

FISHER STREET

OVER SITE DEVELOPMENT

LIFETIME HOMES & WHEELCHAIR HOMES
STATEMENT FOR FISHER STREET OVER
SITE DEVELOPMENT
PROJECT DESCRIPTION

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JULY 2013

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1. INTRODUCTION

This statement sets out how the proposals for the Fisher Street Over Site Development (OSD) have been designed to best accord with the Design Criteria for Lifetime Homes Standards and how the proposals provide wheelchair adaptable units.

The statement has been prepared in support of a planning application submitted to the London Borough of Camden on 11 March 2013 and should be read alongside the other supporting documents including in particular the Design and Access Statement (also prepared by HOK Architects).

2.LIFETIME HOMES STATEMENT

2.1. LIFETIME HOMES STANDARDS

Lifetime Homes standards go further than Part M in that, by careful design, homes can be adapted in response to the changing needs of their occupants. Homes that meet all the Lifetimes Homes standards are entitled to be designated ‘Lifetime Homes’ . They will also meet the Building Regulations Part M, the relevant parts of the Housing Corporation Scheme Development Standards and the requirements of most local authorities for accessible housing.

GENERAL

Internal environments should be comfortable, convenient, and capable of sensibly accommodating the necessary furniture and equipment associated with specific room activities, and is suitable for the particular needs of intended user groups.

In assessing spatial and other features associated with achieving comfort and convenience, including necessary provisions for future, fitting, equipment, services and controls, the Housing Corporation will have regard to the internal environment section of the National Housing Federation’s (NHF) publication Standards and Quality in Development plus Camden design guides.

We set out below the sixteen guidance standards for Lifetime Homes, with commentary relevant to the proposed Fisher Street Over Site Development.

STANDARD 1: PARKING (WIDTH OR WIDENING CAPABILITY)

Provide, or enable by cost effective adaptation of parking possible for the widest range of people.

This standard is not applicable in this case. Due to the constraints at ground floor of the Crossrail head house, it is not possible to provide any basement car parking at the application site. In any event, this is supported by London Borough of Camden planning policy, which encourages car free developments in highly accessible locations such as this.

STANDARD 2: APPROACH TO DWELLING FROM PARKING (DISTANCE, GRADIENTS AND WIDTHS)

The distance from the car parking space to the home should be kept to a minimum and should be level or gently sloping.

This standard is not applicable as there is no car parking available for the proposed apartment development. However, public footpaths on all approach routes are assumed to have a firm, reasonably smooth and non-slip surface. Communal circulation areas have a greater width than the minimum required of 1200mm.

STANDARD 3: APPROACH TO ALL ENTRANCES.

Enable, as far as practicable, convenient movement along other approach routes to dwellings for the widest range of people.

All entrances to the building are level.

STANDARD 4: ENTRANCES

- All entrances should:*
- a) be illuminated*
 - b) have level access over the threshold and*
 - c) have a covered main entrance*

All entrances to the building will be illuminated and have level access over the thresholds. The main building entrance to the residences is off Fisher Street with a recessed, covered entry providing good weather protection to users.

STANDARD 5: COMMUNAL STAIRS AND LIFTS

- a) Communal stairs should provide easy access and*
- b) where homes are reached by a lift, it should be fully wheelchair accessible*

The communal stairs have been designed to be ambulant disabled complaint. The two residential lifts are wheelchair accessible, with clear landing entrances greater then the minimum 1500mm x 1500mm required, with the internal lift dimensions being greater than the 1100mm x 1400mm required.

STANDARD 6: INTERNAL DOORWAYS AND HALLWAYS

Enable convenient movement in hallways and through doorways.
The width of the doorways and hallways should conform to the specifications below:

<i>Doorway clear opening width</i>	<i>Corridor/ passageway width (mm)</i>
<i>750 or wider</i>	<i>900 (when approach is not head-on)</i>
<i>750</i>	<i>1200 (when approach is not head-on)</i>
<i>775</i>	<i>1050 (when approach is not head-on)</i>
<i>900</i>	<i>900 (when approach is not head-on)</i>

The clear opening width of the front door and other internal doors is 800mm. There is 300mm clear to the side of the leading edge of all internal doors. All door and corridor widths are designed to meet the requirements, in that any corridor or passageway exceeds the appropriate minimum standard associated with the clear door width , all corridor and passage widths are greater than 1200mm
See plans in section 2.2

STANDARD 7: CIRCULATION SPACE

Enable convenient movement in rooms for as many people as possible.
There should be space for turning a wheelchair in dining areas and living rooms and adequate circulation space for wheelchair users elsewhere.

A turning circle of 1500mm diameter is ensured for all living rooms, a 750mm wide clear space to the sides and the foot of a standard sized double bed allowed for in bedrooms, and there is generous provision for wheelchair user circulation elsewhere in all apartments.

See plans in section 2.2

STANDARD 8: ENTRANCE LEVEL LIVING SPACE

*Provide accessible socialising space for visitors less able to use stairs.
A living room/ living space should be at entrance level.*

All dwellings with the exception of the two duplex units provide the main living room or living space at the apartment entrance level.

The duplex apartment living spaces are situated on the first floor to take advantage of the adjacent outdoor living/terrace spaces. Access to the duplex apartments is made from the second floor due to the unique constraints that the Crossrail head house places on the Fisher Street Over Site Development. These constraints are related to:

- The positioning of the lifts in the proposed development to avoid Crossrail substructures/volumes
- The configuration of the plant space so to access risers within the building while maintaining access to atmosphere.

Both duplex apartments are adaptable to facilitate the requirement of having a socialising space at the entrance level if needs be. This would be achieved by altering the loose furniture & fixtures of one of the bedrooms in each of the apartments as another living space either a as a permanent or semipermanent condition.

In addition to the standard a generous reception space has been allowed for at the street level entrance to facilitate visitors to all the dwellings.

See plans in section 2.2

STANDARD 9: POTENTIAL FOR ENTRANCE LEVEL BED-SPACE

In houses of two or more storeys, there should be space on the entrance level that could be used as a convenient bed-space.

The development proposals have two duplex apartments with entry on the 2nd floor and a third with entry on the 7th floor. The two apartments based on the 2nd floor have bedrooms on the entrance level and the apartment based on the 7th floor has a bedroom and kitchen on the entrance level floor. All meet the standard. See plans in section 2.2

STANDARD 10: ENTRANCE LEVEL WC AND SHOWER DRAINAGE

There should be a wheelchair accessible entrance level WC, with drainage provision for a future shower to be provided in all dwellings. Fully accessible WC, the Part M standard WC will meet this standard.

All units are either 2/3 bedrooms or less and accommodate the Part M standard WC. All dwellings including the duplex units accommodate a wheelchair accessible entrance level WC with drainage provision.

STANDARD 11: WC AND BATHROOM WALLS

Walls in bathrooms and toilets should be capable of taking adaptations such as handrails.

Wall reinforcements where necessary will be located between 300mm and 1800mm from floor level in all bathrooms and toilets.

STANDARD 12: STAIRS AND POTENTIAL THROUGH-FLOOR LIFT IN DWELLING

Enable access to storeys other than the entrance level of the apartment.

*The design should incorporate
a) provision for a future stair lift
b) a suitable identified space for a through the floor lift from one floor to another.*

The duplex dwellings accommodate in suitable locations for future through the floor lifts. The required 1000mm x 1500mm openings are incorporated with in the structural design.

See plans in section 2.2

STANDARD 13: POTENTIAL FOR FITTING OF HOISTS AND BEDROOM / BATHROOM

Assist with independent living by enabling convenient movement between bedroom and bathroom facilities for a wide range of people.

The structure of the floor deck above the main bedroom and bathroom ceilings will allow for secure fixing capable of supporting ceiling hoists. Allowing for the unique structural considerations for this site, reasonable routes are provided between the bedroom and the bathroom.

STANDARD 14: BATHROOMS

Provide an accessible bathroom that has ease of access to its facilities from the outset and potential for simple adaptation to provide for different needs in the future.

