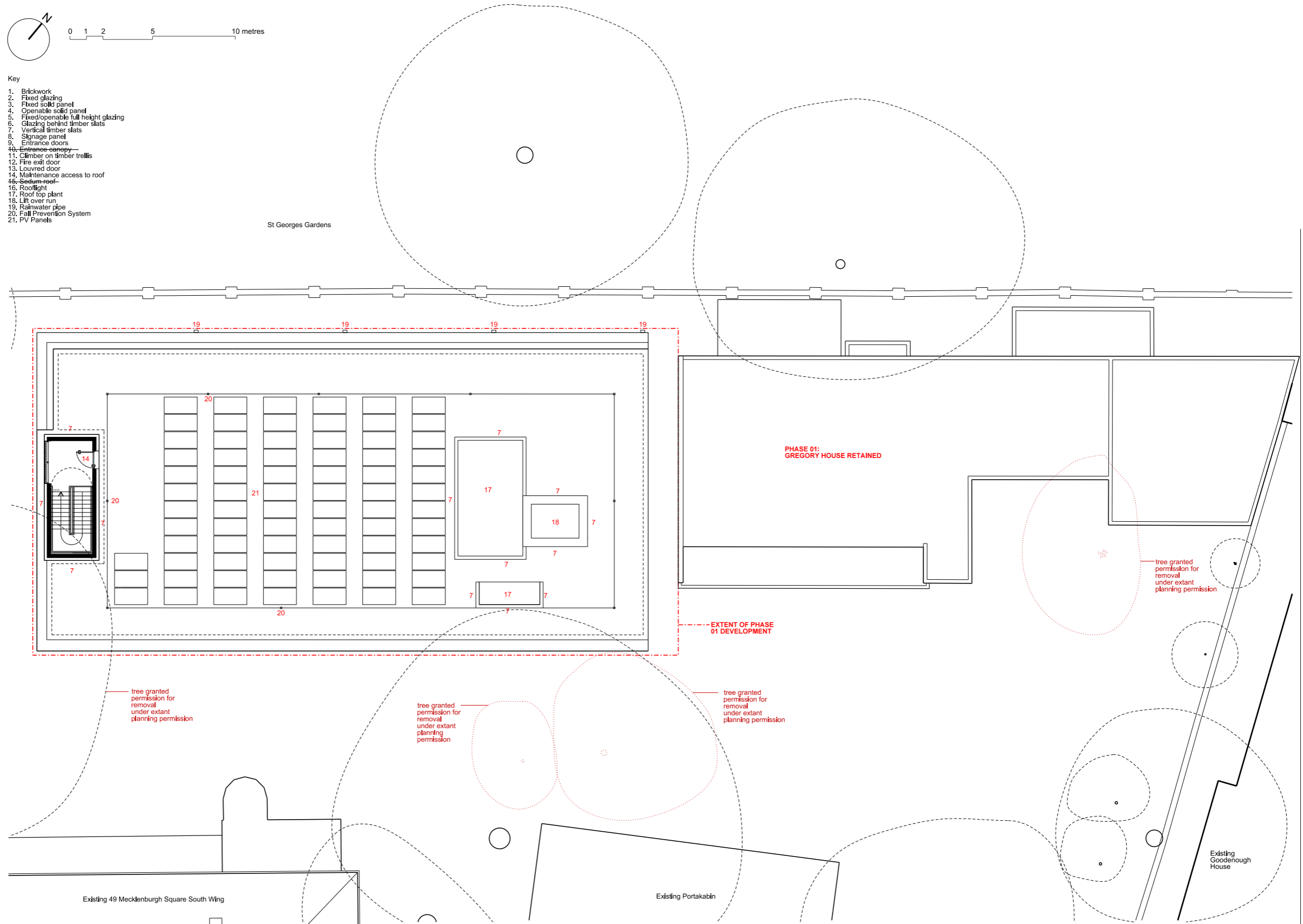


4.0 LAYOUT

Proposed Roof Plan



- Key
1. Brickwork
 2. Fixed glazing
 3. Fixed solid panel
 4. Operable solid panel
 5. Fixed/openable full height glazing
 6. Glazing behind timber slats
 7. Vertical timber slats
 8. Signage panel
 9. Entrance doors
 10. Entrance canopy
 11. Clamber on timber trellis
 12. Fire exit door
 13. Louvred door
 14. Maintenance access to roof
 15. Sedum roof
 16. Rooflight
 17. Roof top plant
 18. Lift over run
 19. Rainwater pipe
 20. Fall Prevention System
 21. PV Panels



4.0 LAYOUT

4.4 Secure by Design

Consultation was carried out with the local Police (Terry Cocks) during design development of the 2010 New East Building. Phase A follows the same Secured by Design principles. The proposals aim to meet the Secured by Design principles through the following key design provisions:

Integrated approach

An integrated approach through an early informal meeting with the local Police and local authority.

Environmental quality and sense of ownership

The environmental quality of the scheme results from the long term ownership of the surrounding site in which the proposed building has been designed. It has been developed to harmoniously relate to site conditions and the needs of existing and potential new users as well as neighbours and members of the public. Strong physical demarcation exists between public, private and semi-private areas in the form of the Grade II listed boundary wall to St George's Gardens to the north west, the enclosure formed by Goodenough House to the north east and the existing associated campus buildings and secure open spaces to the south east and south west.

Natural surveillance

The proposed building will improve surveillance to St George's Gardens and the Coram Campus generally through an increased height and more visually permeable facades.

Access and footpaths

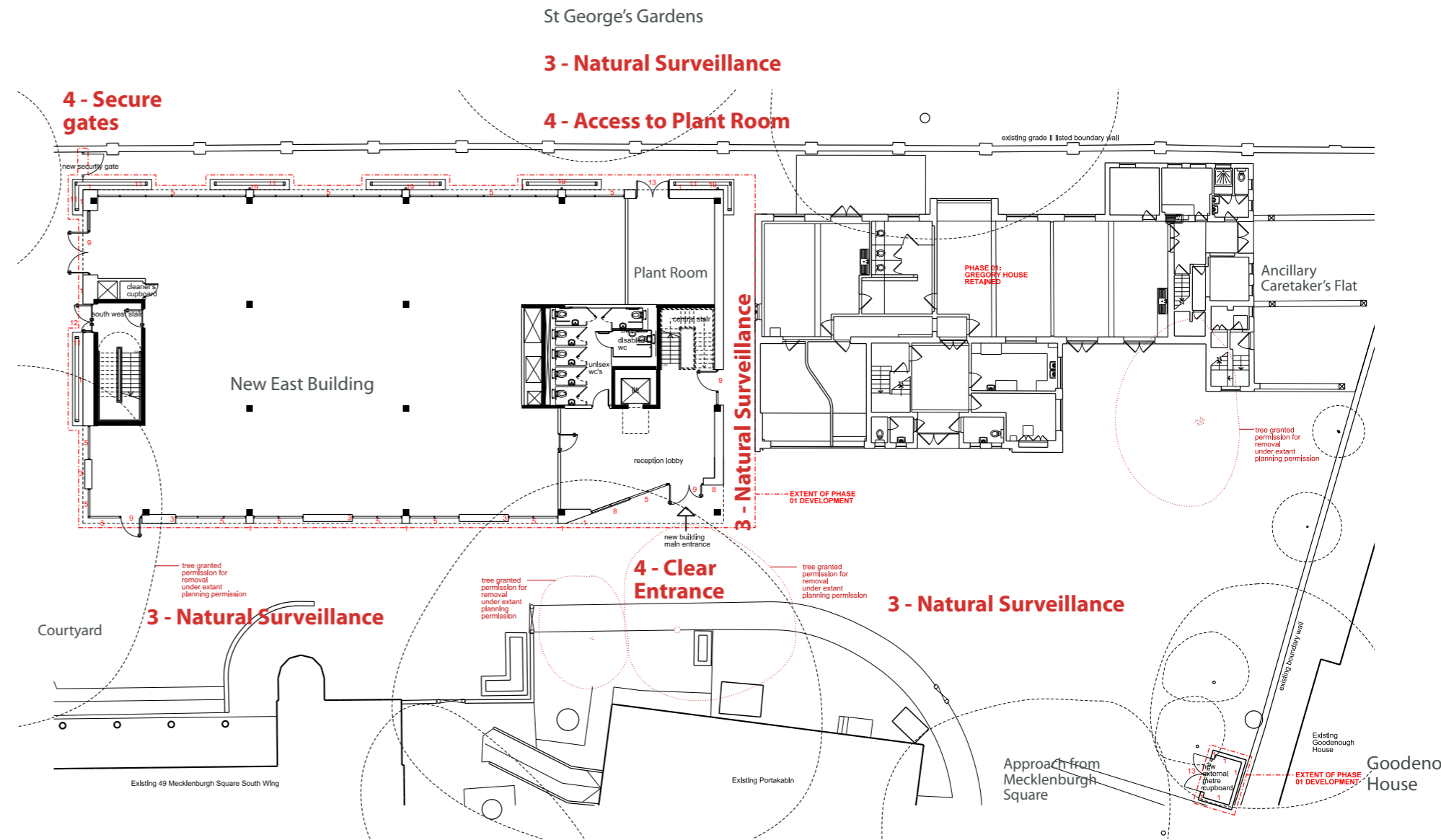
Entry to the proposed building will be managed through controlled access. The path to the rear between the building and the listed wall provides access to the plant room and will be controlled by security gates at each end. The gap between Gregory House and the new building will be overlooked by windows to the stairwell.

Open space provision and management

The long term maintenance regime to the surrounding open spaces within the site is to be adapted to include the proposed building.