Every dwelling will be provided with a bath, over-bath shower or separate shower, WC and basin. There is an ‘accessible’ WC and basin at entrance level in all units. Although there is no need for a full wheelchair turning circle within the WC, the bathroom layouts provide sufficient space for a wheelchair to manoeuvre within the room, allowing a wheelchair user use of the bathroom. The bathroom layout provide for the future relocation of fittings to allow wheelchair side transfer to WC.

All bathrooms have been designed to allow for toilet access to Part M code.

STANDARD 15: GLAZING AND WINDOW HANDLE HEIGHTS

Enable people to have a reasonable line of sight from a seated position in the living room and to use at least one window for ventilation in each room.

Generally sill heights of windows in the apartments are at floor level therefor below the standards maximum level of 800mm. Kitchens have been designed aligned to walls to maximise potential layouts, so there are no sill heights to consider. Due to the generous apartment size all openable windows are easily accessed and operated.

2.2. LIFETIME HOMES - LAYOUT DIAGRAMS

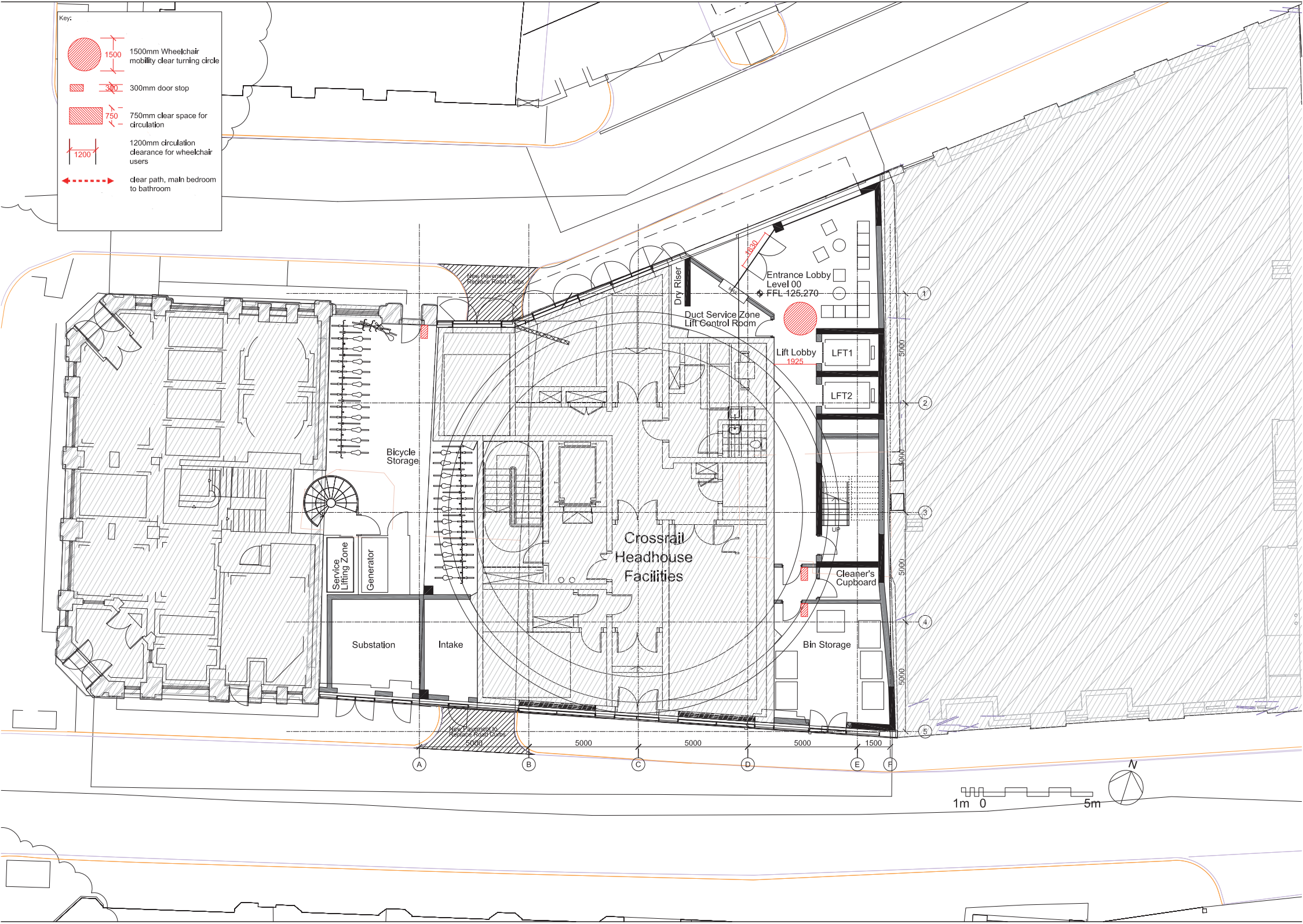


DIAGRAM 2.2.1 - GROUND FLOOR PLAN

2.2 LIFETIME HOMES - LAYOUT DIAGRAMS