Lighting

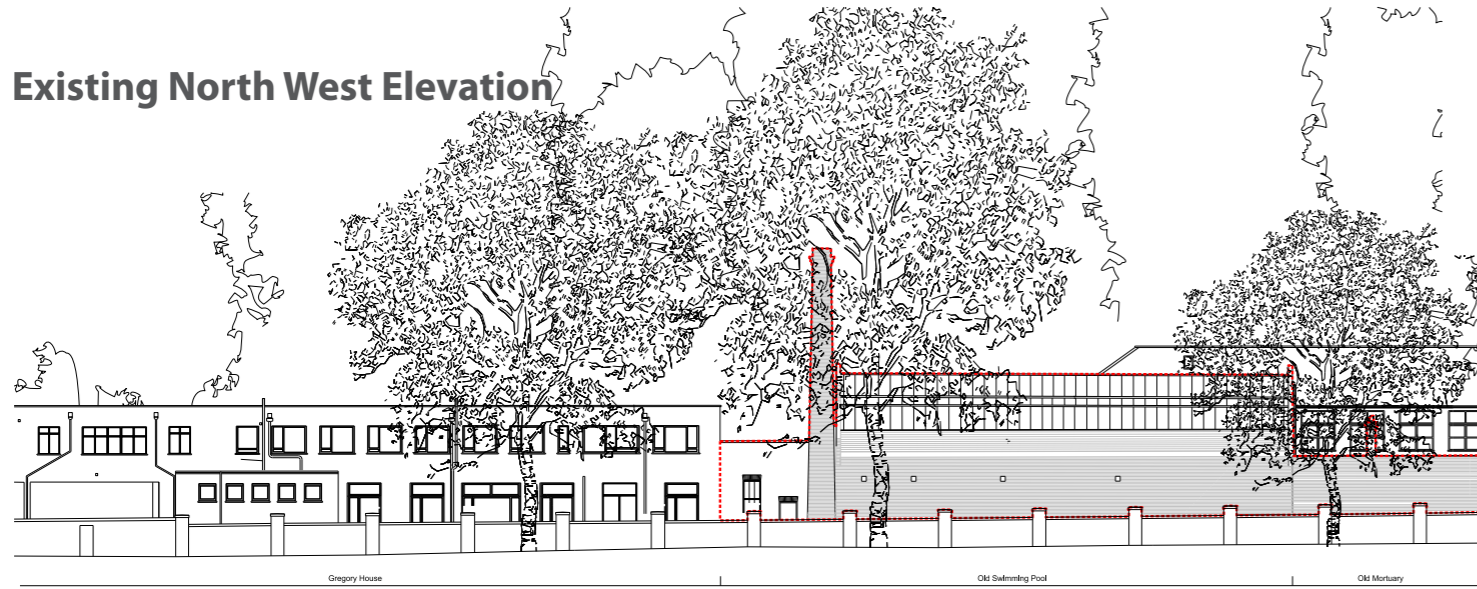
There will be good public lighting around entrances and perimeter of the proposed building.



4.0 LAYOUT

Existing Mortuary and Swimming Pool buildings to be demolished

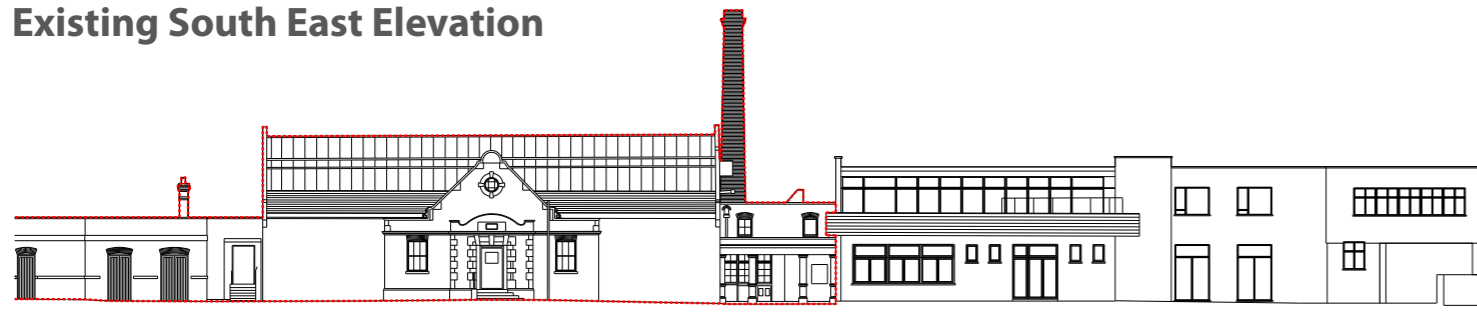
Existing North West Elevation



Existing North West Elevation



Existing South East Elevation



Existing South East Elevation



Existing North East Elevation

Existing South West Elevation