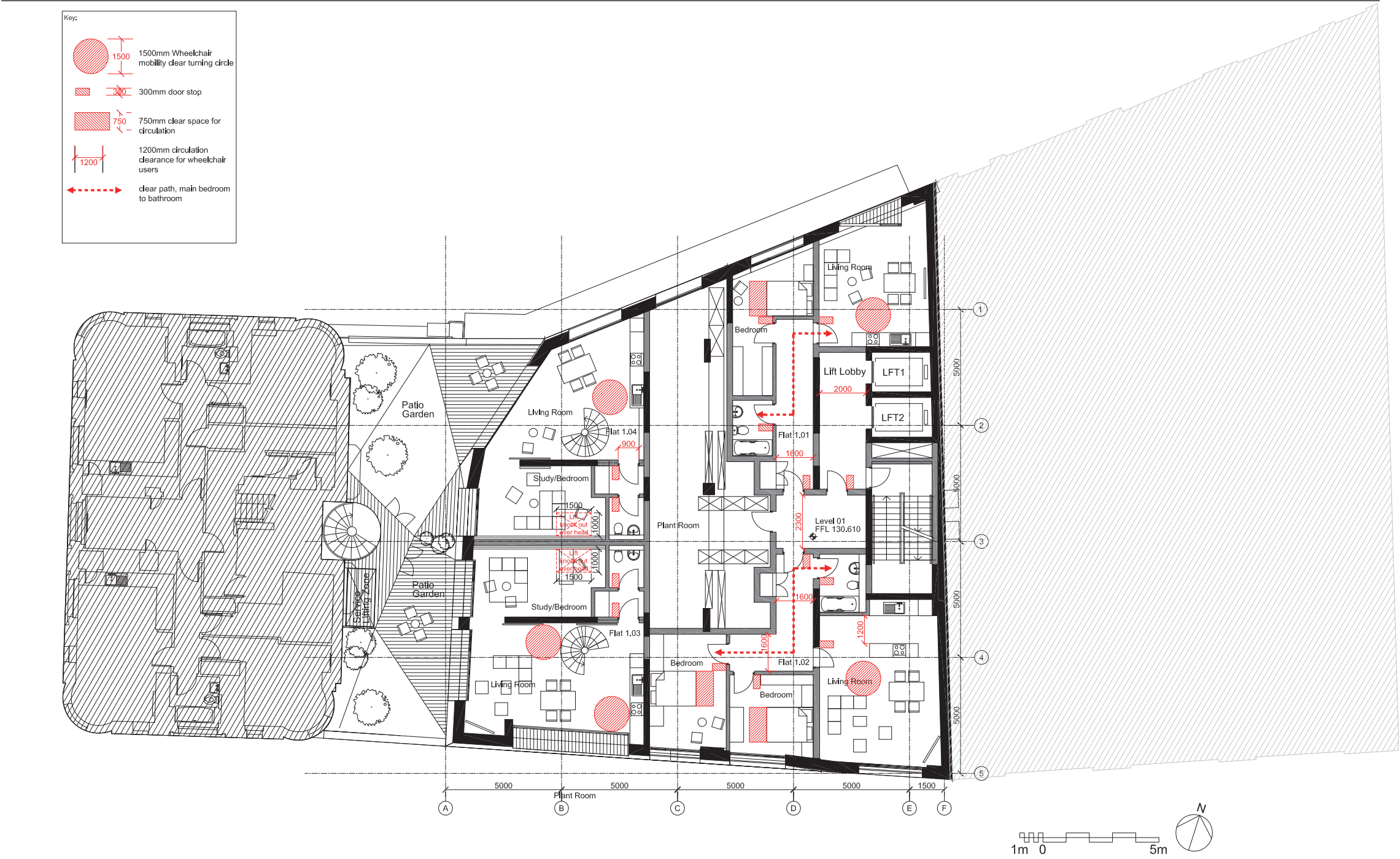


DIAGRAM 2.2.2 - FIRST FLOOR PLAN

2.2 LIFETIME HOMES - LAYOUT DIAGRAMS

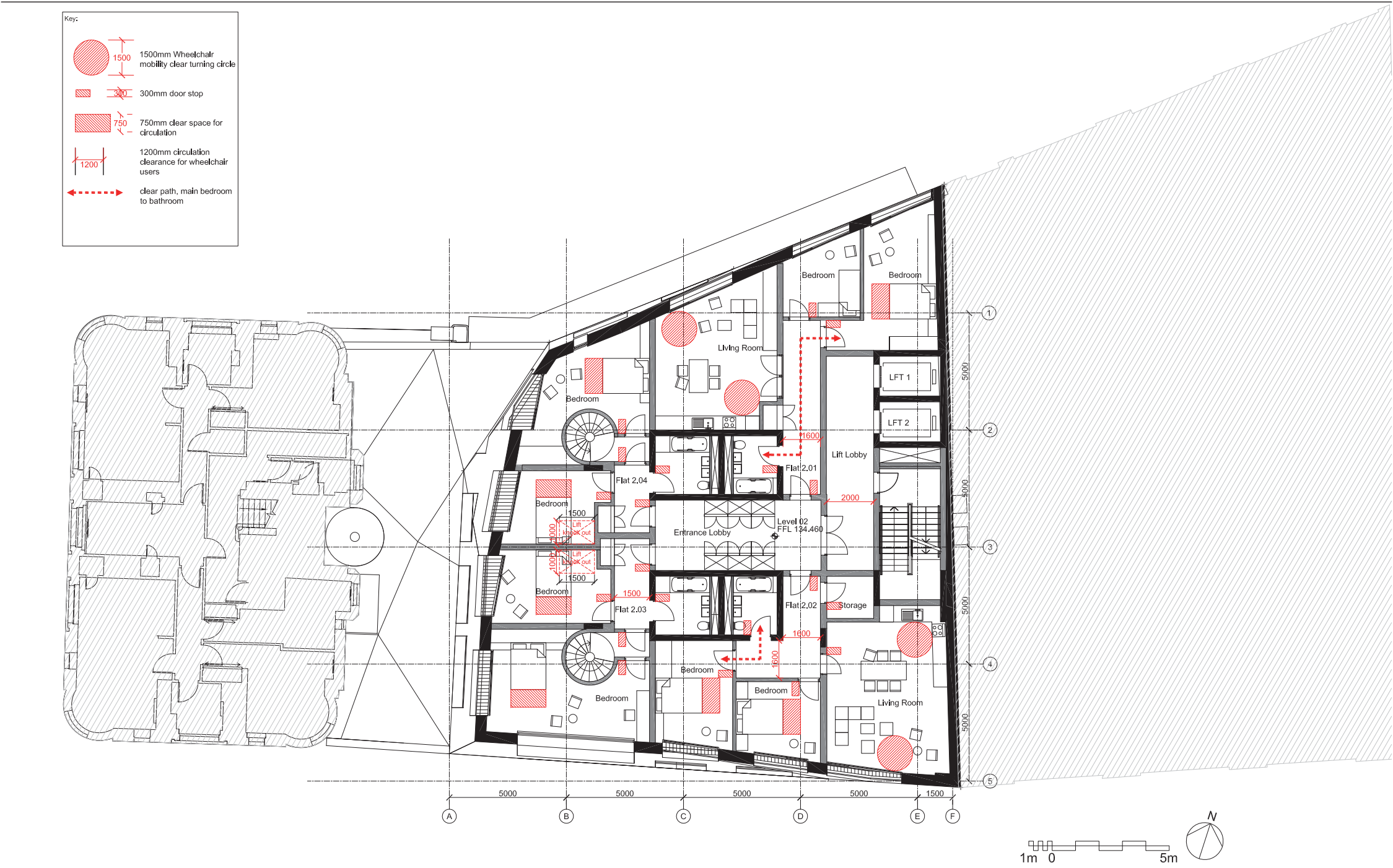


DIAGRAM 2.2.3 - SECOND FLOOR PLAN

2.2 LIFETIME HOMES - LAYOUT DIAGRAMS



DIAGRAM 2.2.4 - THIRD FLOOR PLAN

2.2 LIFETIME HOMES - LAYOUT DIAGRAMS

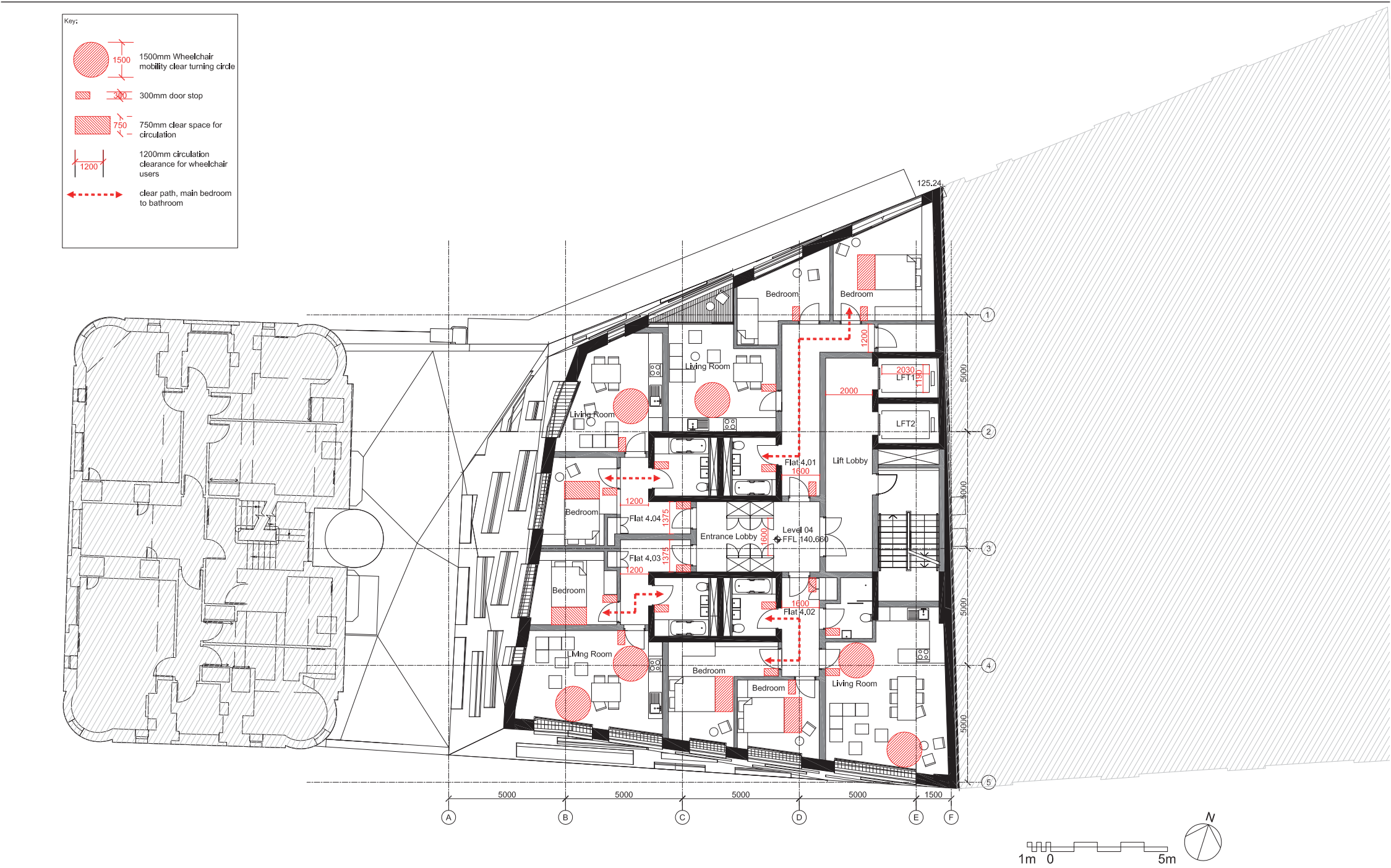


DIAGRAM 2.2.5 - FOURTH FLOOR PLAN

2.2 LIFETIME HOMES - LAYOUT DIAGRAMS

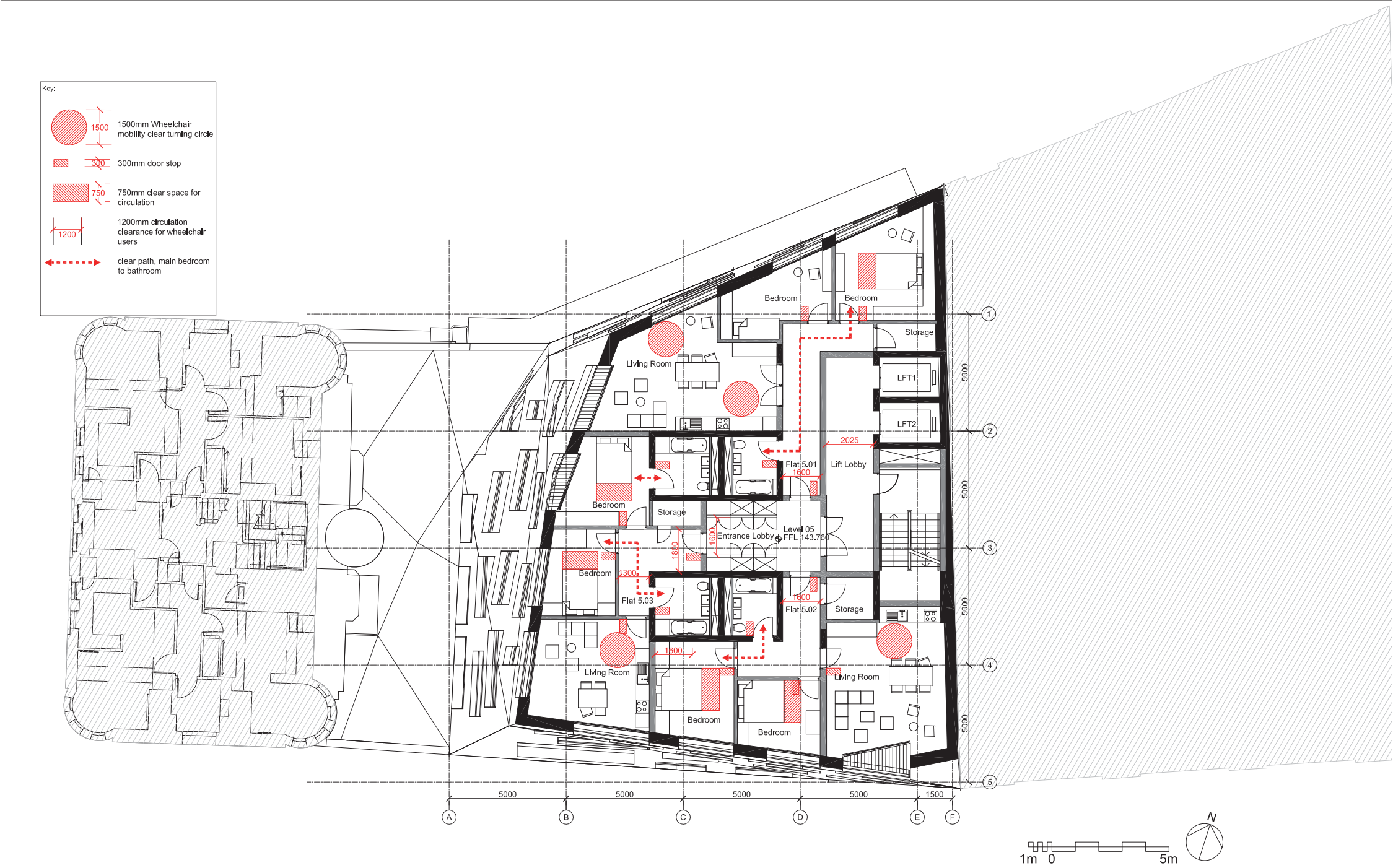


DIAGRAM 2.2.6 - FIFTH FLOOR PLAN

2.2 LIFETIME HOMES - LAYOUT DIAGRAMS

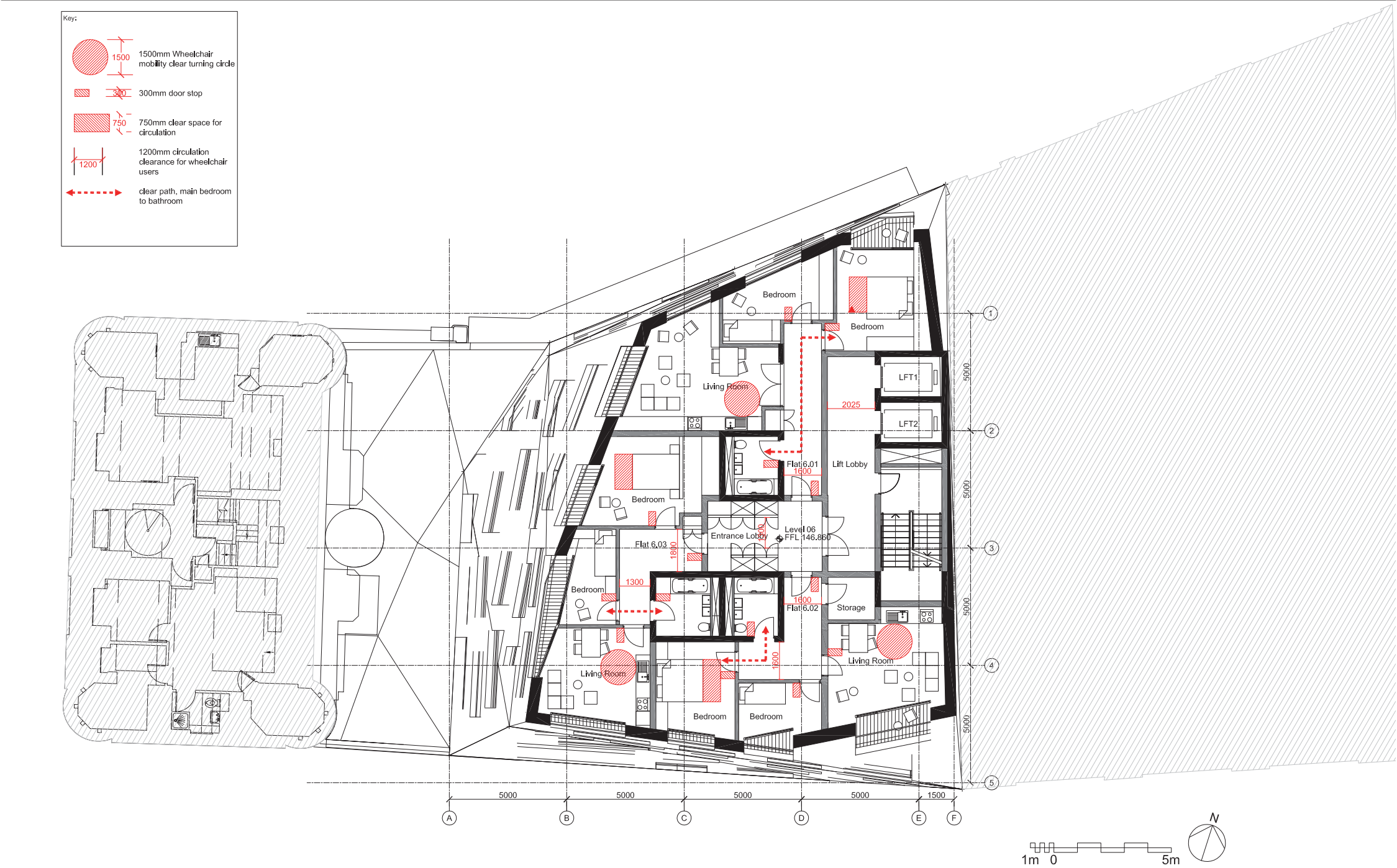


DIAGRAM 2.2.7 - SIXTH FLOOR PLAN

2.2 LIFETIME HOMES - LAYOUT DIAGRAMS

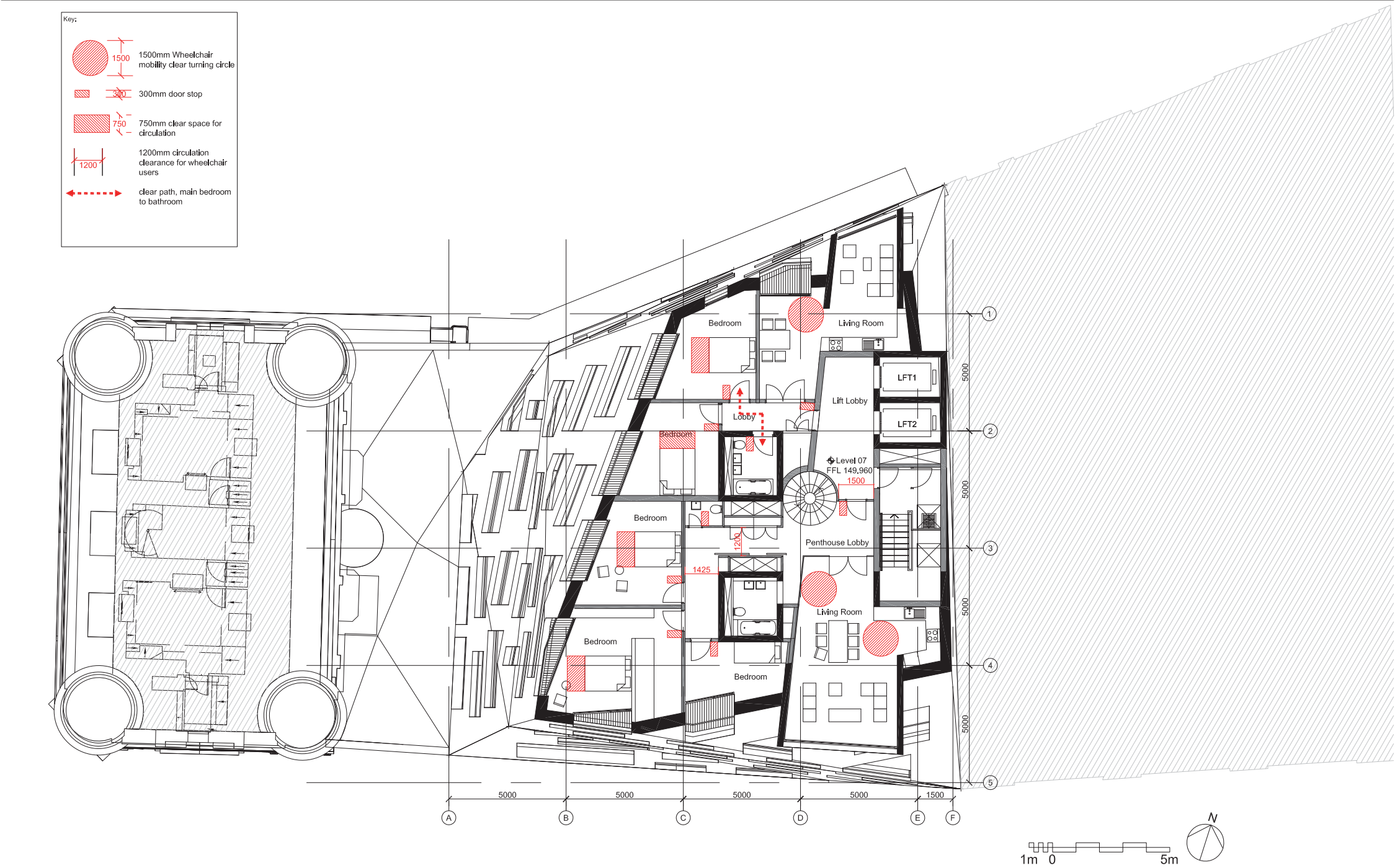
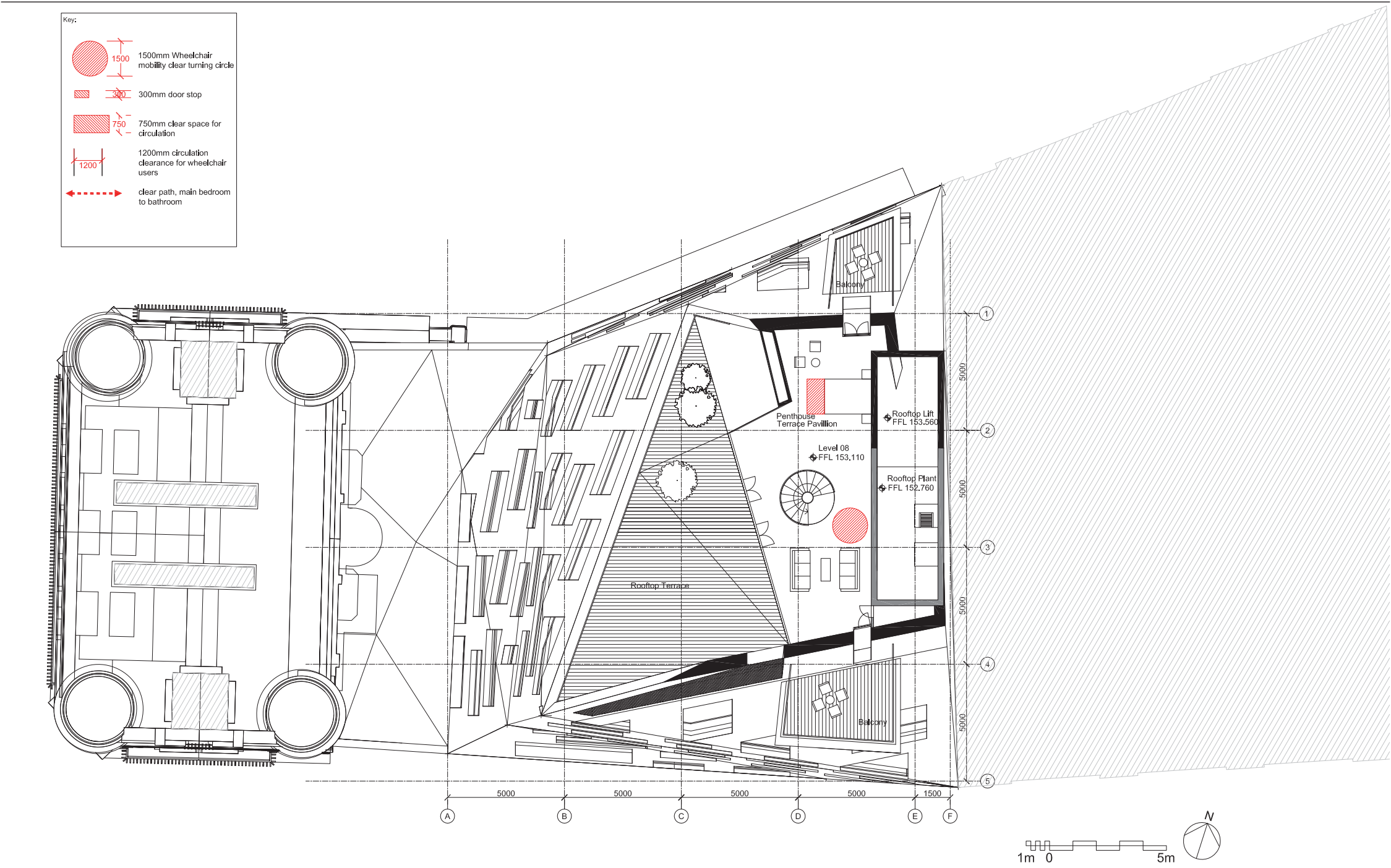


DIAGRAM 2.2.8 - SEVENTH FLOOR PLAN

2.2 LIFETIME HOMES - LAYOUT DIAGRAMS



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3. WHEELCHAIR HOMES

3.1. WHEELCHAIR HOMES STANDARDS

Wheelchair homes are dwellings that are designed to specifically meet the diverse and changing needs of wheelchair users and the multiplicity of impairments that some wheelchair users experience. The greater demands required of a dwelling designed to wheelchair housing standards with regard to; required space, increased flexibility and specification need to be planned for.

As per the London Plan requirements for all new residential developments, and with regard to the Mayor of London's Wheelchair Accessible Housing; homes should be designed that can be adapted easily for wheelchair users needs in line with Best Practice Guidance. This also includes the requirement for 10% of the development to be wheelchair housing or provision to allow easy adaptation. Refer also to wheelchair housing design guide: <http://www.lifetimehomes.org.uk/pages/revised-design-criteria.html>

Easily adaptation would be considered as specific fixtures and fittings that would be necessary can be added at a later date without enlarging or modifying their home structurally.

More specifically for apartment dwellings the following can be easily incorporated in the apartment dwellings:

INTERNAL CIRCULATION

- The 1500mm x 1800mm zone will enable a wheelchair user to turn 180° at the front door
- A dedicated space for a wheelchair user to manoeuvre and transfer to a second wheelchair, leaving the other wheelchair on charge
- All doors open beyond 90° where practicable to achieve effective clear width of opening without excessive door width

BEDROOMS

- Direct connection between a main bedroom and bathroom .
- Access both sides of a double bed or one side of a single bed, turn and manoeuvre to approach all furniture and operate window controls.

KITCHEN/DINING/LIVING ROOMS

- Living areas can be satisfactorily furnished
- Wheelchair access to windows and external doors (800mm minimum)
- Kitchens to have convenient access to dining area
- Clear manoeuvring space not less than 1800mm x 1500mm

BATHROOMS

- A level-access shower area of at least 1000mm x 1000mm, without an approach ramp, could be accommodated. This would overlap the 1700mm bath area to allow either to be installed; allow space for side, oblique and 1100mm in front of the WC clear of all obstructions.
- A full-height knock-out panel or doorway between the bedroom and bathroom is included in construction, to provide provision for direct access from the main bedroom into the bathroom.
- Walls and ceiling to be adequate for fixing of hoists seats supports and other fixings.

WINDOWS, BALCONIES AND STORAGE

- Storage space throughout will be provided, all apartments are of generous size, and additional storage can be easily accommodated.
- Unhindered access to operate windows, also approach and operation of secondary doors where practicable
- Level access through to balconies will be provided
- In the main living space clear sight lines through the windows and glazed doors for a seated person will be provided.

See plans in section 3.2

3.2. WHEELCHAIR HOMES - LAYOUT DIAGRAMS

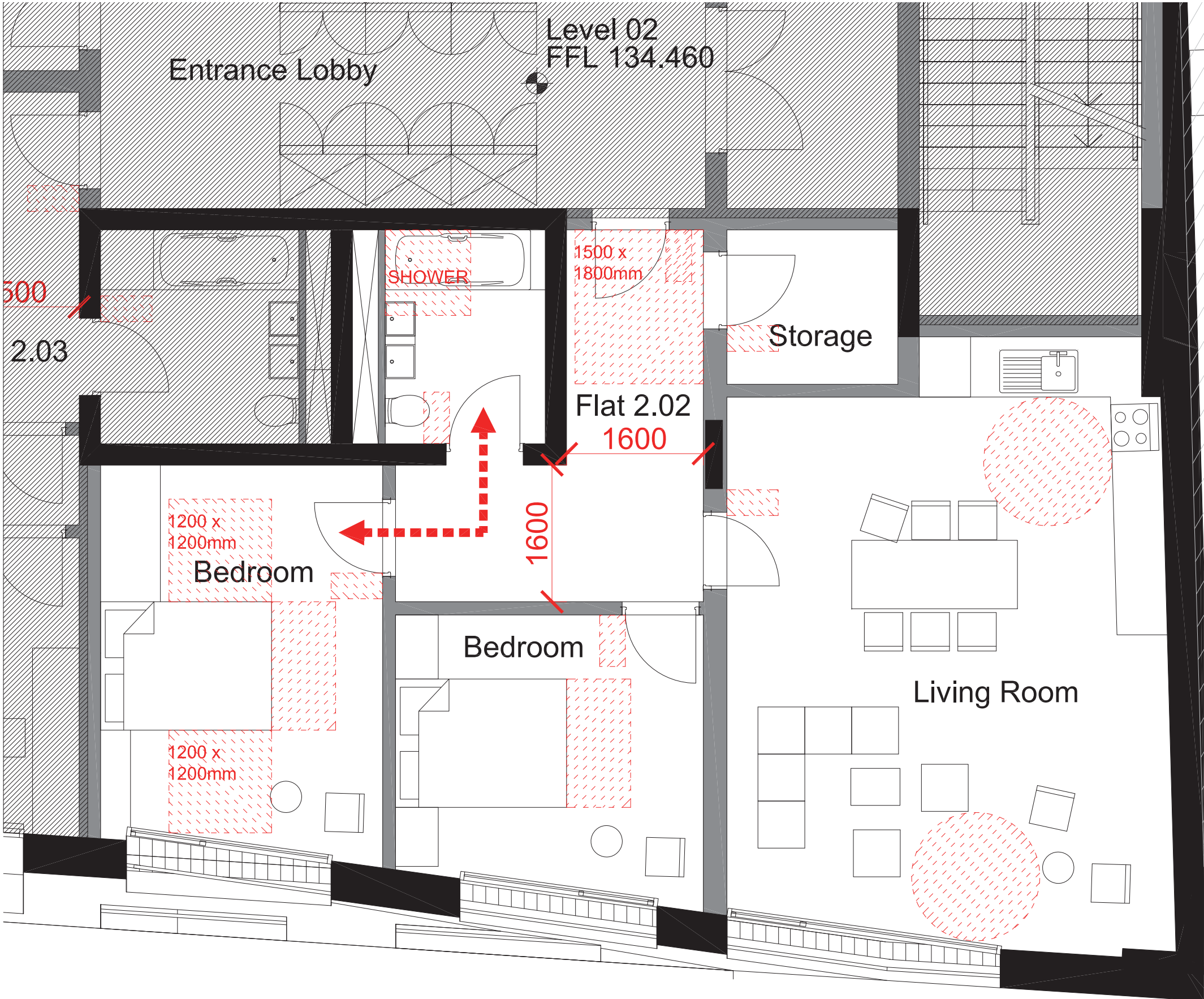
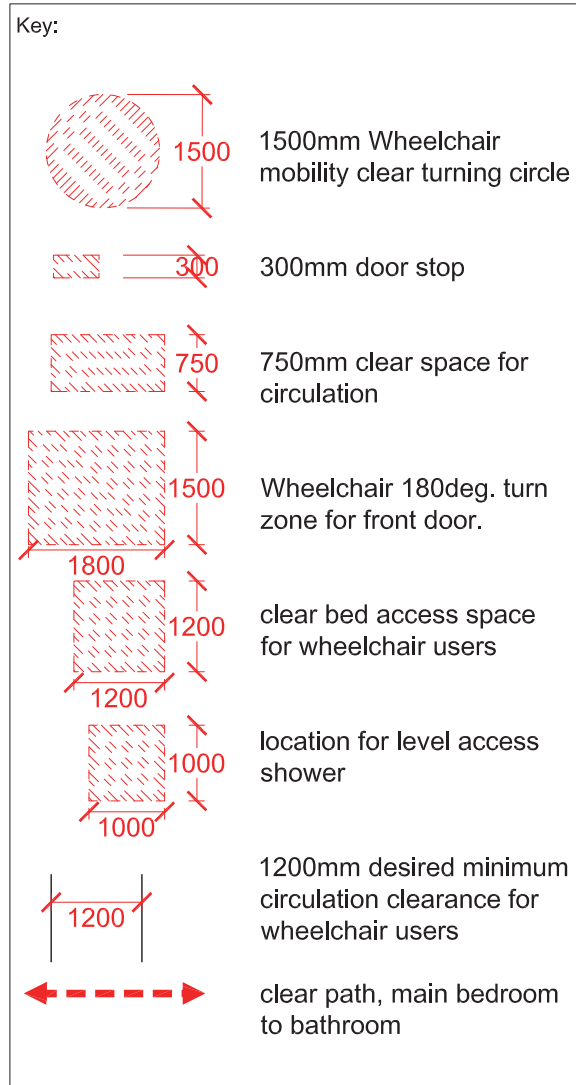
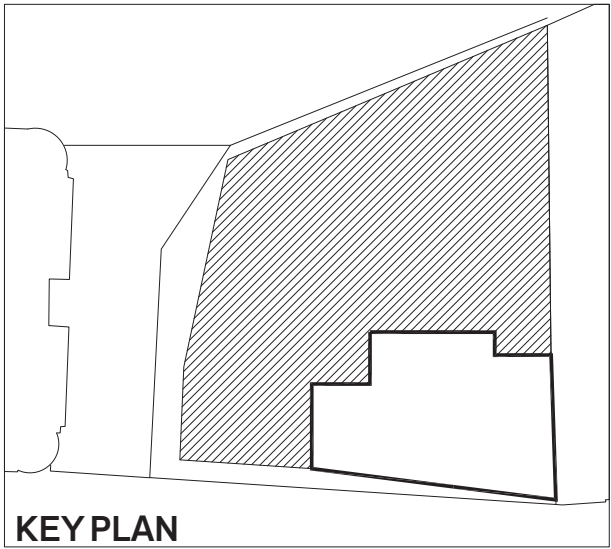


DIAGRAM 3.2.1 - SECOND FLOOR SOUTH APARTMENT

3.2 WHEELCHAIR HOMES - LAYOUT DIAGRAM

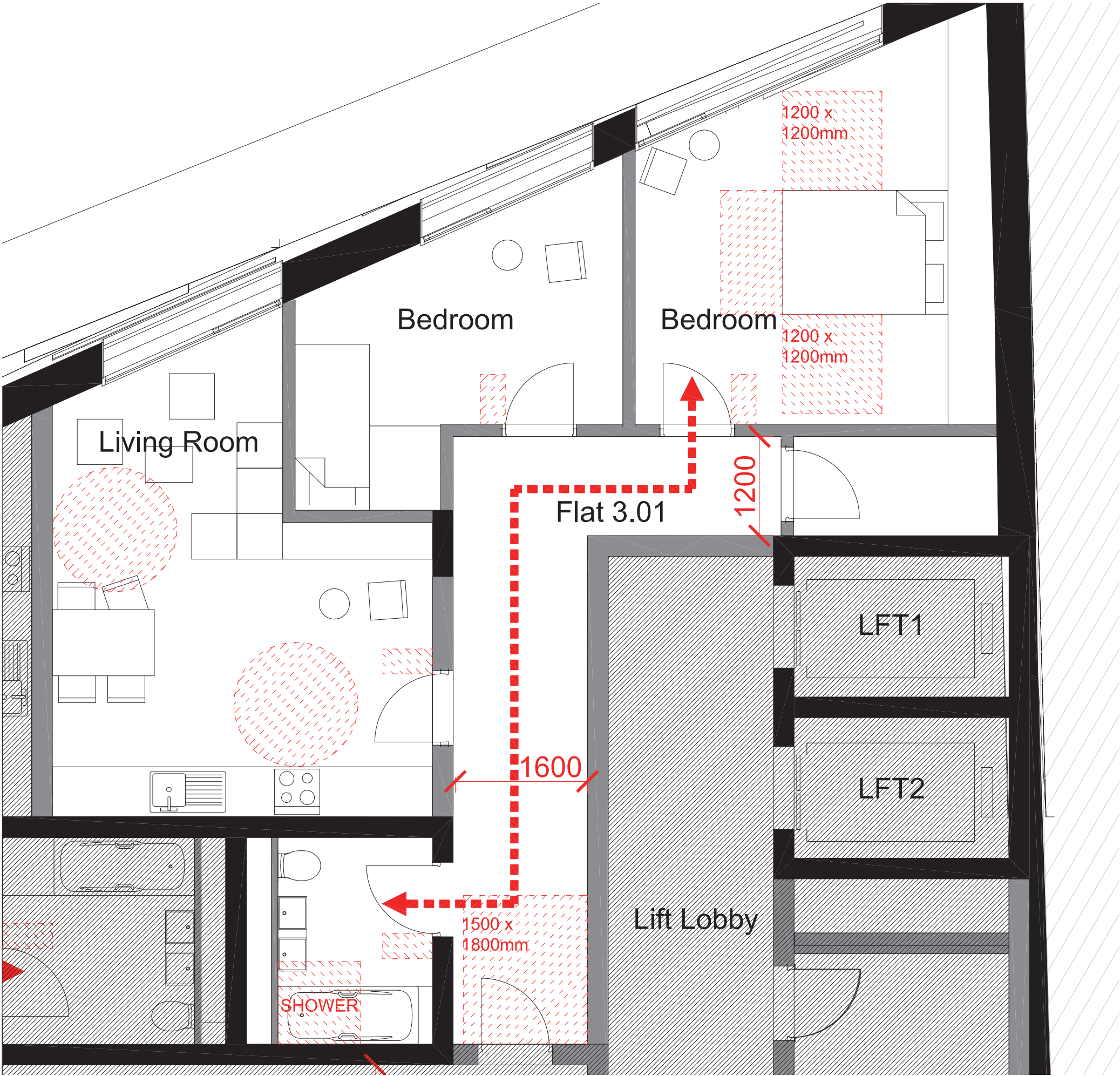
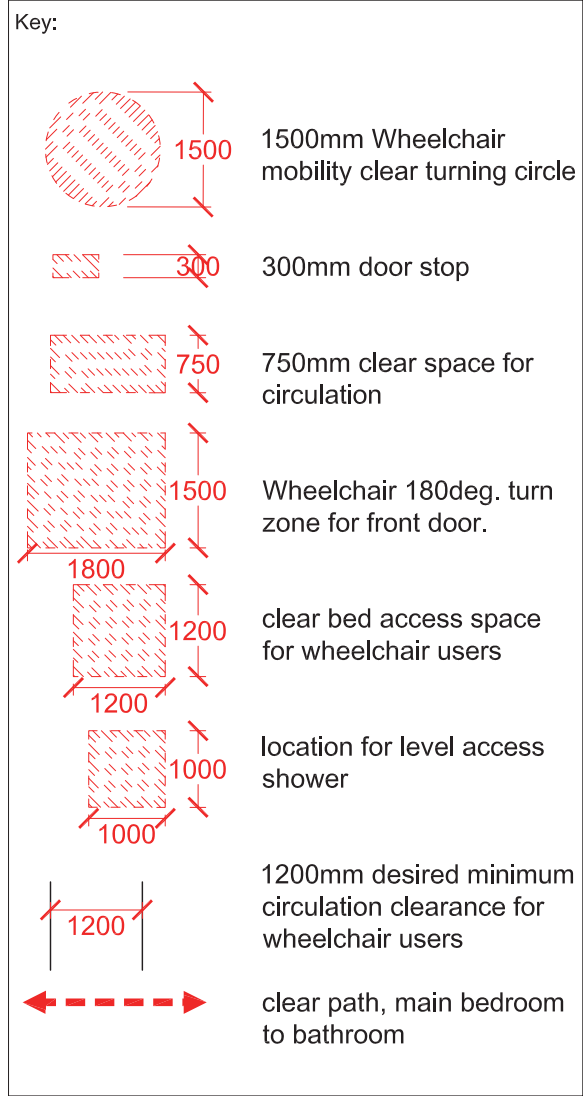
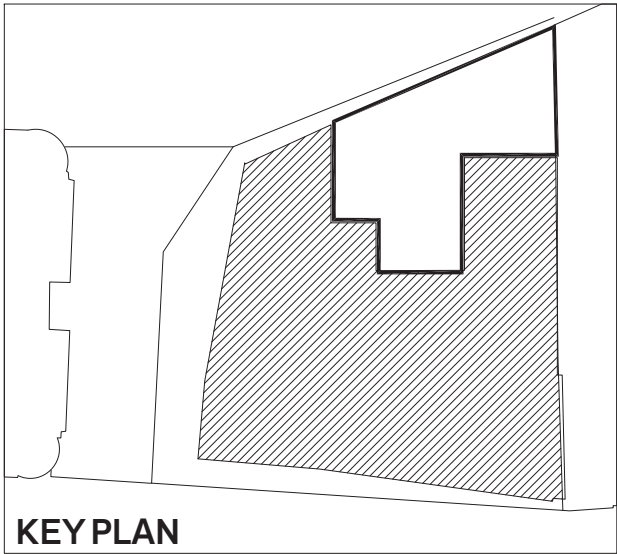


DIAGRAM 3.2.2 - THIRD FLOOR SOUTH APARTMENT

3.2 WHEELCHAIR HOMES - LAYOUT DIAGRAM

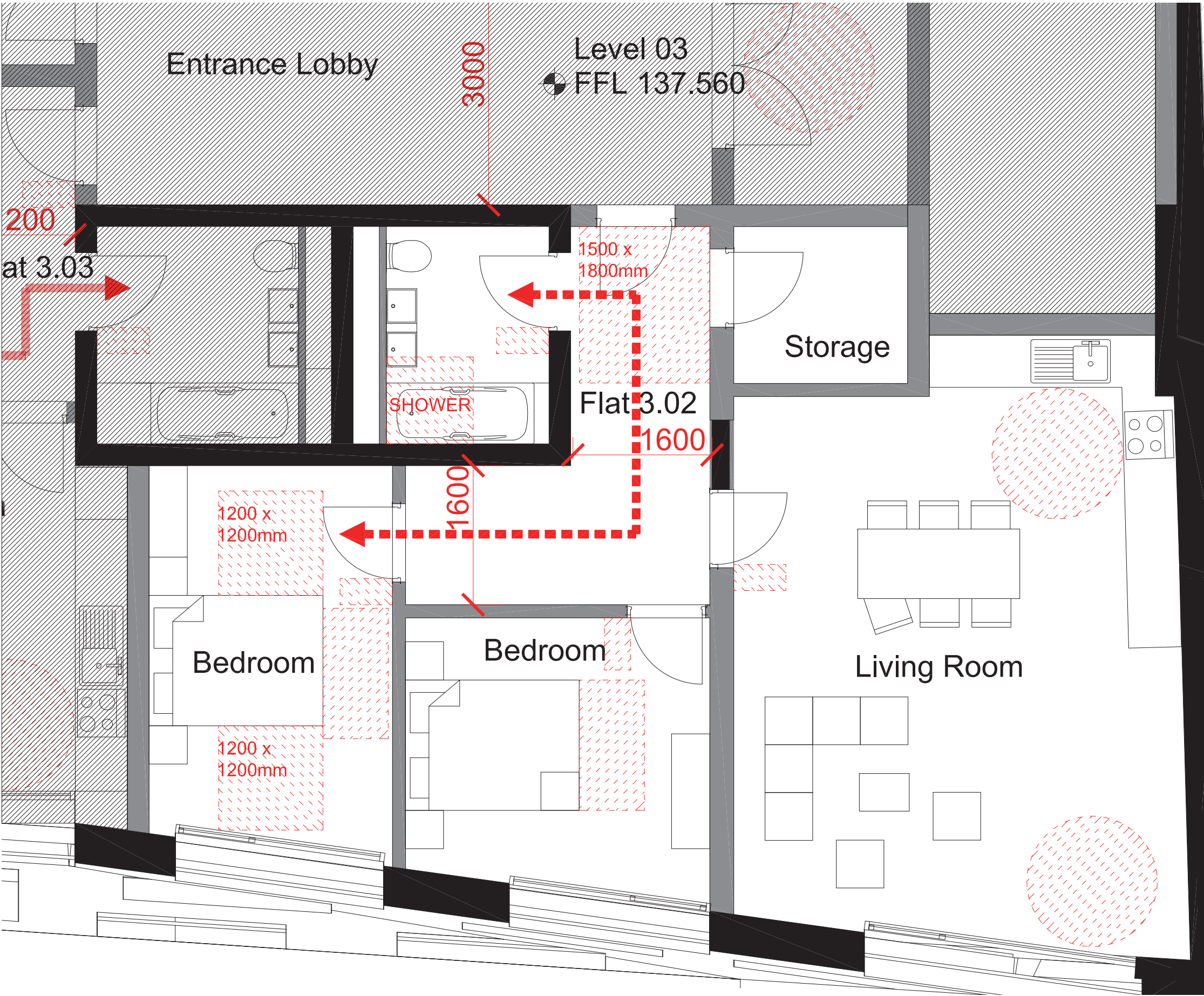
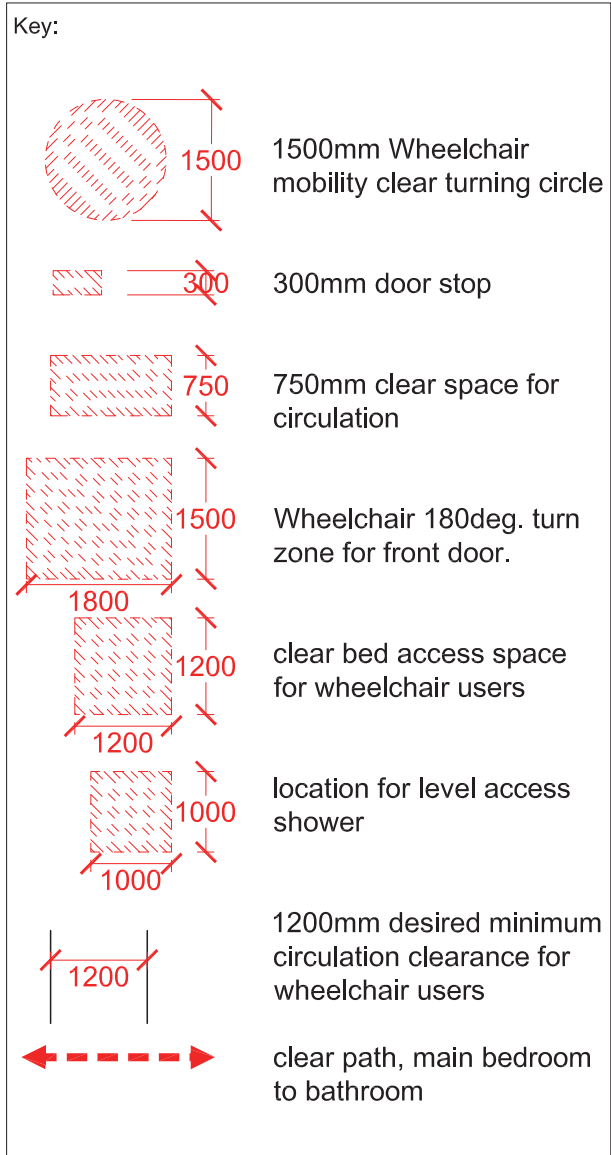
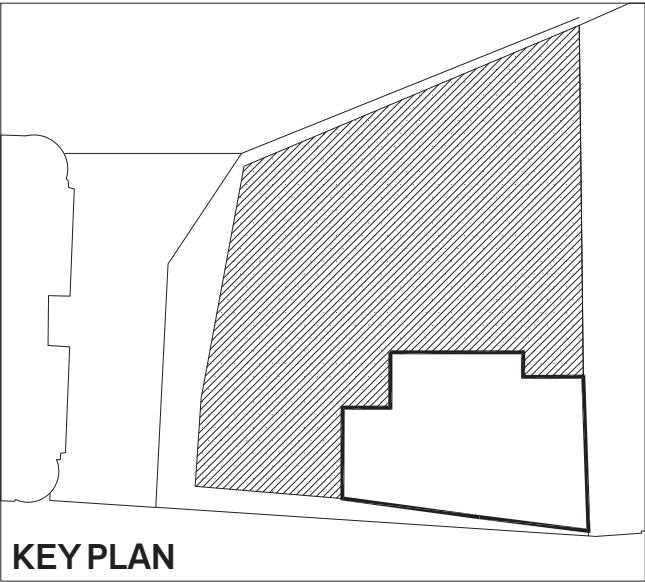


DIAGRAM 3.2.3 - THIRD FLOOR SOUTH APARTMENT